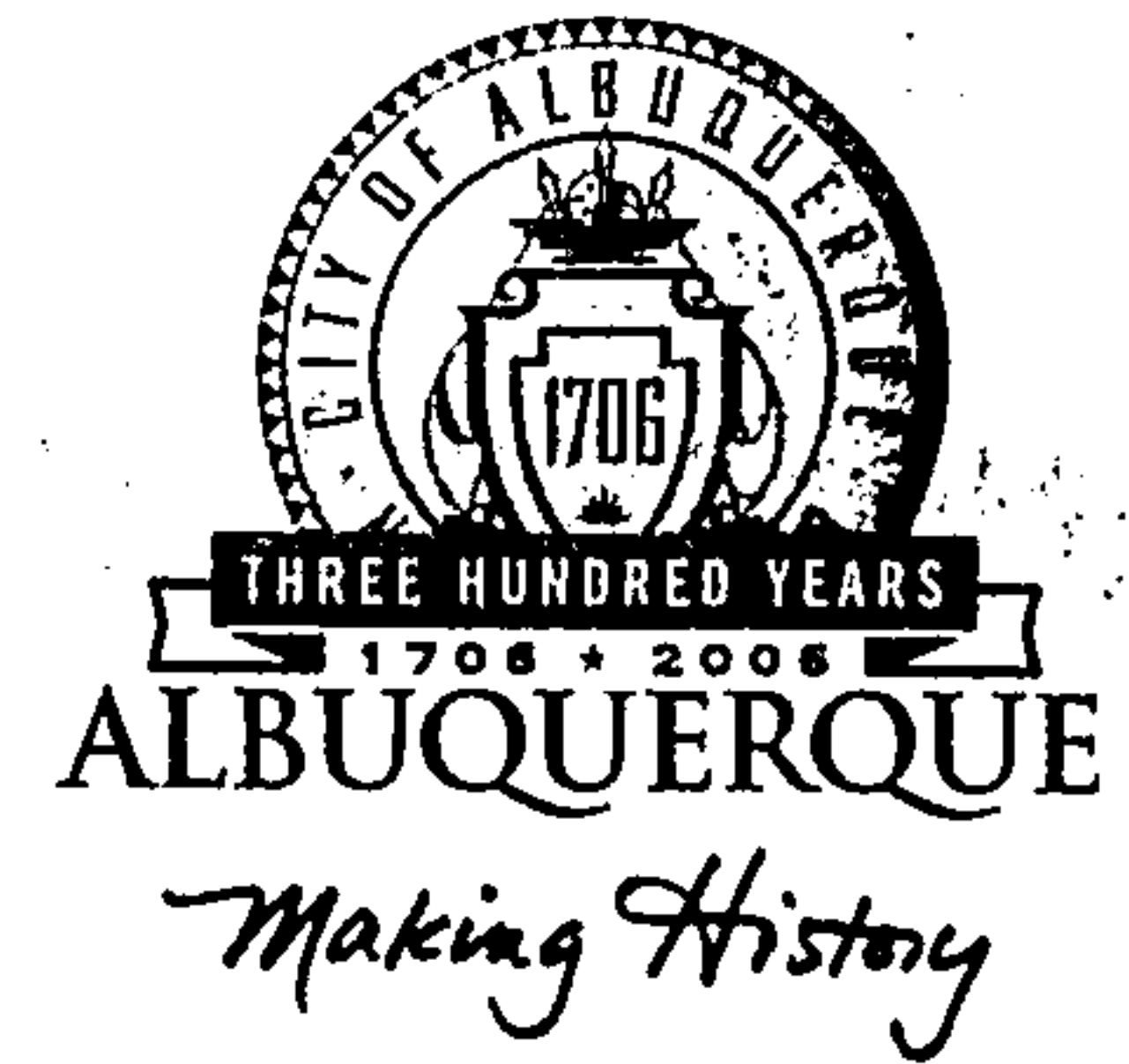


CITY OF ALBUQUERQUE



June 15, 2005

Alan Paul Church, P.E.
Oden & Associates
P.O. Box 1976 – 200 US Route 66
Moriarty, NM 87035

Re: Panda Express Restaurant, 838 Eubank Blvd. NE, Grading, Paving & Drainage Plan - Engineer's Stamp dated 6-6-05 (K21-D12)

Dear Mr. Church,

Based upon the information provided in your submittal dated 6-7-05, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology and prior to release of the Certificate of Occupancy an Engineer's Certification of the grading plan per the DPM checklist will be required.

P.O. Box 1293

If you have any questions, you can contact me at 924-3990.

Albuquerque

New Mexico 87103

www.cabq.gov

Sincerely,

Phillip J. Lovato, E.I., C.F.M.
Engineering Associate, Hydrology,
Development and Building Services,
Planning Department

Cc: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

PROJECT TITLE: PANDA EXPRESS RESTAURANT ZONE MAP: K-21-Z
 DRB#: N.A. EPC#: Administrative Amendment Approval Process WORK ORDER#: (K21-D12)

LEGAL DESCRIPTION: Tract No. 1-A-1 of the Plat of Tracts 1-A-1, 1-C1A-2A and 1-C1A-3A Horne Development
Addition City of Albuquerque, Bernalillo County, New Mexico (V 93C, Folio 364 of Bernalillo County Clerk)
 CITY ADDRESS: 838 Eubank Boulevard, N.E. Albuquerque, NM

ENGINEERING FIRM: Oden & Associates CONTACT: Tim Oden
 ADDRESS: P.O. Box 1976 PHONE: 832-1425
 CITY, STATE: Moriarty, NM ZIP CODE: 87035

OWNER: Panda Restaurant Group, Inc. CONTACT: Mark Russell
 ADDRESS: 1683 Walnut Grove Avenue PHONE: 623-465-7731
 CITY, STATE: Rosemead, CA ZIP CODE: 91770

ARCHITECT: YTRA GROUP, INC. CONTACT: C. Roger Su
 ADDRESS: 556 N. Diamond Bar Boulevard, #304 PHONE: 909-396-6983
 CITY, STATE: Diamond Bar, CA ZIP CODE: 91765

SURVEYOR: Oden & Associates, Inc. CONTACT: Tim Oden
 ADDRESS: P.O. Box 1976 PHONE: 832-1425
 CITY, STATE: Moriarty, NM ZIP CODE: 87035

CONTRACTOR: To Be Determined CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

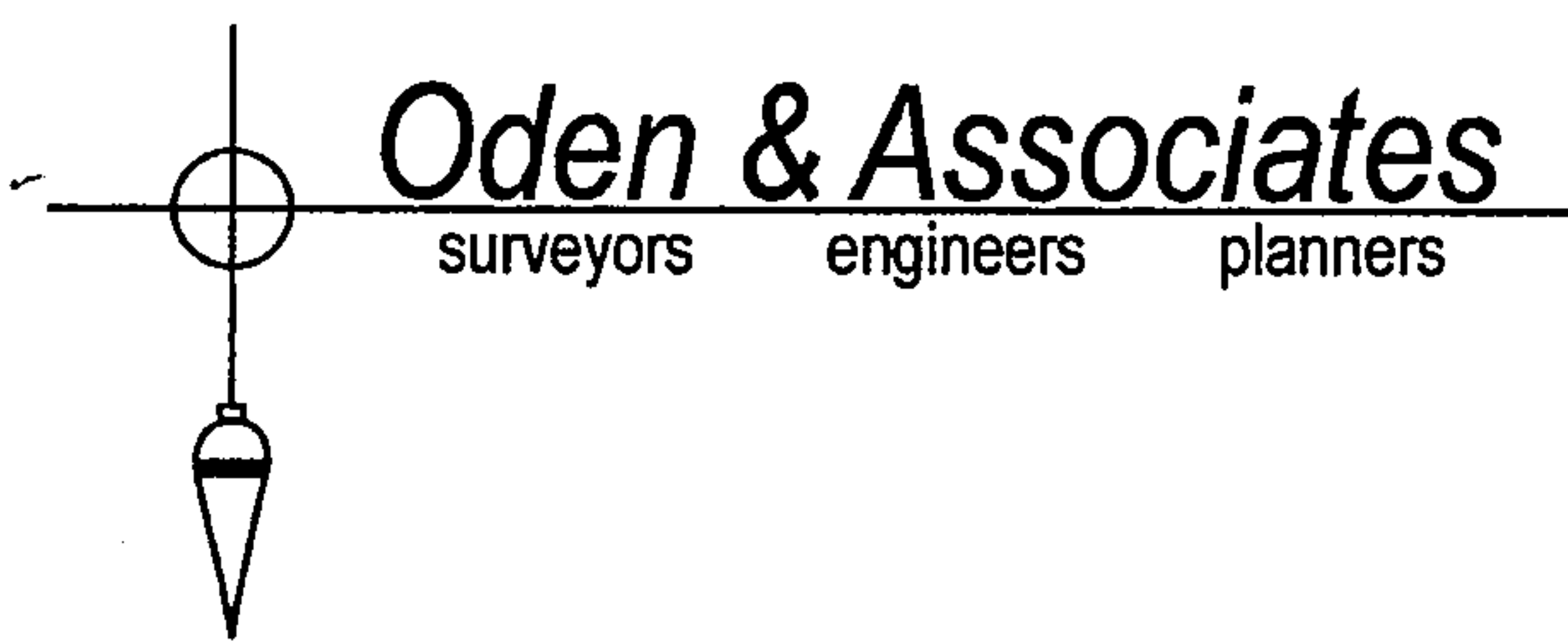
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: June 7, 2005BY: Alan P. Church, P.E.Oden & Associates, Inc.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



June 06, 2005

City of Albuquerque, New Mexico
Attention: Bradley L. Bingham, P.E., Principal Engineer
Planning Department Development and Building Services
600 2nd Street Northwest
Albuquerque, New Mexico 87102

RE: PANDA EXPRESS, 838 EUBANK N.E. GRADING & DRAINAGE PLAN (K21-D12)

Dear Mr. Bingham:

Thank you for furnishing review comments pertaining to the Grading and Drainage Plan for the referenced restaurant project. We have made the necessary adjustments as per suggestions presented in the text of the review. The following synopsis presents our responses to individual review items. The order of our responses generally follows the sequence presented in your letter dated May 23, 2005, photocopy attached:

General Submittal Comments Format as per C.O.A. D.P.M. Chapter 22, Section 7: ✓

1) We have amended our Drainage Report to include the following sections:

- Executive Summary
- Scope
- Existing Conditions
- Proposed Conditions
- Special Flood Hazard Area Assessment
- Quantitative Analysis – Hydrology
- Conclusion

Grading and Drainage Plan Professional Certification:

- 1) A signature, seal, and date have been affixed to the drawings by a New Mexico – Licensed Professional Engineer. ✓

Drainage Calculations Form and Format:

- 1) We have included existing and proposed drainage calculations per City of Albuquerque D.P.M. Chapter 22.2 volume 2, January 1993. ✓

Special Flood Hazard Area Determination:

- 1) We have identified the Special Flood Hazard Area proximate to the subject site. ✓

FEMA - FIRM:

- 1) We have included a FEMA – FIRM Map showing proximity to the subject site. ✓

Sidewalk Stormwater Discharge Prohibition: ✓

- 1) Landscaping buffers along those sidewalks contiguous to the site on the north along Lomas and on the west along Eubank should not allow direct discharge of site-generated runoff to traverse sidewalks in the City rights of way.
- 2) The existing sidewalk culvert at the southwest corner of the site is scheduled to remain in place. No additional sidewalk culverts are planned for the subject site.
- 3) The remaining runoff is planned to discharge through the driveway entrances at the southwest corner of the subject site and the northeast corner of the subject site.

Standard Drawing 2236 and Standard Construction Notes S019:

- 1) Noting the clarification that no additional sidewalk culverts or sidewalk-related drainage appurtenances are planned for the subject site, the above-referenced notes are no longer necessary. ✓

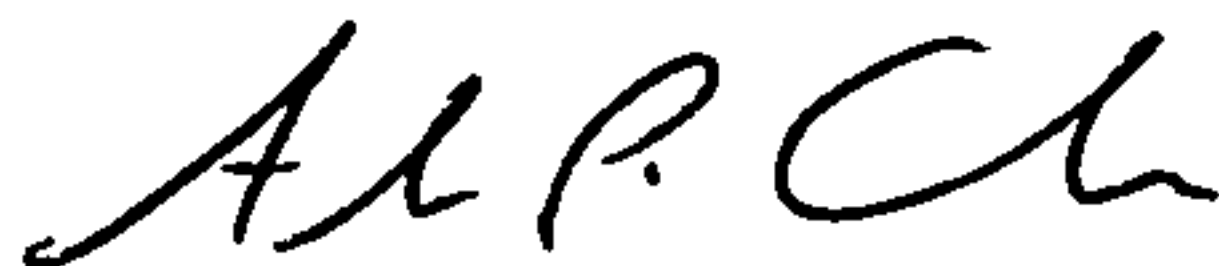
Street Names Adjacent to the Subject Site:

- 1) We have added the names of Lomas Boulevard and Eubank Boulevard to the Grading and Drainage Plan. ✓

We have attached two full-size drawings for your review. If all concerns have been satisfied we would welcome your instructions on how to proceed to final grading and drainage plan approval. Thank you for your assistance in this site development matter.

Very truly yours,

ODEN & ASSOCIATES, INC.



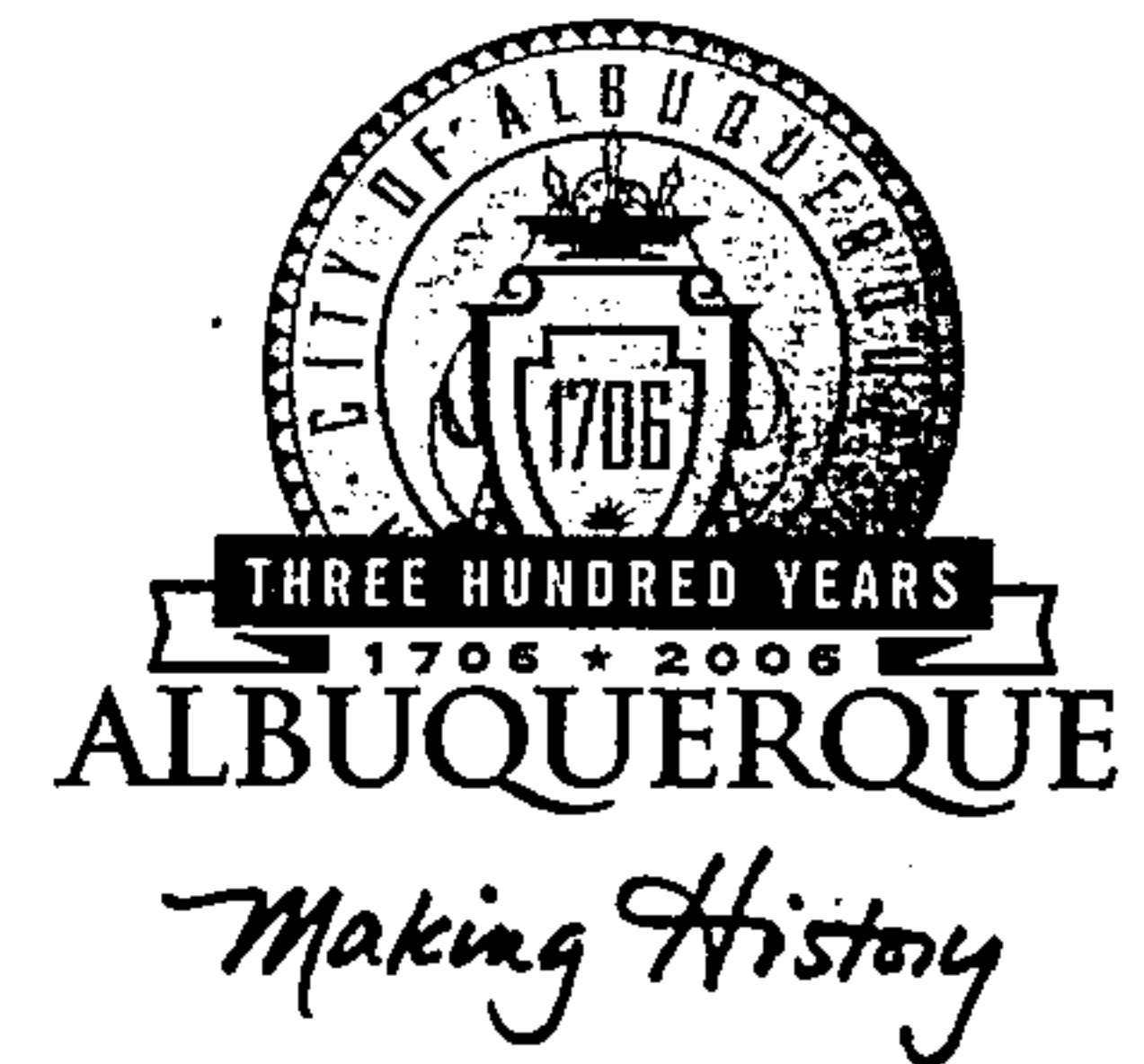
Alan P. Church, P.E.,
Principal Engineer

APC/mo

Attachments: Photocopy of Initial Review Letter
Two Full-Sized Grading and Drainage Plans

\\Eansor\total\Total\CLIENTS\Panda Xpress\Lomas & Eubank\Panda Drainage Ltr 1.doc

CITY OF ALBUQUERQUE



May 23, 2005

Timothy R. Oden, P.S.
Oden and Associates
P.O. Box 1976
200 U.S. Route 66
Moriarty, NM 87035

**Re: Panda Express, 838 Eubank NE,
Grading & Drainage Plan (K21-D12)**

Dear Mr. Oden,

Based upon the information provided in your submittal dated 5-10-05, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- Please review C.O.A. D.P.M., Chapter 22, Section 7, (Supplementary Material for Drainage Submittals) for drainage and grading submittal format requirements.
- Grading and Drainage plans are required to be stamped, signed and dated by a Registered Professional Engineer licensed in New Mexico.
- Provide existing and proposed drainage calculations per City of Albuquerque D.P.M. Chapter 22.2 Volume 2, January 1993.
- Determine if site is in a Special Flood Hazard Area.
- Provide FEMA FIRM Map showing the location of the site on plan.
- Per the City of Albuquerque policy for commercial buildings, storm runoff is not allowed to flow over the public sidewalk. Sidewalk culverts will be required to convey runoff from sloped areas adjacent to sidewalk.
- Reference C.O.A. Standard Drawing 2236 for sidewalk culverts or provide details, add applicable S019 construction notes and provide us with two sets of plans.
- Label streets adjacent to site on grading and drainage plan.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, P.E.
Principal Engineer, Planning Dept.
Development and Building Services

C: file

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



LETTER OF TRANSMITTAL

TO City of Albuquerque, NM
Attn: BRADLEY BINGHAM, P.E.
Planning Dept. Development and Bldg. Services
600 2nd Street Northwest
Albuquerque, NM 87102

DATE 06/06/2005	JOB NO. E05-007
ATTENTION Bradley Bingham, P.E.	
RE: PANDA EXPRESS 838 Eubank N.E. G & D Plan (K21-D12)	
K21-D12	

GENTLEMEN:
WE ARE SENDING YOU ATTACHED THE FOLLOWING ITEMS:

COPIES	DATE	NO.	DESCRIPTION
2	6/6/2005		Full Size Grading and Drainage Drawings
1	6/6/2005		Response Letter

THESE ARE TRANSMITTED as checked below:

For Approval

For Your Use

As Requested

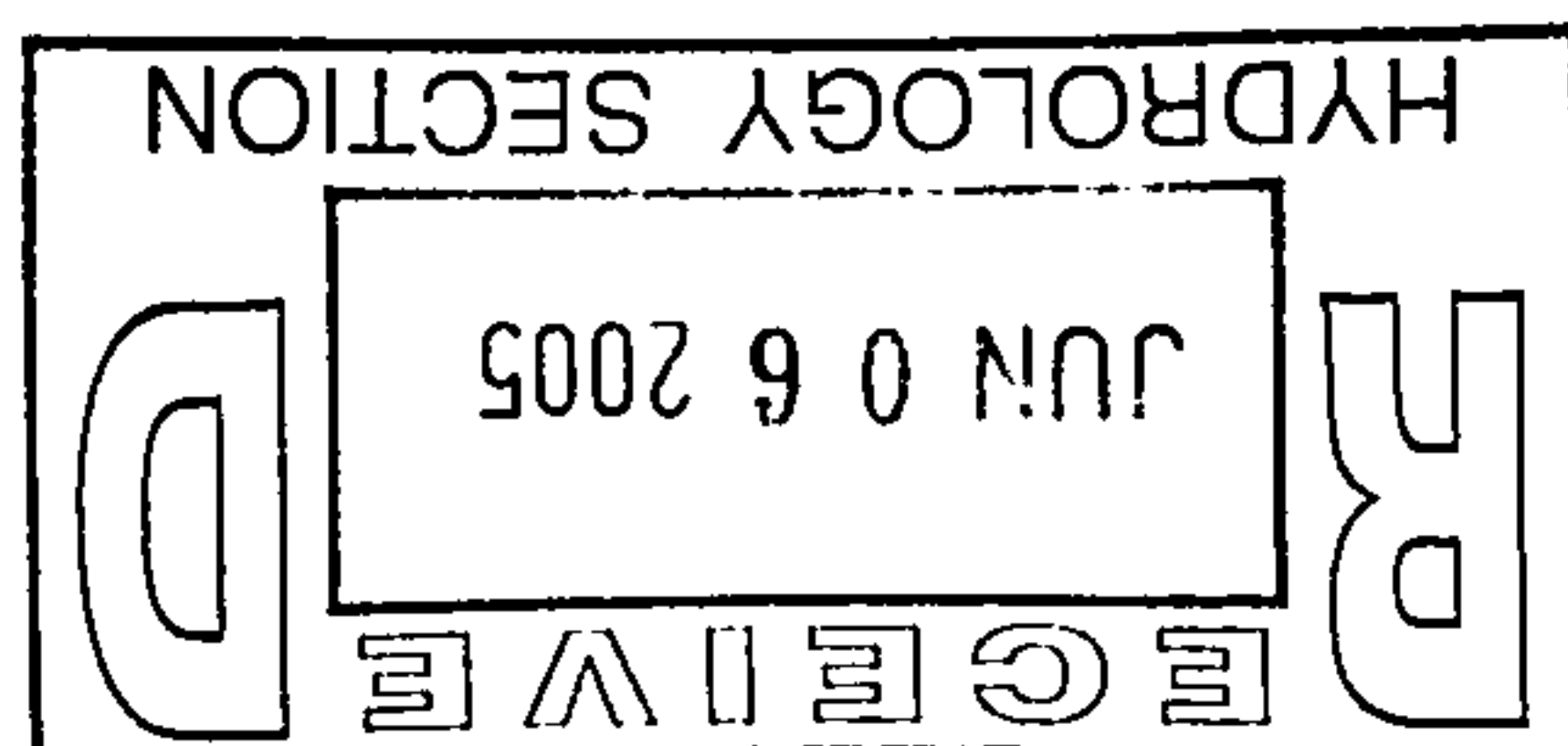
For Review & Comment

Other _____

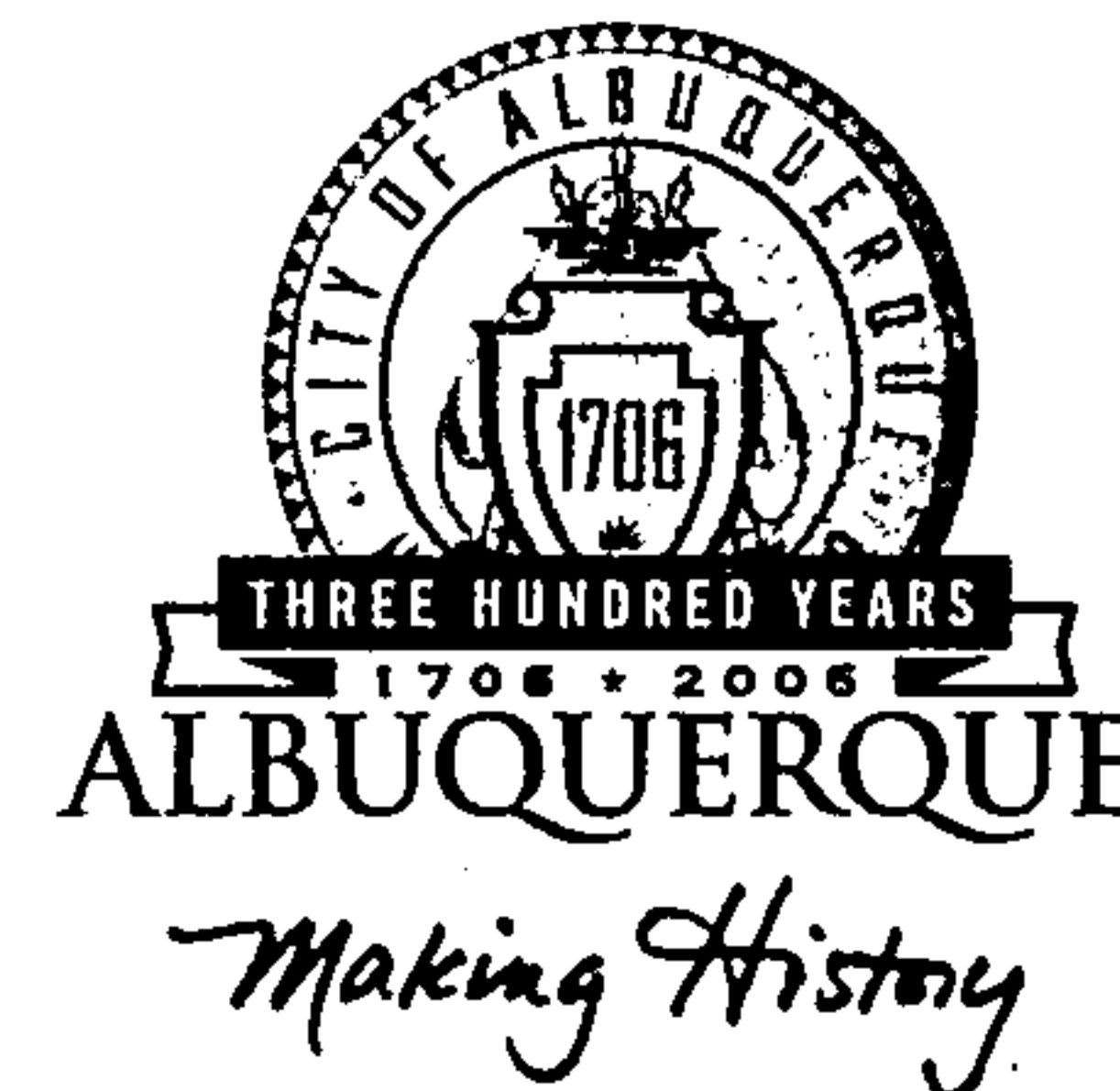
REMARKS Please telephone if adjustments or clarification is needed. Thank you.

COPY TO File

SIGNED: Alan P. Church
Alan P. Church, P.E.



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

December 27, 2005

Phillip W. Clark, PE
C/O Oden & Associates
P.O. Box 1976
Moriarty, New Mexico 87035

Re: Certification Submittal for Final Building Certificate of Occupancy for
PANDA EXPRESS ON EUBANK, [K-21/D12]
838 Eubank Blvd. NE
Engineer's Stamp Dated 11/15/2005

P.O. Box 1293

Dear Mr. Clark:

Albuquerque

The TCL / Letter of Certification submitted on December 27, 2005 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

New Mexico 87103

www.cabq.gov

Wilfred Gallegos, PE
Traffic Engineer
Development and Building Services
Planning Department

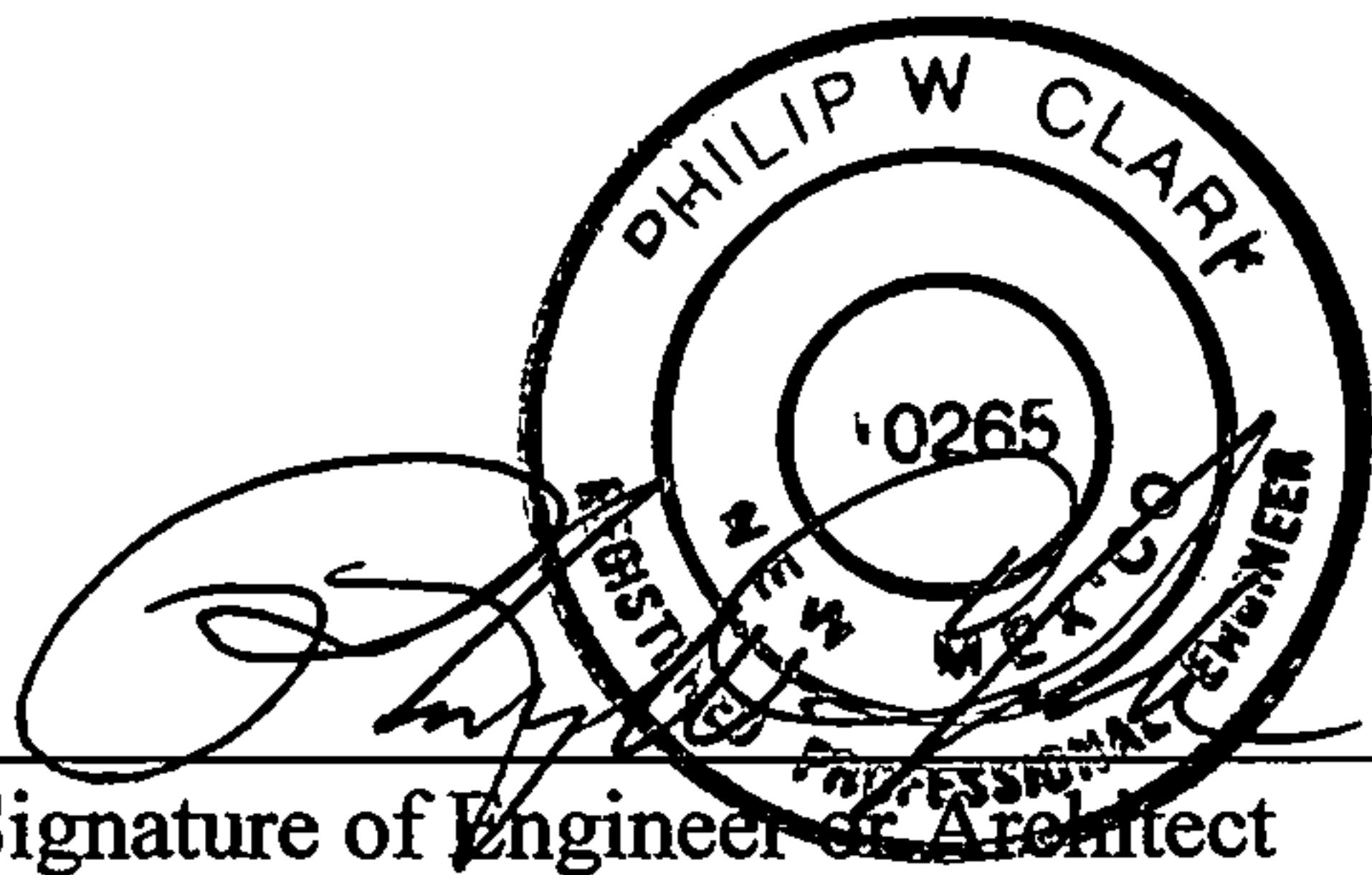
c: Tim Oden
Engineer
Hydrology file
CO Clerk



TRAFFIC CERTIFICATION

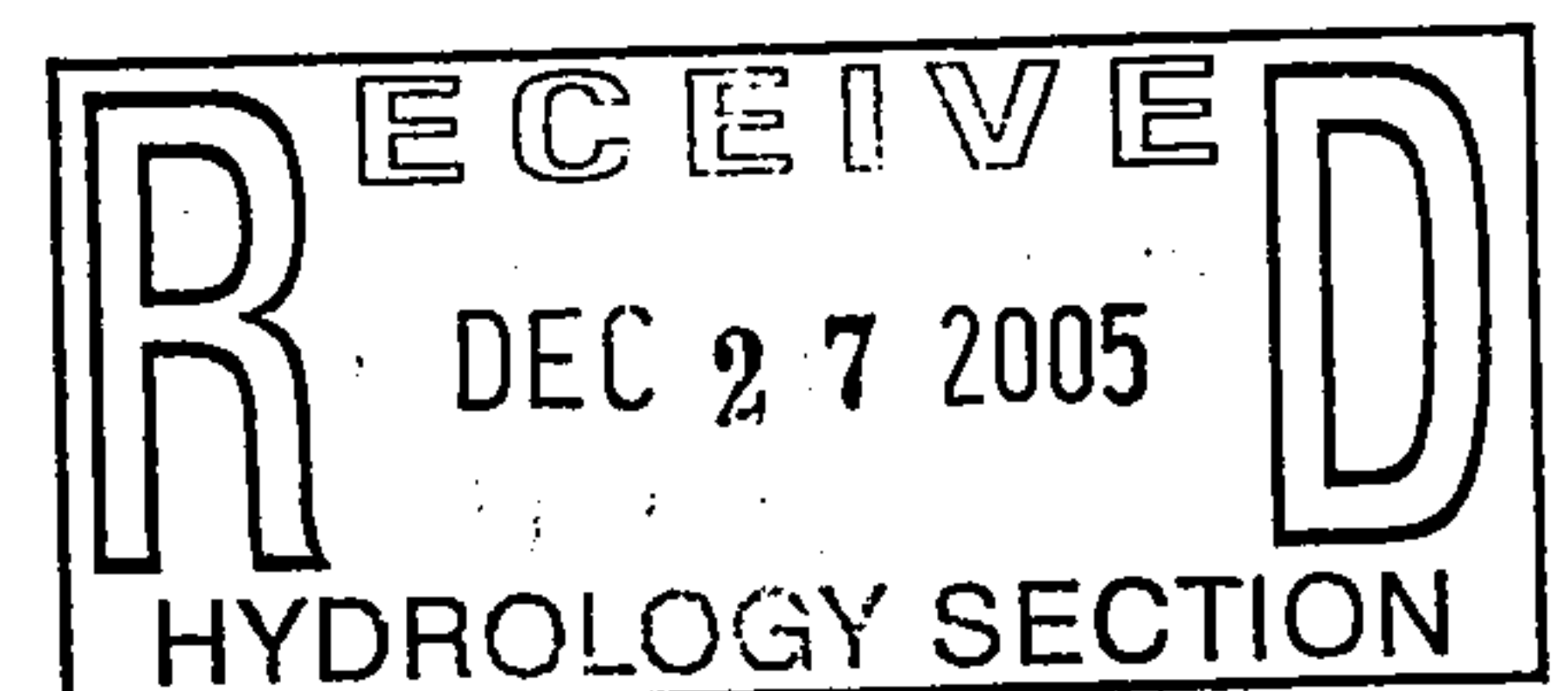
I, PHILIP W. CLARK, NMPE #10265, OF THE FIRM CLARK CONSULTING ENGINEERS HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE ADMINISTRATIVE APPROVAL DATED 4/28/05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TIMOTHY RAY ODEN, PS 8667 OF THE FIRM ODEN & ASSOCIATES, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 17 NOVEMBER 2005 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

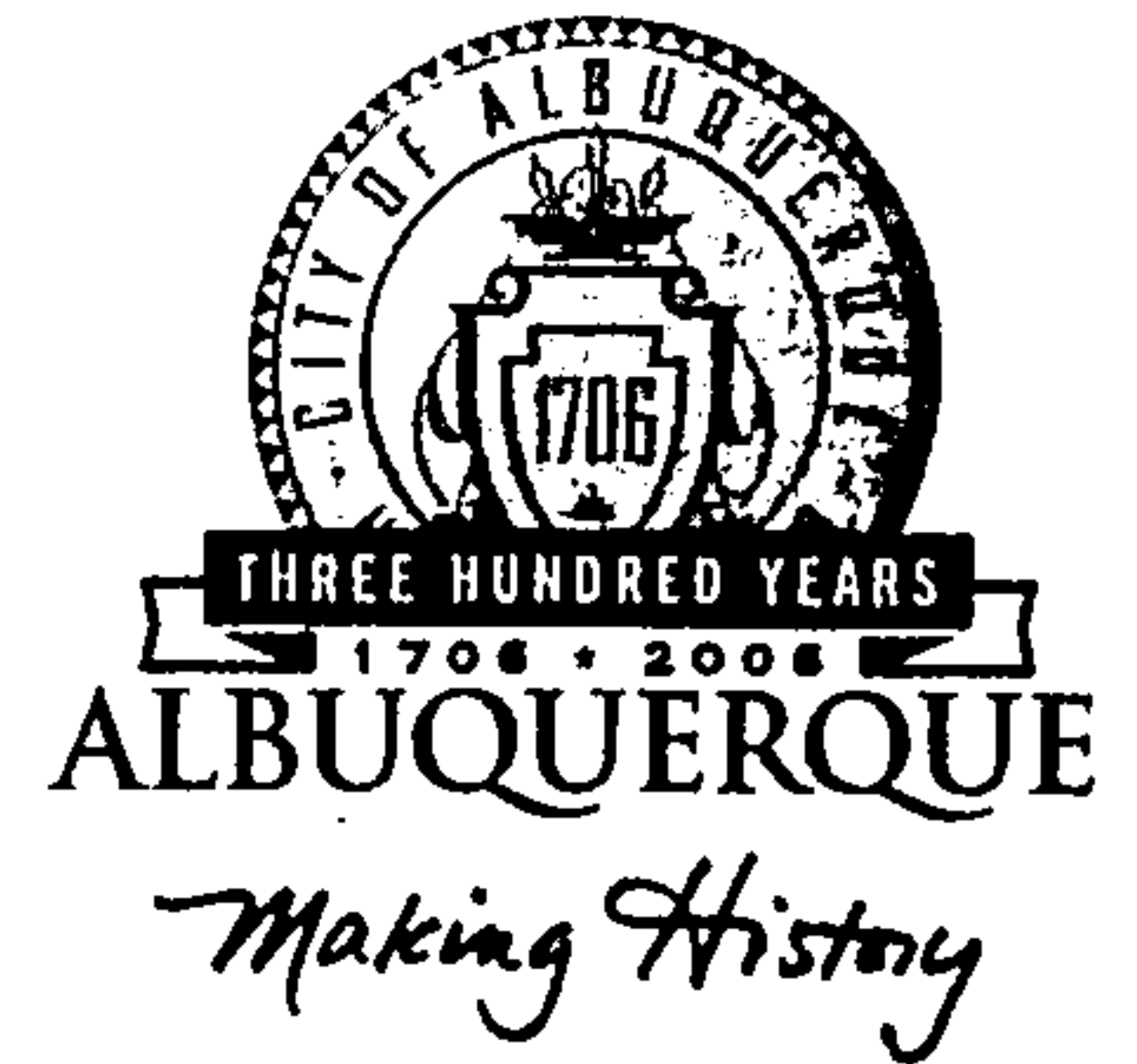

Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP

11-29-05
Date



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

November 21, 2005

Phillip W. Clark, PE
C/O Oden & Associates
P.O. Box 1976
Moriarty, New Mexico 87035

Re: Certification Submittal for Final Building Certificate of Occupancy for
PANDA EXPRESS ON EUBANK, [K-21/D12]
838 Eubank Blvd. NE
Engineer's Stamp Dated 11/15/2005

P.O. Box 1293

Dear Mr. Clark:

Based on the information provided on your submittal dated November 21, 2005,
the above referenced project is approved for a 30-day Temporary C.O.

Albuquerque

A Temporary C.O. has been issued allowing the facsimile changes received on
the Traffic Certification, dated November 21, 2005. When this office receives the
original Engineer Sealed, signed and dated Traffic Certification, a Permanent C.O.
will be issued.

New Mexico 87103

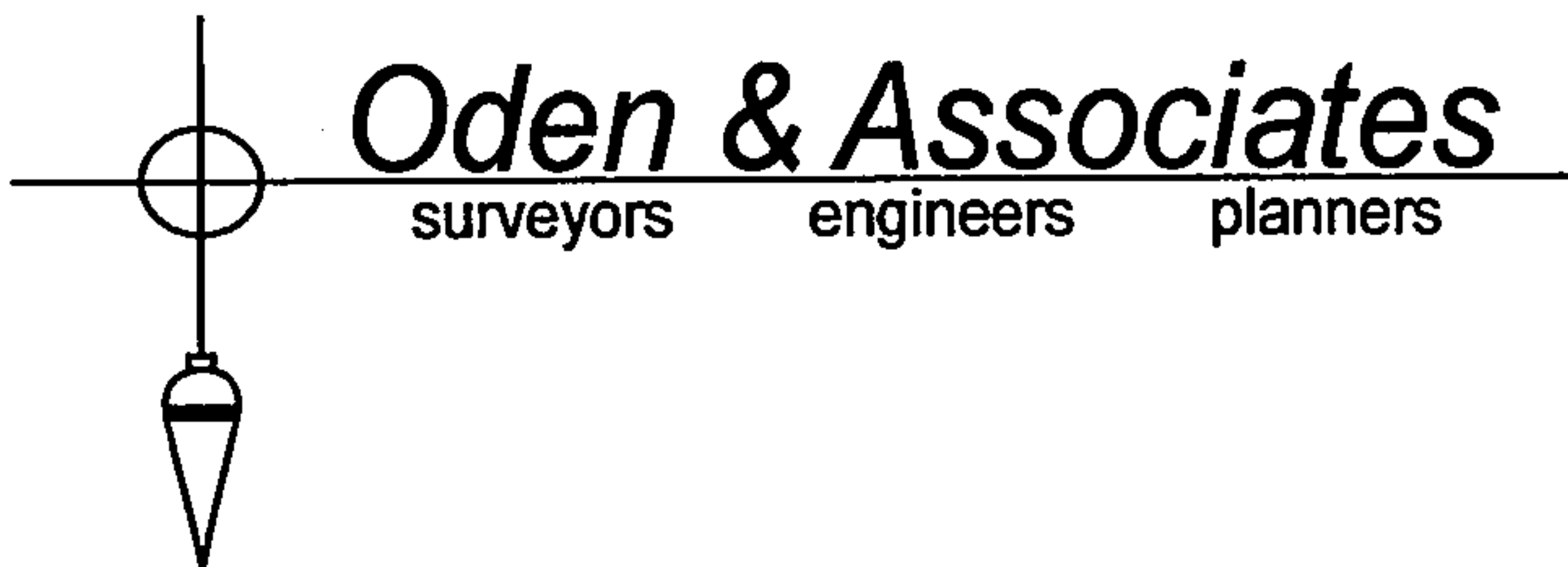
If you have any questions, please call me at 924-3991.

www.cabq.gov

Sincerely,

Wilfred Gallegos, PE
Traffic Engineer
Development and Building Services
Planning Department


c: Engineer
Hydrology file
CO Clerk

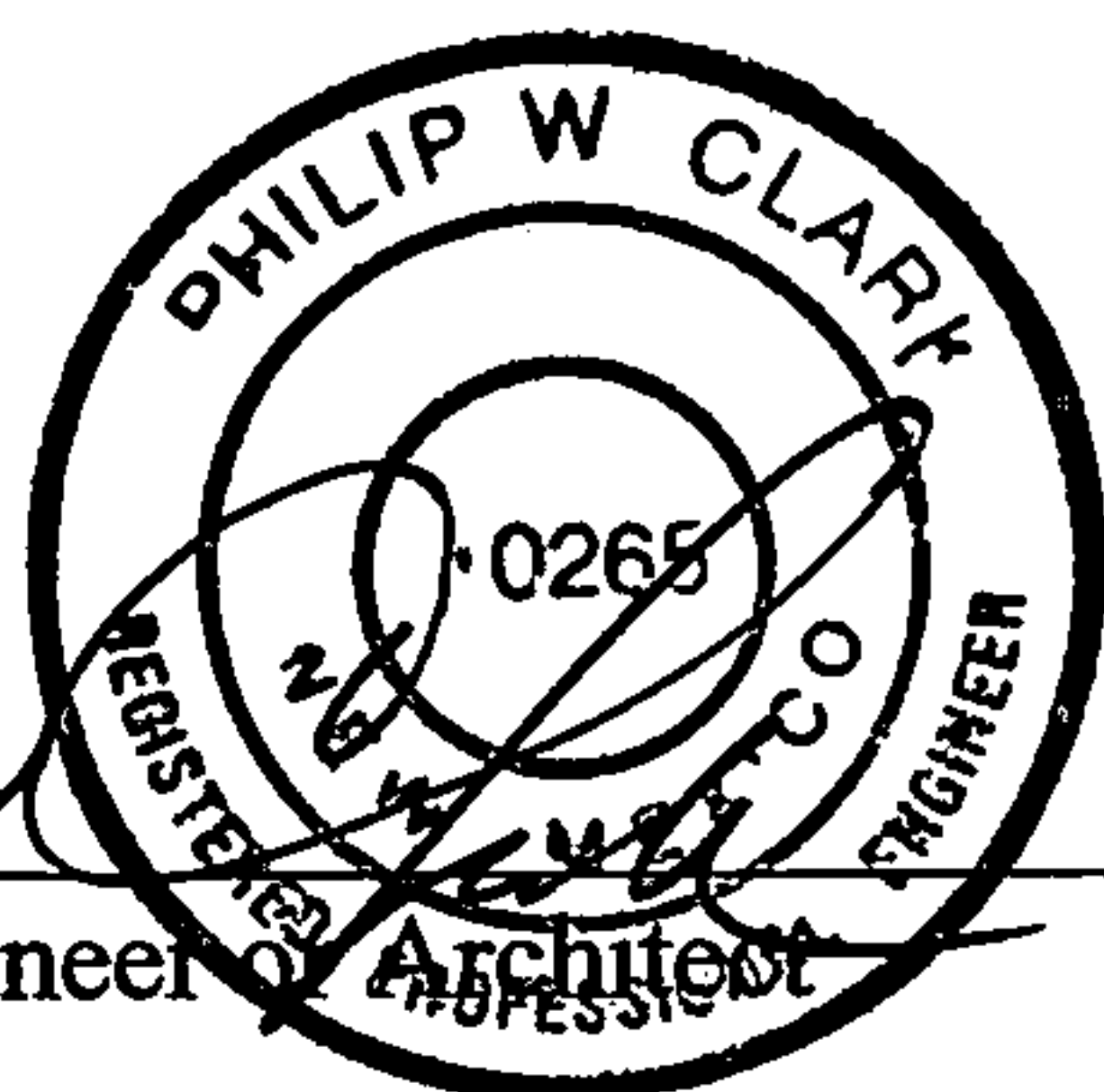


TRAFFIC CERTIFICATION

I, PHILIP W. CLARK, NMPE #10265, OF THE FIRM CLARK CONSULTING ENGINEERS HEREBY CERTIFY THAT THIS PROJECT HAS IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 6/6/05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TIMOTHY RAY ODEN, PS 8667 OF THE FIRM ODEN & ASSOCIATES, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 17 NOVEMBER 2005 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

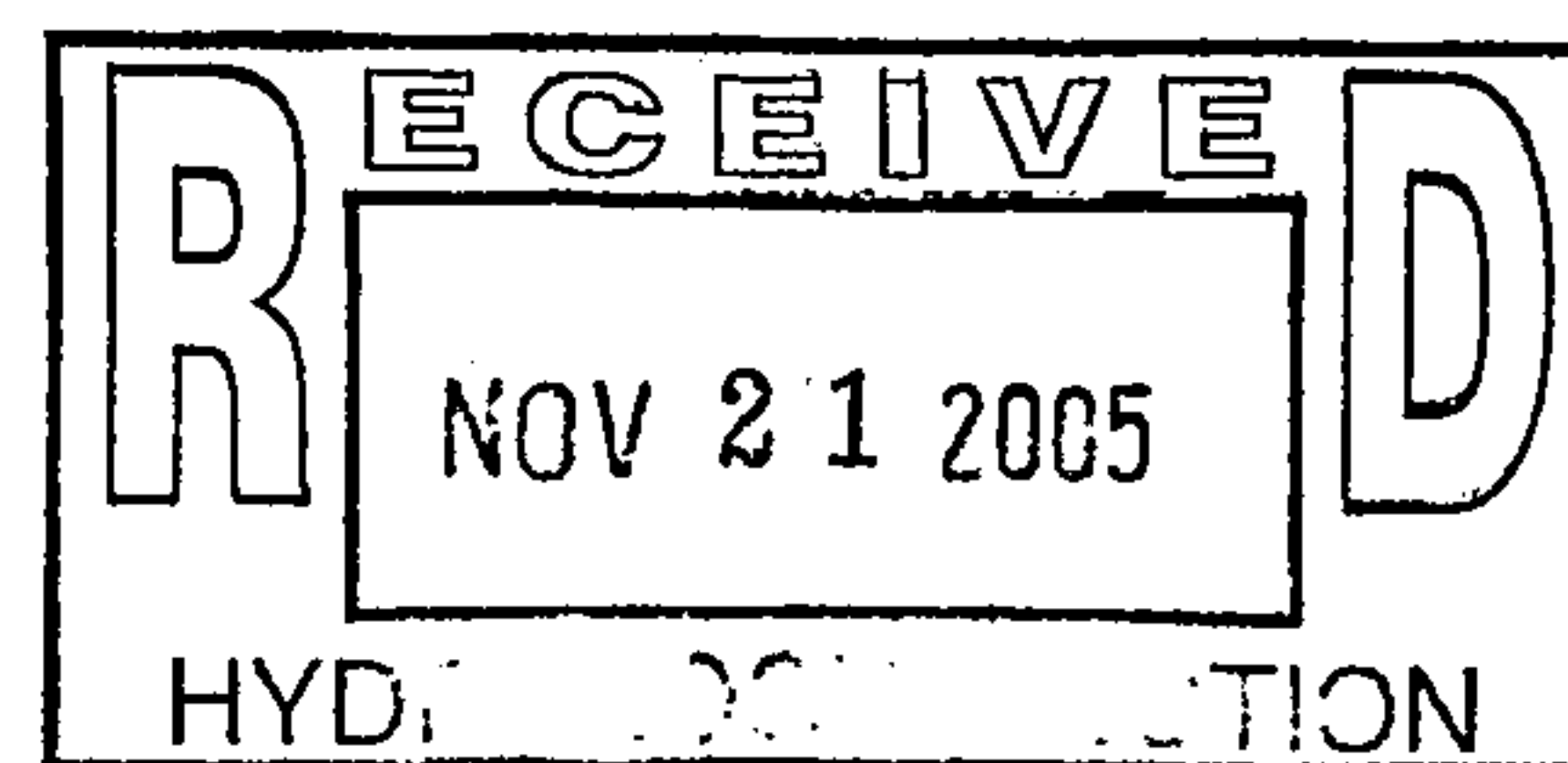
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Signature of Engineer or Architect



ENGINEER'S OR ARCHITECT'S STAMP

11/18/05
Date





TRAFFIC CERTIFICATION

I, PHILIP W. CLARK, NMPE #10265, OF THE FIRM CLARK CONSULTING ENGINEERS HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE ADMINISTRATIVE APPROVAL DATED 4/28/05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TIMOTHY RAY ODEN, PS 8667 OF THE FIRM ODEN & ASSOCIATES, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 17 NOVEMBER 2005 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

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ENGINEER'S OR ARCHITECT'S STAMP

Signature of Engineer or Architect

Date

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 06/22/2005)

PROJECT TITLE: Panda Express Restaurant ZONE MAP/DRG. FILE # K-21/D12
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT 1-A-1, Horne Dev. Addn.
 CITY ADDRESS: _____

ENGINEERING FIRM: Oden & Assoc.
 ADDRESS: PO Box 1976
 CITY, STATE: Merriam, N.M. 87035

CONTACT: Tim Oden
 PHONE: 832-1424
 ZIP CODE: 87035

OWNER: Panda Restaurant Group, Inc.
 ADDRESS: 1683 Walnut Grove Ave.
 CITY, STATE: Rosemead, Calif.

CONTACT: MARK Russell
 PHONE: 626-799-9898
 ZIP CODE: 91770

ARCHITECT: ITRA Group, Inc.
 ADDRESS: 556 N. Diamond Bar Blvd.
 CITY, STATE: Diamond Bar, CA.

CONTACT: Peter Su
 PHONE: 909-396-6983
 ZIP CODE: 91765

SURVEYOR: Oden & Assoc.
 ADDRESS: Box 1976
 CITY, STATE: Merriam, N.M.

CONTACT: Tim Oden
 PHONE: 832-1424
 ZIP CODE: _____

CONTRACTOR: Greenwood Const.
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: Joe Dresch
 PHONE: _____
 ZIP CODE: _____

TYPE OF SUBMITTAL:

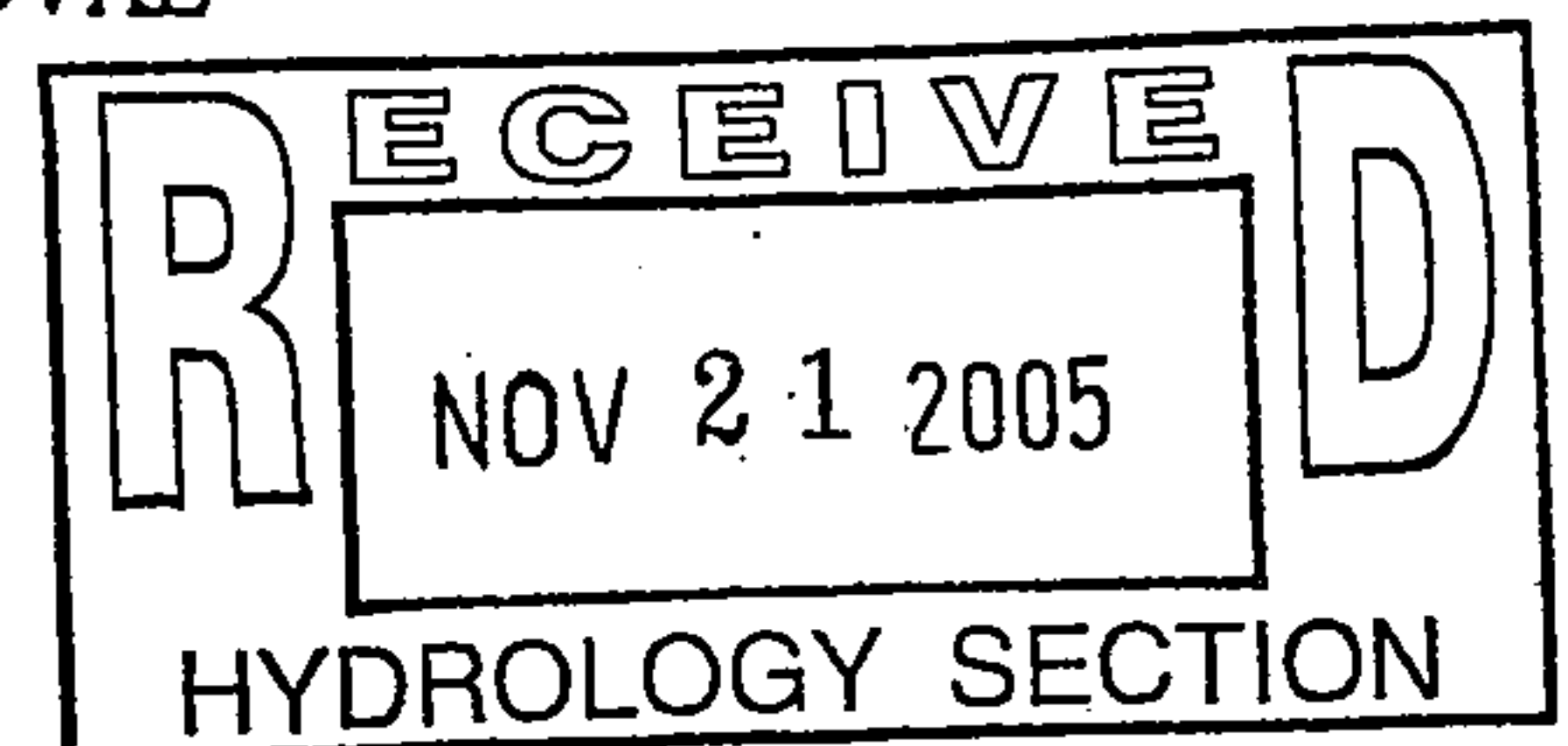
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

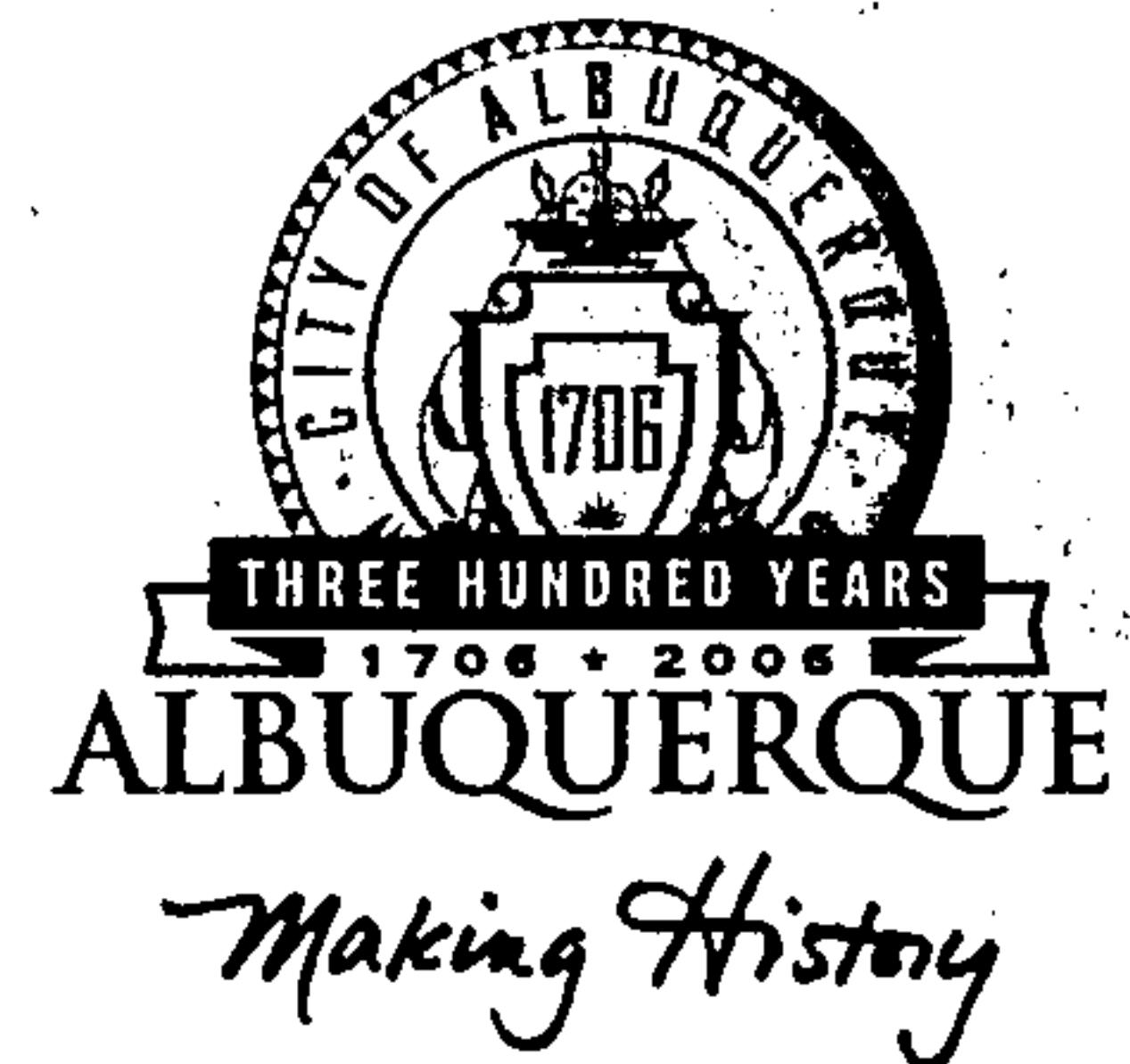


SUBMITTED BY: _____ DATE: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



November 21, 2005

Mr. Phil Clark, P.E.
C/O ODEN & ASSOCIATES
P.O. Box 1976
Moriarty, New Mexico 87035

Re: PANDA EXPRESS ON EUBANK
838 Eubank Blvd. NE
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 06/06/2005 (K-21/D12)
Certification dated 11/18/2005

Dear Phil:

P.O. Box 1293

Based upon the information provided in your submittal received 11/21/2005, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

www.cabq.gov

C: Phyllis Villanueva
File



November 21, 2005

City of Albuquerque
Attn: Arlene Portillo
Hydrology Division
Via Fax: 924-3864

RE: Panda Express Restaurant located at Lomas & Eubank, Albuquerque, New Mexico

Dear Ms. Portillo:

This letter is to notify you that Philip W. Clark, P.E. #10265 is authorized to certify As-builts for the Traffic Certification and the Grading and Drainage (Hydrology) Certifications on the above project.

If you have any further questions, please call me at your convenience.

Very truly yours,

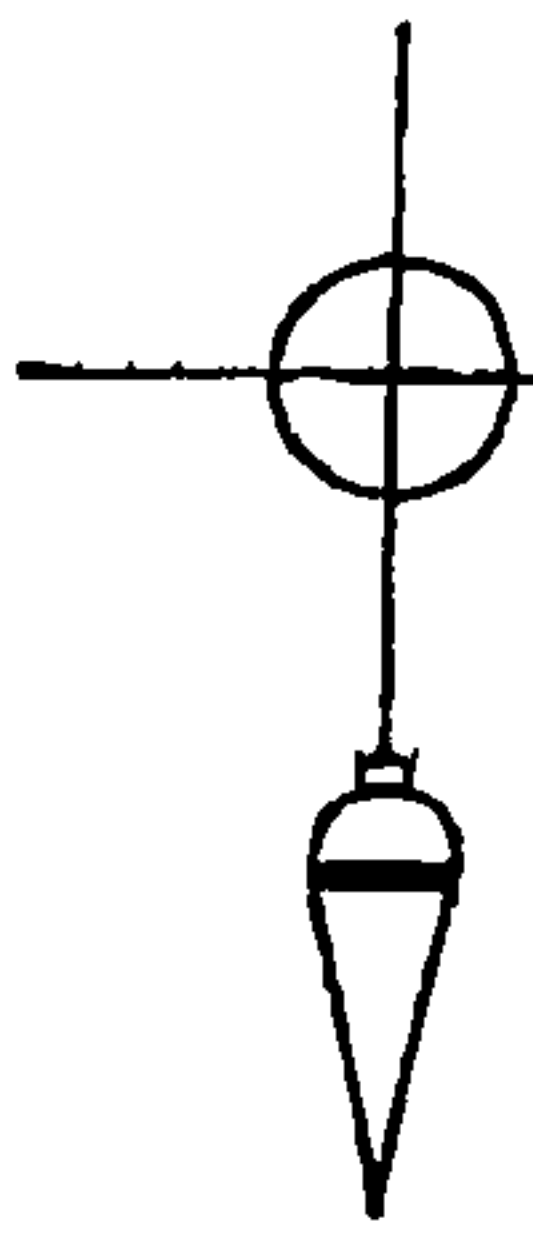
ODEN & ASSOCIATES, INC.

Timothy R. Oden, P.S.
President

TRO/sjm

\\CLIENTS\Panda Xpress\Lomas & Eubank\Construction Phase\Authorization letter to Certify Philip Clark, P.E. for Traffic and Grading and Drainage Certifications.doc

P.O. Box 1976 • 200 US Route 66 • Moriarty, NM 87035
Phone (505) 832-1425 • Fax (505) 832-6996 • Website: www.odenassociates.com



Oden & Associates
surveyors engineers planners

ODEN & ASSOCIATES

25TH

1980 - 2005

ANNIVERSARY

FAX COVER SHEET

DATE:

11/21/05

TOTAL PAGES:

3

COMPANY:

City of Albuquerque

ATTN:

Arlene Portillo

BUSINESS NUMBER:

MESSAGES:

FAX NUMBER:

924-3864

RE: Panda Express Restaurant at
Lomas and Esplanade

Documents as requested.

Jason Mergers
Tim Oden

IF YOU HAVE ANY PROBLEMS RECEIVING THIS TRANSMISSION, PLEASE CALL (505) 832-1425, THANK YOU.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 06/22/2005)

PROJECT TITLE: Panda Express Restaurant ZONE MAP/DRG. FILE # K-21/D12
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract 1-A-1, Horne Dev. Addn.
 CITY ADDRESS: _____

ENGINEERING FIRM: Oden & Assoc.
 ADDRESS: PO Box 1976
 CITY, STATE: Marietta, N.M. 87035

CONTACT: Tim Oden
 PHONE: 832-1424
 ZIP CODE: 87035

OWNER: Panda Restaurant Group, Inc.
 ADDRESS: 1683 Walnut Grove Ave.
 CITY, STATE: Rosemead, Calif.

CONTACT: Mark Russell
 PHONE: 626-799-9898
 ZIP CODE: 91770

ARCHITECT: ITRA Group, Inc.
 ADDRESS: 556 N. Diamond Bar Blvd.
 CITY, STATE: Diamond Bar, CA.

CONTACT: Peter Su
 PHONE: 909-396-6983
 ZIP CODE: 91765

SURVEYOR: Oden & Assoc.
 ADDRESS: Box 1976
 CITY, STATE: Marietta, N.M.

CONTACT: Tim Oden
 PHONE: 832-1424
 ZIP CODE: _____

CONTRACTOR: Green Wood Const.
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: Joe Dresch
 PHONE: _____
 ZIP CODE: _____

TYPE OF SUBMITTAL:

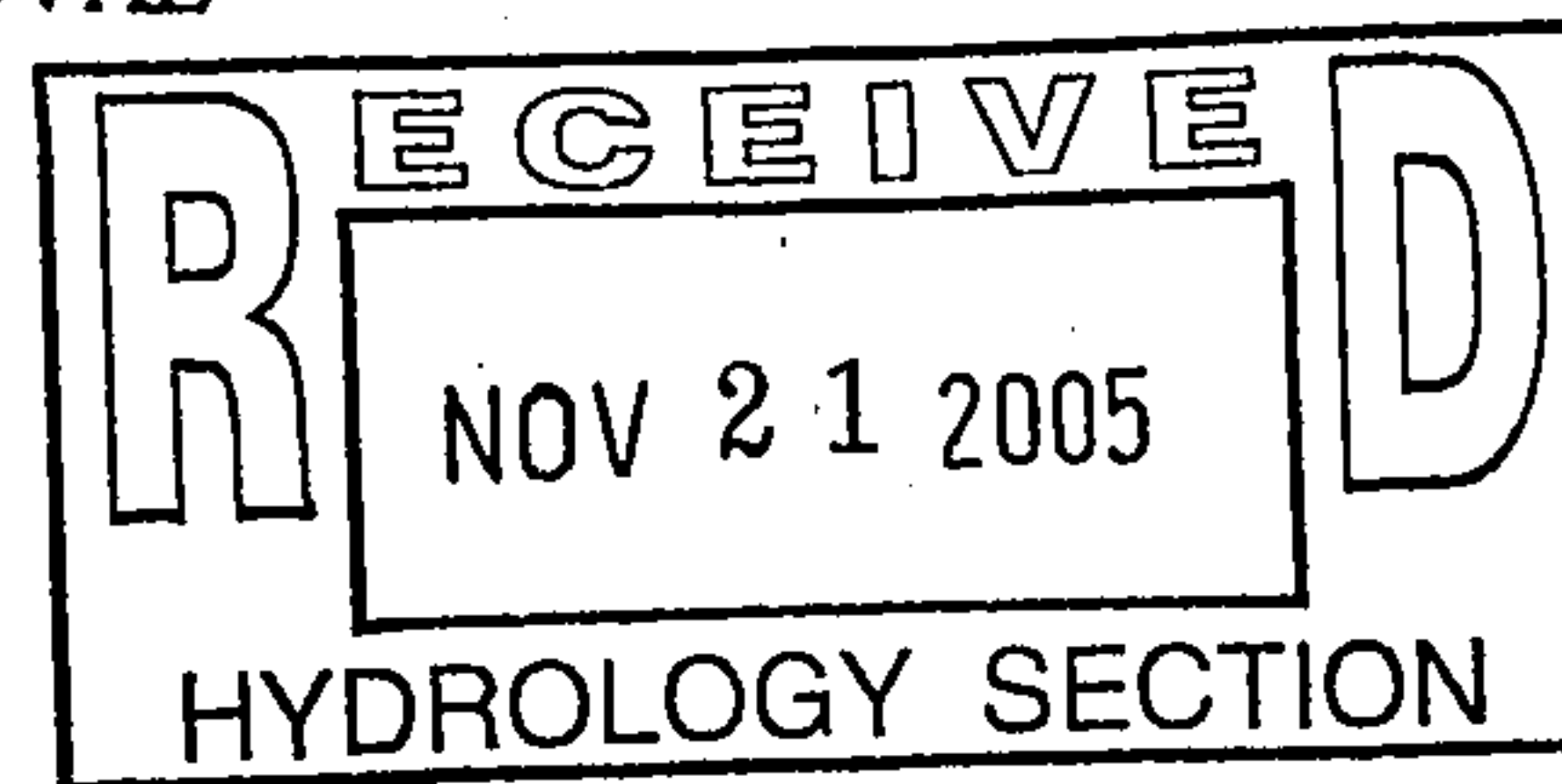
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
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☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED



SUBMITTED BY: _____ DATE: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Fax

To: Tim Oden**From:**

Arlene V. Portillo 505-924-3982

Fax # 505-924-3864

Fax: 832-6996**Pages Sent:** (including this page) 4**Phone:****Date:** November 16, 2005**Time:** 9:15 a.m.☐ **Urgent** ☐ **For Review** ☐ **Please Comment** ☐ **Please Reply** ☐ **Please Recycle**

As per our telecon regarding Hydrology Certification and Traffic Certification for Certificate of Occupancy for your project. Please submit the following items at the west counter on the second level of the Plaza del Sol Bldg., for review. Thanks.

TRAFFIC:

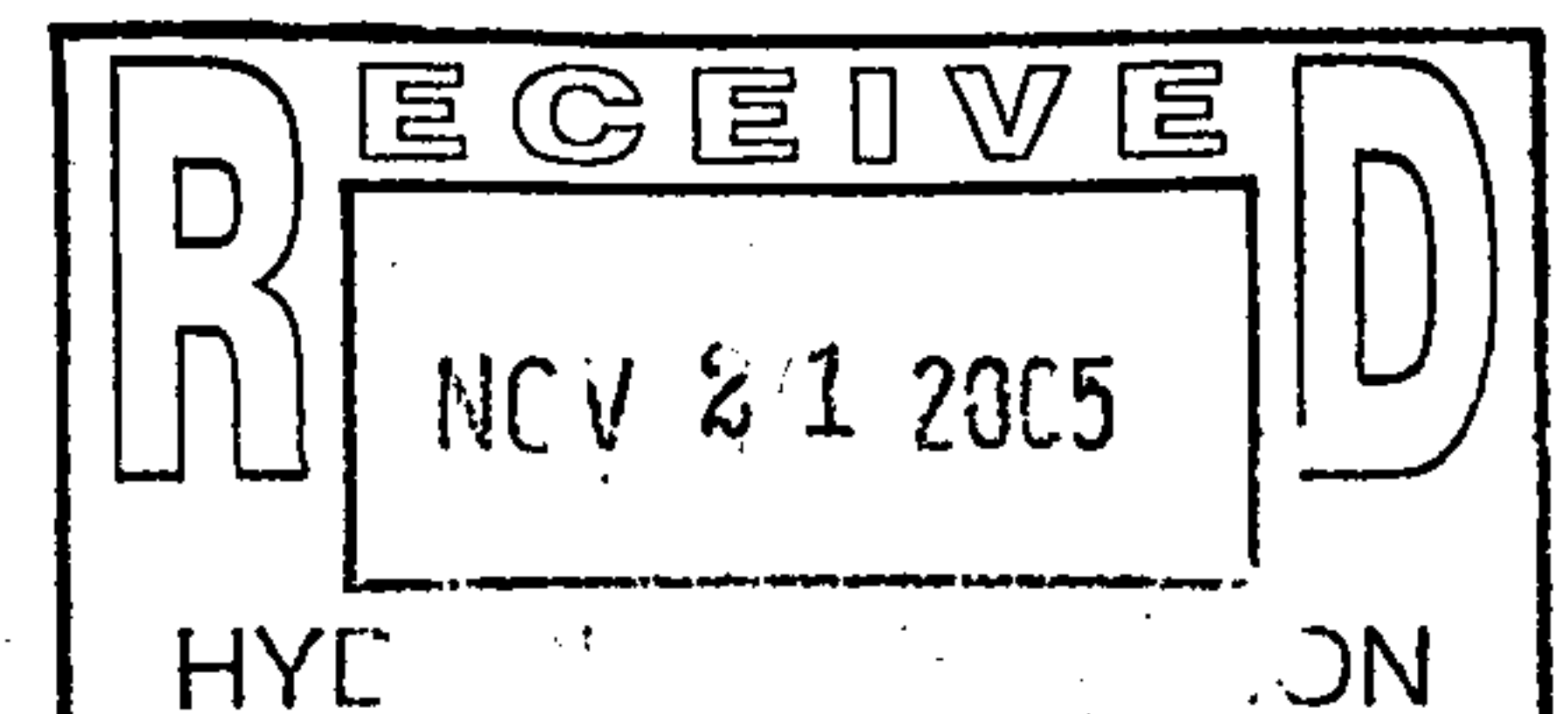
1. We will need a copy of the Administrative Amendment (AA) (there should be a copy in the approved building plan set).
2. A "Traffic Certification" (see attached **SAMPLE** of format/language, as required by DPM). The Certification must be on Company Letterhead and must be an **ORIGINAL**; not a copy.
3. A "Drainage & Transportation Information Sheet" filled out. (see attached).

HYDROLOGY:

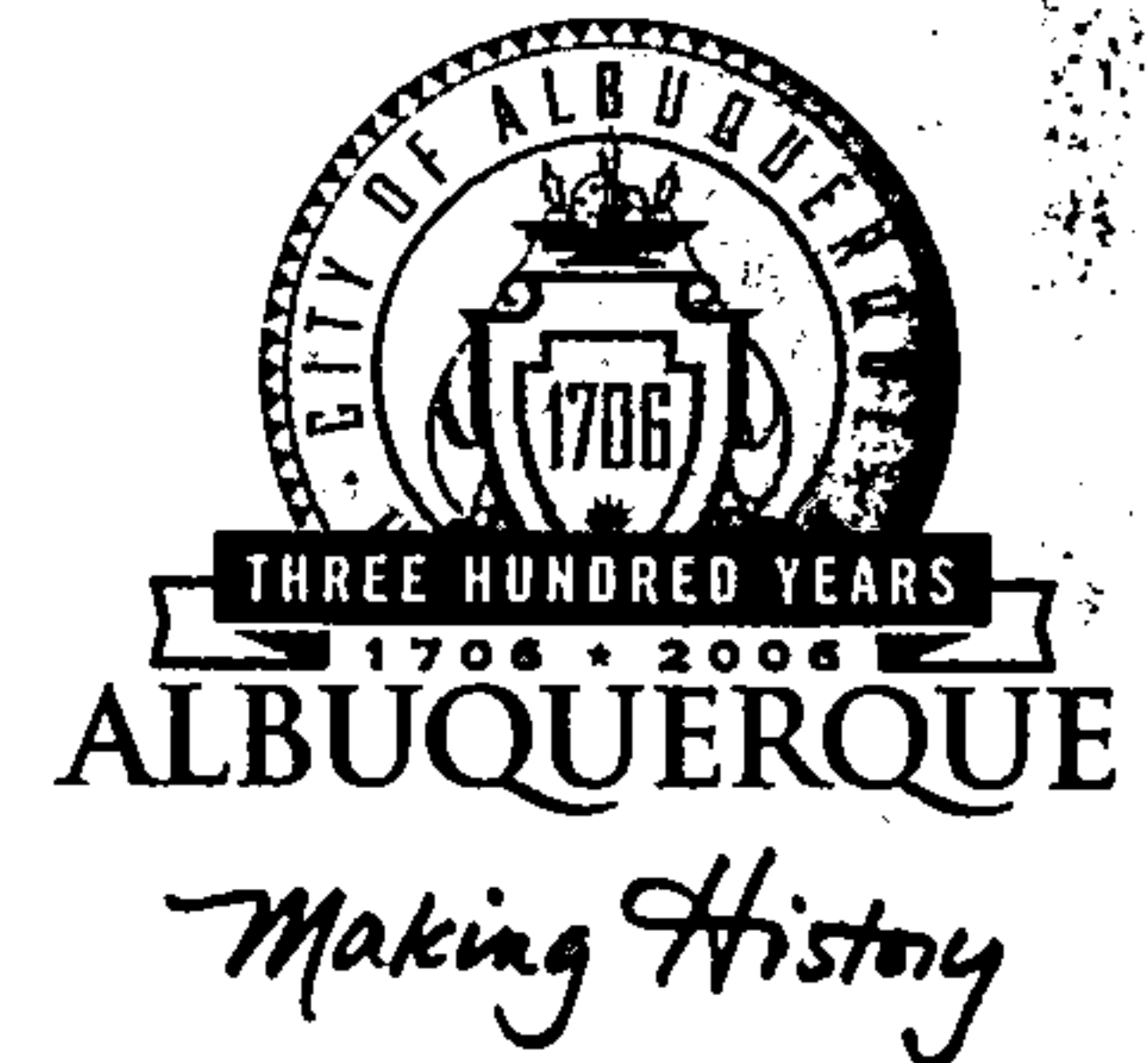
1. A copy of the **APPROVED** Grading & Drainage (G/D), Engineer's Stamp dated 6/06/05. The finished as-built elevations need to be noted on the copy of the Certified Plan. The Certification needs to be on the G/D Plan; not on a separate sheet of paper. (See attached samples of format/language, as required by DPM. One is "Drainage Certification" with survey work done by others, and the other is "Drainage Certification" with verification by Engineer of Record).
2. A "Drainage & Transportation Information Sheet" filled out. (see attached).

If you require further assistance, please do not hesitate to call me at 924-3982. Thanks!

Cc: Brad Bingham



CITY OF ALBUQUERQUE



May 23, 2005

Timothy R. Oden, P.S.
Oden and Associates
P.O. Box 1976
200 U.S. Route 66
Moriarty, NM 87035

**Re: Panda Express, 838 Eubank NE,
Grading & Drainage Plan (K21-D12)**

Dear Mr. Oden,

Based upon the information provided in your submittal dated 5-10-05, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- Please review C.O.A. D.P.M., Chapter 22, Section 7, (Supplementary Material for Drainage Submittals) for drainage and grading submittal format requirements.
- Grading and Drainage plans are required to be stamped, signed and dated by a Registered Professional Engineer licensed in New Mexico.
- Provide existing and proposed drainage calculations per City of Albuquerque D.P.M. Chapter 22.2 Volume 2, January 1993.
- Determine if site is in a Special Flood Hazard Area.
- Provide FEMA FIRM Map showing the location of the site on plan.
- Per the City of Albuquerque policy for commercial buildings, storm runoff is not allowed to flow over the public sidewalk. Sidewalk culverts will be required to convey runoff from sloped areas adjacent to sidewalk.
- Reference C.O.A. Standard Drawing 2236 for sidewalk culverts or provide details, add applicable S019 construction notes and provide us with two sets of plans.
- Label streets adjacent to site on grading and drainage plan.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, P.E.
Principal Engineer, Planning Dept.
Development and Building Services

C: file

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Panda Express ZONE MAP/DRG. FILE #: K-21/D12
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract 1-A-1
 CITY ADDRESS: 838 Erbeck NE

ENGINEERING FIRM: Oden & Assoc.
 ADDRESS: PO Box 1976
 CITY, STATE: Marietta, NM 87035

CONTACT: Tina Oden
 PHONE: 832-1424
 ZIP CODE: 87035

OWNER: Panda Restaurant Group Inc
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

ARCHITECT: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

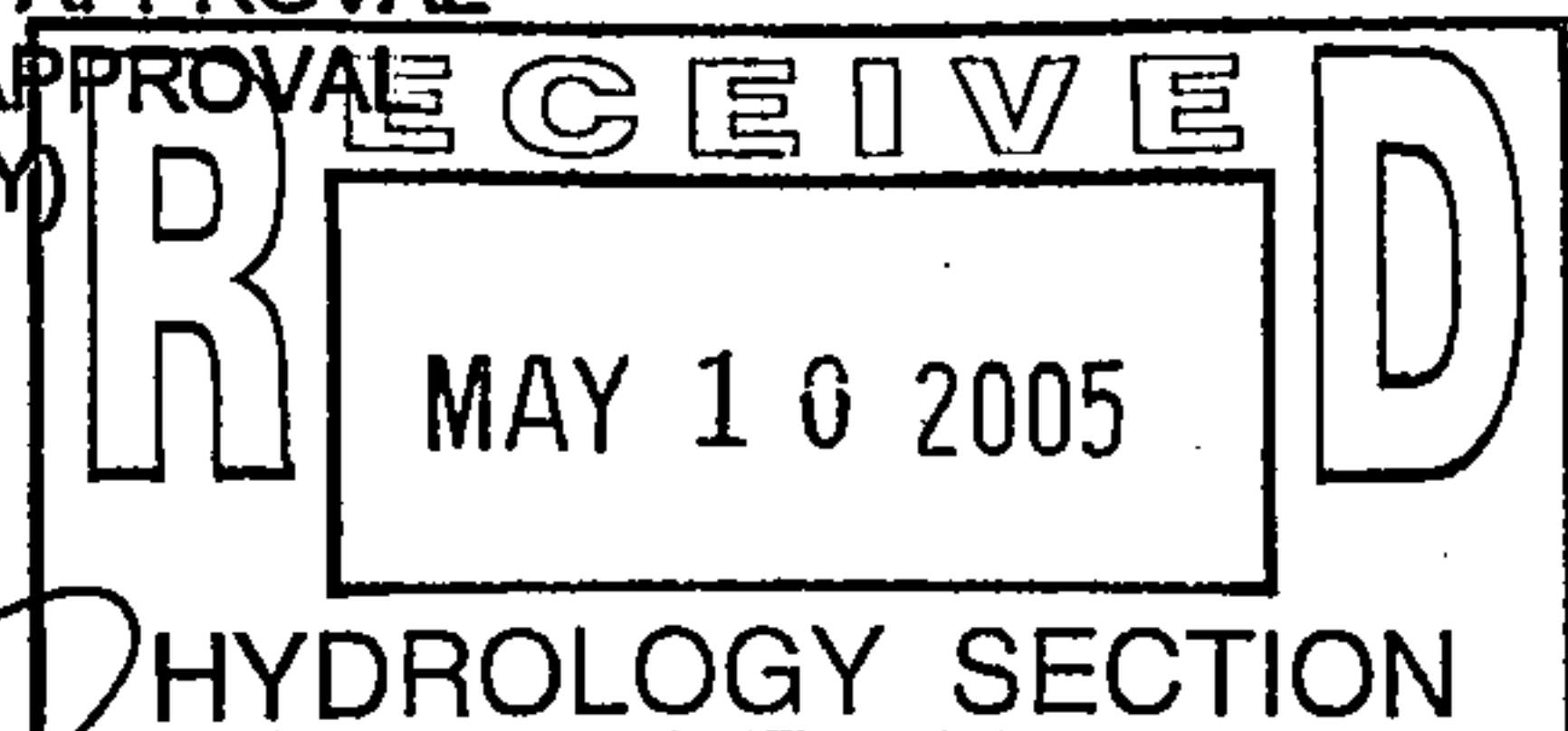
CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☒ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

fee paid

CHECK TYPE OF APPROVAL SOUGHT:

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- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
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- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)



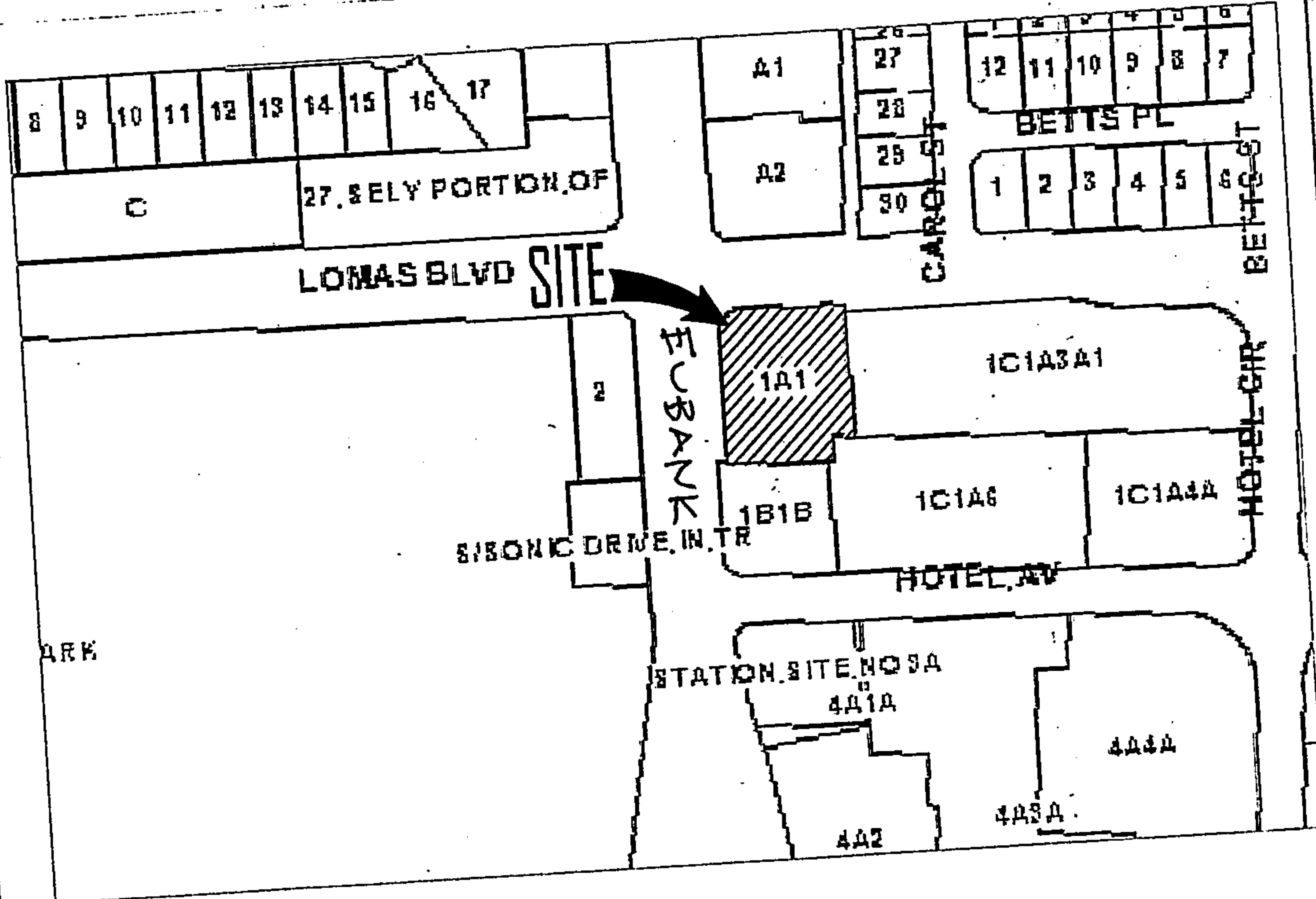
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 5/10/05 BY: [Signature]

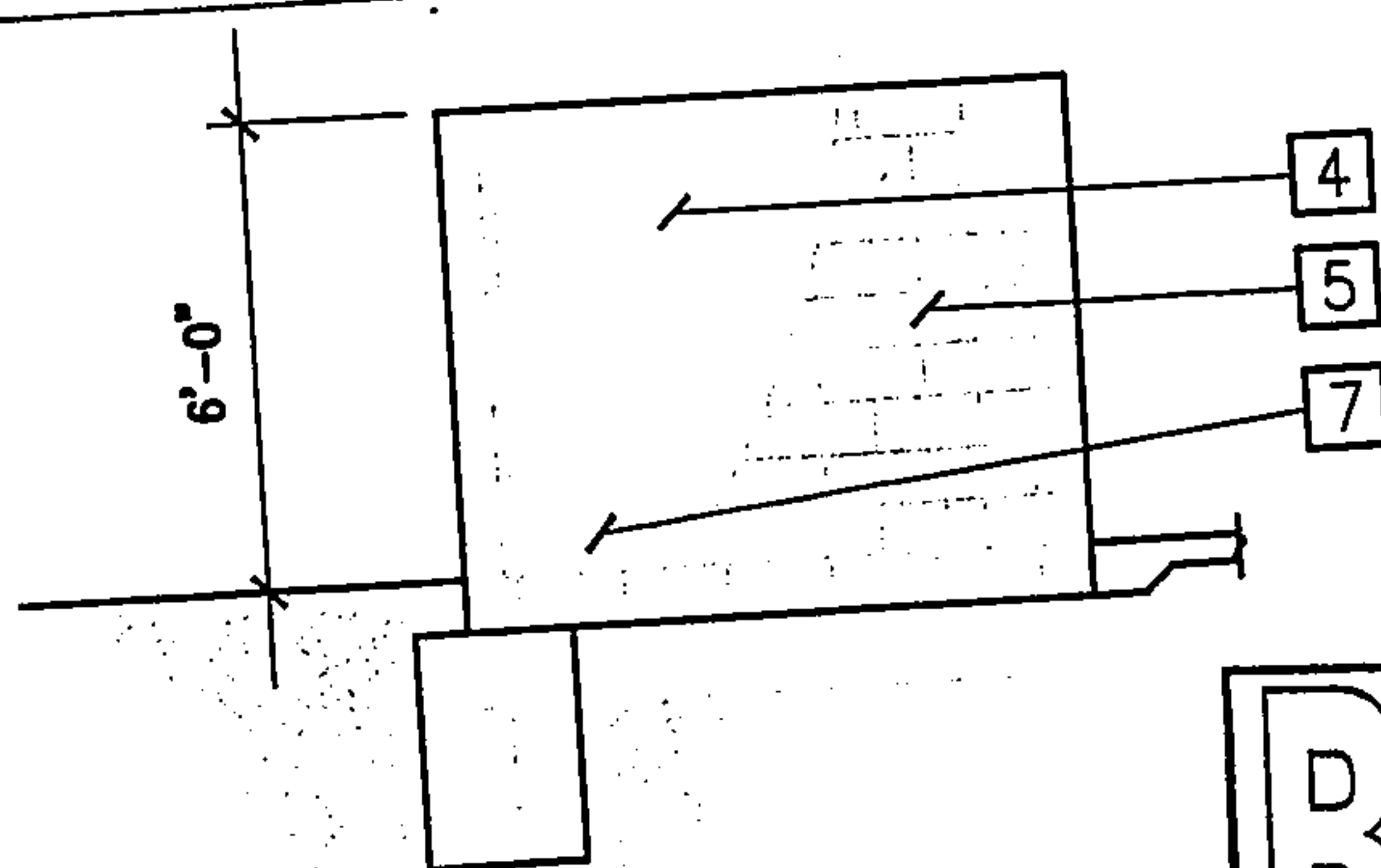
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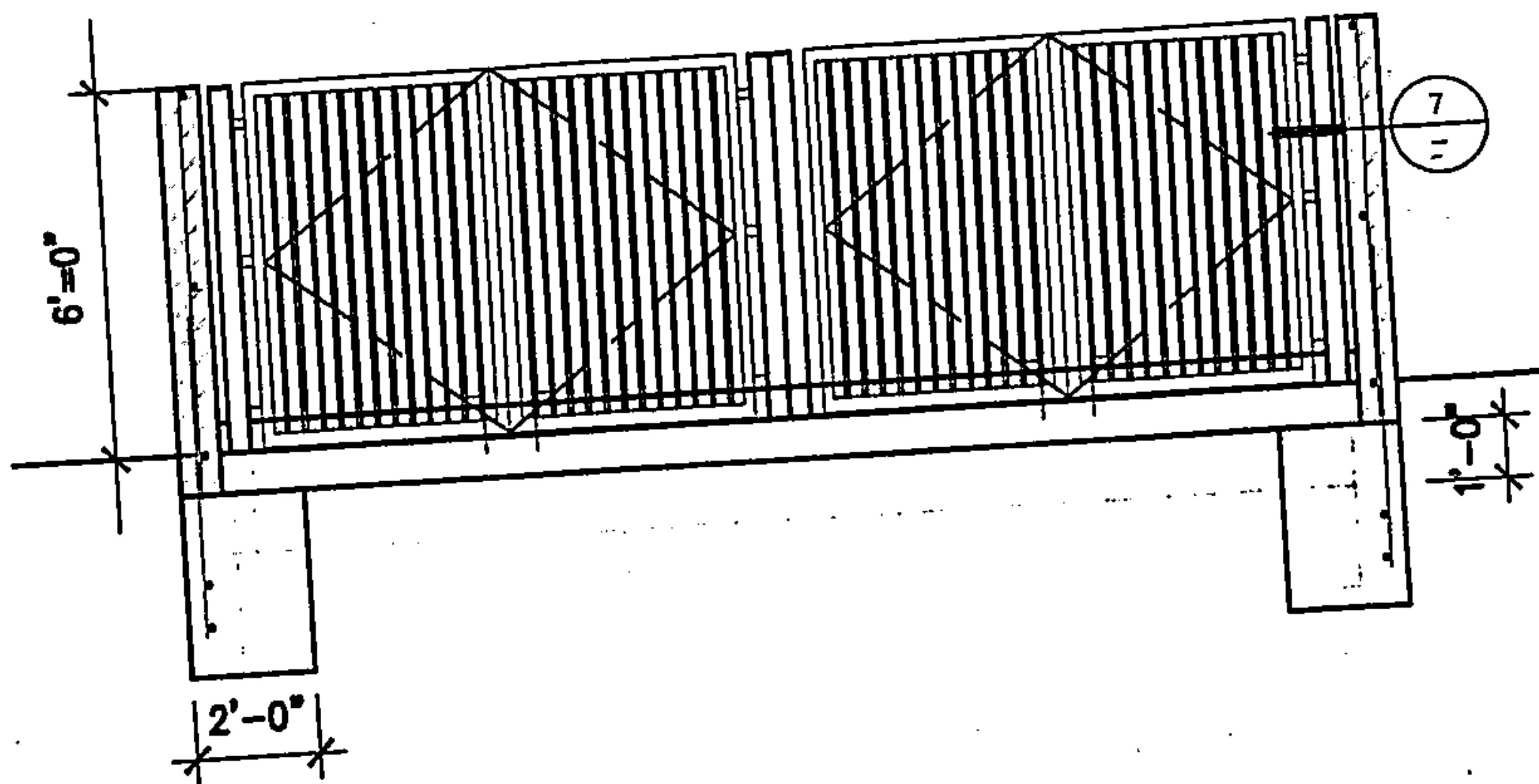
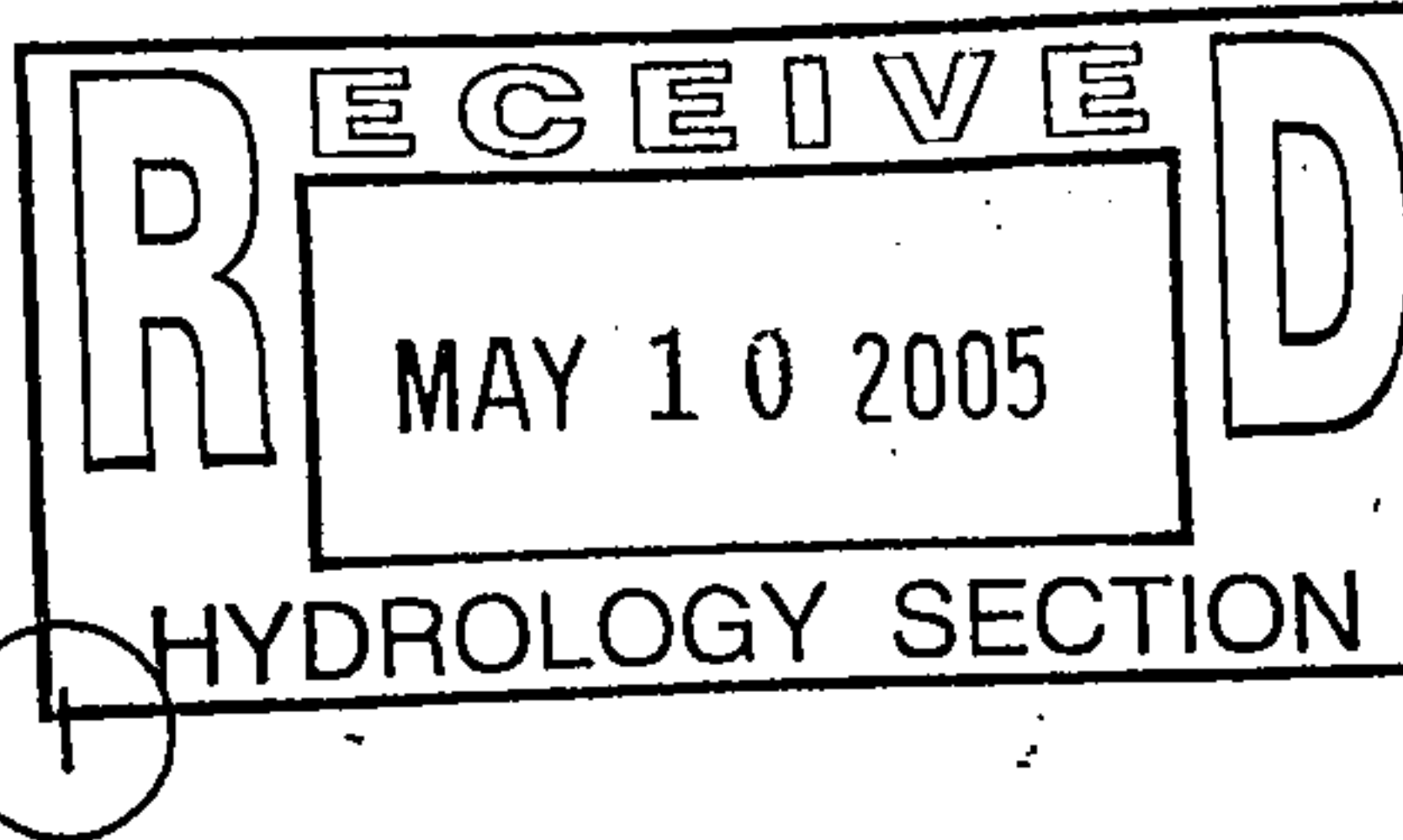


VICINITY MAP

SCALE: 1"=200'
ZONE ATLAS K-21

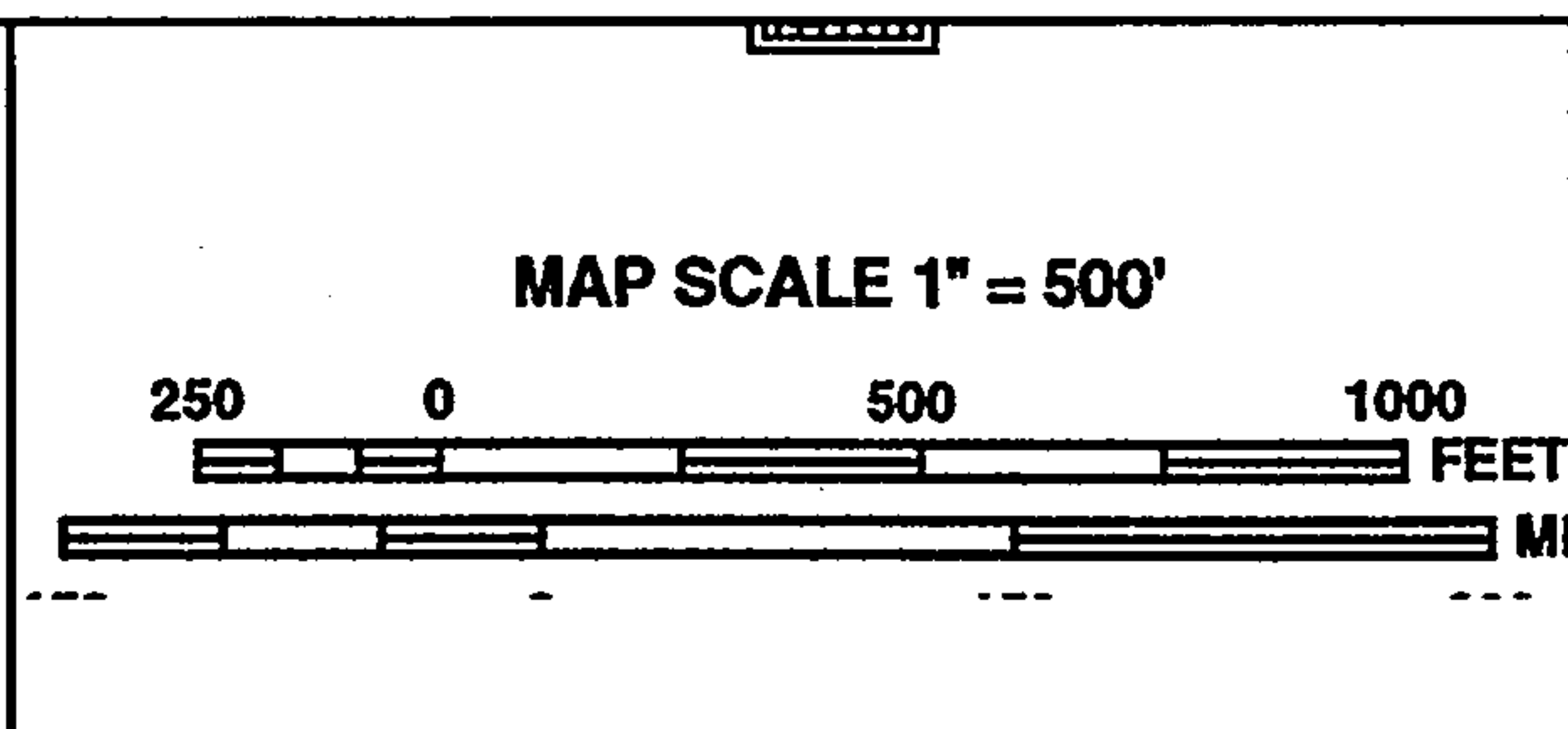
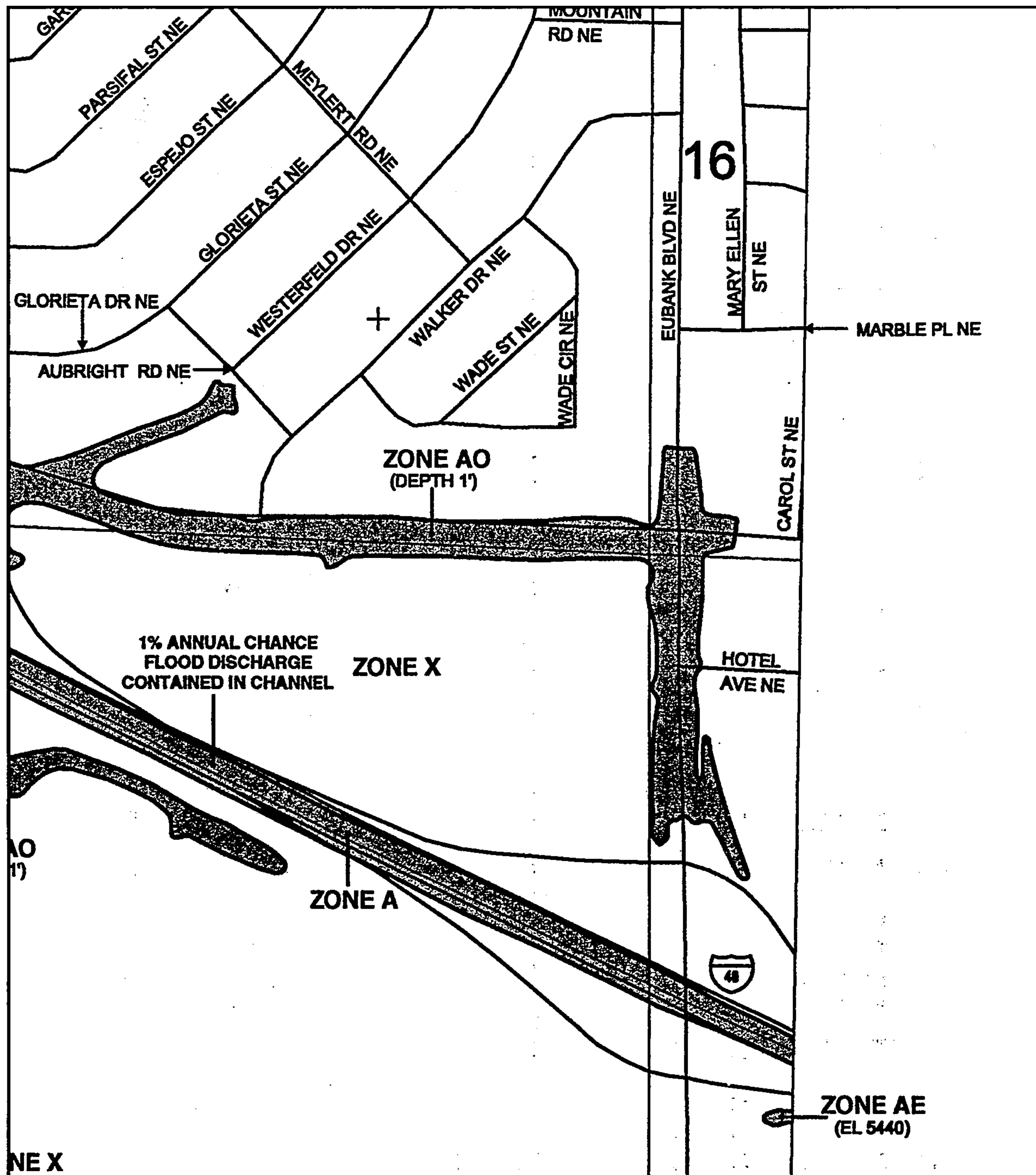


TRASH ENCLOSURE SIDE ELEVATION
SCALE: 1/4"=1'-0"



TRASH ENCLOSURE FRONT ELEVATION
SCALE: 1/4"=1'-0"

2



NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0358F

FIRM
FLOOD INSURANCE RATE MAP
**BERNALILLO COUNTY,
NEW MEXICO
AND INCORPORATED AREAS**

PANEL 358 OF 825

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
ALBUQUERQUE, CITY OF	350002	0358	F

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.



**MAP NUMBER
35001C0358F
MAP REVISED
NOVEMBER 19, 2003**

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov