

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

October 31, 2023

Dale Lusk, R. A
SMPC Architects
219 Central Ave NW
Albuquerque, NM 87102

Re: Surestay/ Hotel Conversion
10330 Hotel Ave. NE
Traffic Circulation Layout
Architect's Stamp 10-30-23 (K21-D016F)

Dear Mr. Lusk,

The TCL submittal received 10-30-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

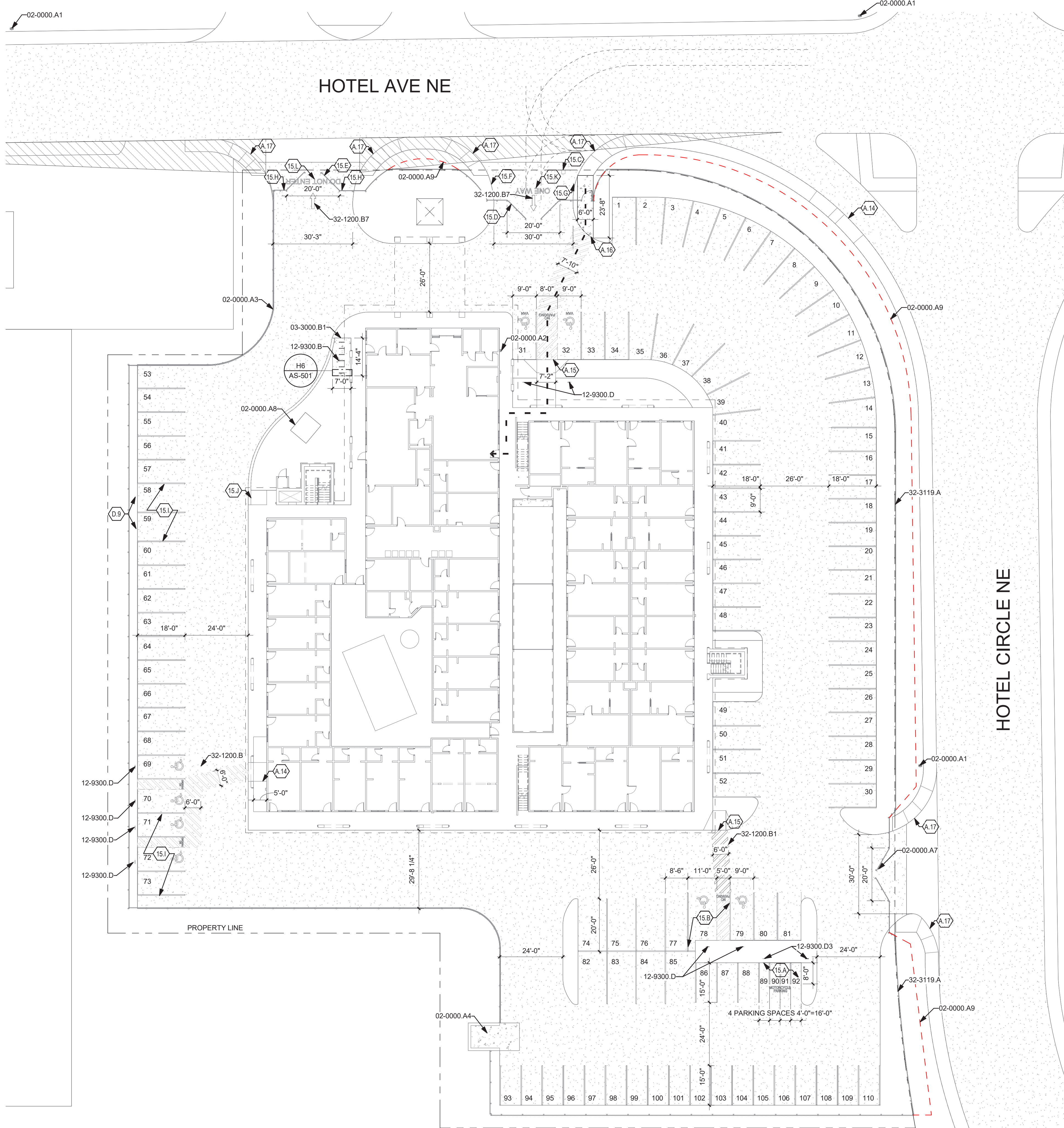
When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



PARKING REQUIREMENTS

- IDO PARKING REQUIREMENT**
1. DWELLING, MULTI-FAMILY, 1.2 SPACES/ DWELLING UNIT WITH 1 BEDROOM
- 90 DU X 1.2/DU = 108 PARKING SPACES REQ'D
- PARKING SPACES PROVIDED = 110
 2. ACCESSIBLE PARKING SPACES REQUIRED: (14-16-3-1 OFF STREET PARKING). PARKING SPACES FOR VEHICLES WITH VALID DISTINCTIVE REGISTRATION PLATES FOR THE PHYSICALLY DISABLED AS PROVIDED BY SECTION 66-3-16 NMSA 1978 SHALL BE PROVIDED OFF STREET IN THE AMOUNT REQUIRED
- MINIMUM DESIGNATED DISABLED PARKING SPACE REQ'D = 8
- PARKING SPACES PROVIDED = 8
 3. MOTORCYCLES, MOPEDS, AND MOTOR SCOOTERS PARKING SPACES REQUIRED: (14-16-3-1 OFF STREET PARKING)
- MINIMUM MOTORCYCLE PARKING SPACE REQ'D = 4
- PARKING SPACES PROVIDED = 4
 4. BICYCLE PARKING SPACES REQUIRED: (TABLE 5-5-5: MINIMUM BICYCLE PARKING REQUIREMENTS)
- MINIMUM BICYCLE PARKING SPACE REQ'D = 9
- BICYCLE PARKING SPACES PROVIDED = 10

LEGEND

- CLEAR SIGHT TRIANGLE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- ACCESSIBLE ROUTE

GENERAL NOTES

1. IF THIS SHEET IS NOT 24" X 36," THEN IT IS A REDUCED SIZE PLOT. DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM ARCHITECT IF DIMENSIONS ARE IN QUESTION.
2. MAILING AND LOCATION TO BE DETERMINED.
3. INSPECT, CLEAN, REPAIR AND SEAL ALL GUTTERS AND DOWNSPOUTS AS NEEDED. MATCH EXISTING FINISH.
4. INSPECT AND REPAIR ALL STAIRS, LANDINGS AND RAILING. MATCH EXISTING FINISH.
5. INSPECT AND REPAIR ALL SIDEWALKS AND ELEVATED WALKS FOR ACCESSIBILITY.
6. SOLID WASTE SERVICE ACCESS WILL BE COORDINATED WITH THE OWNER.
7. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER PER COA STANDARDS.

REFERENCE KEYNOTES

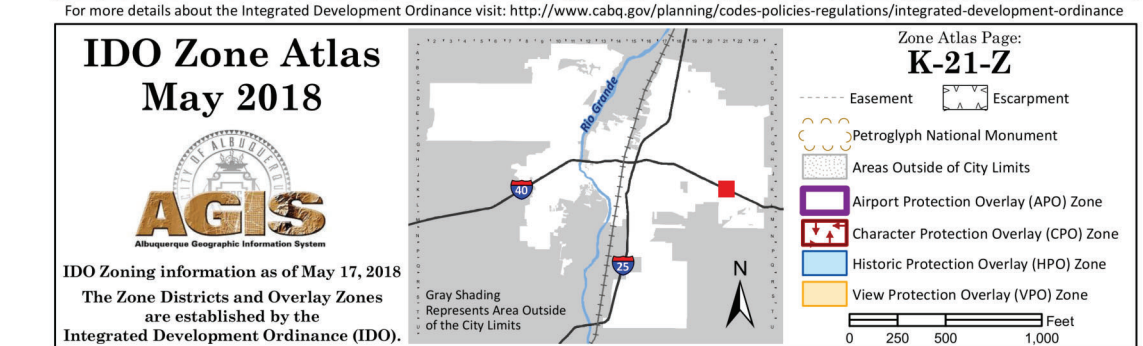
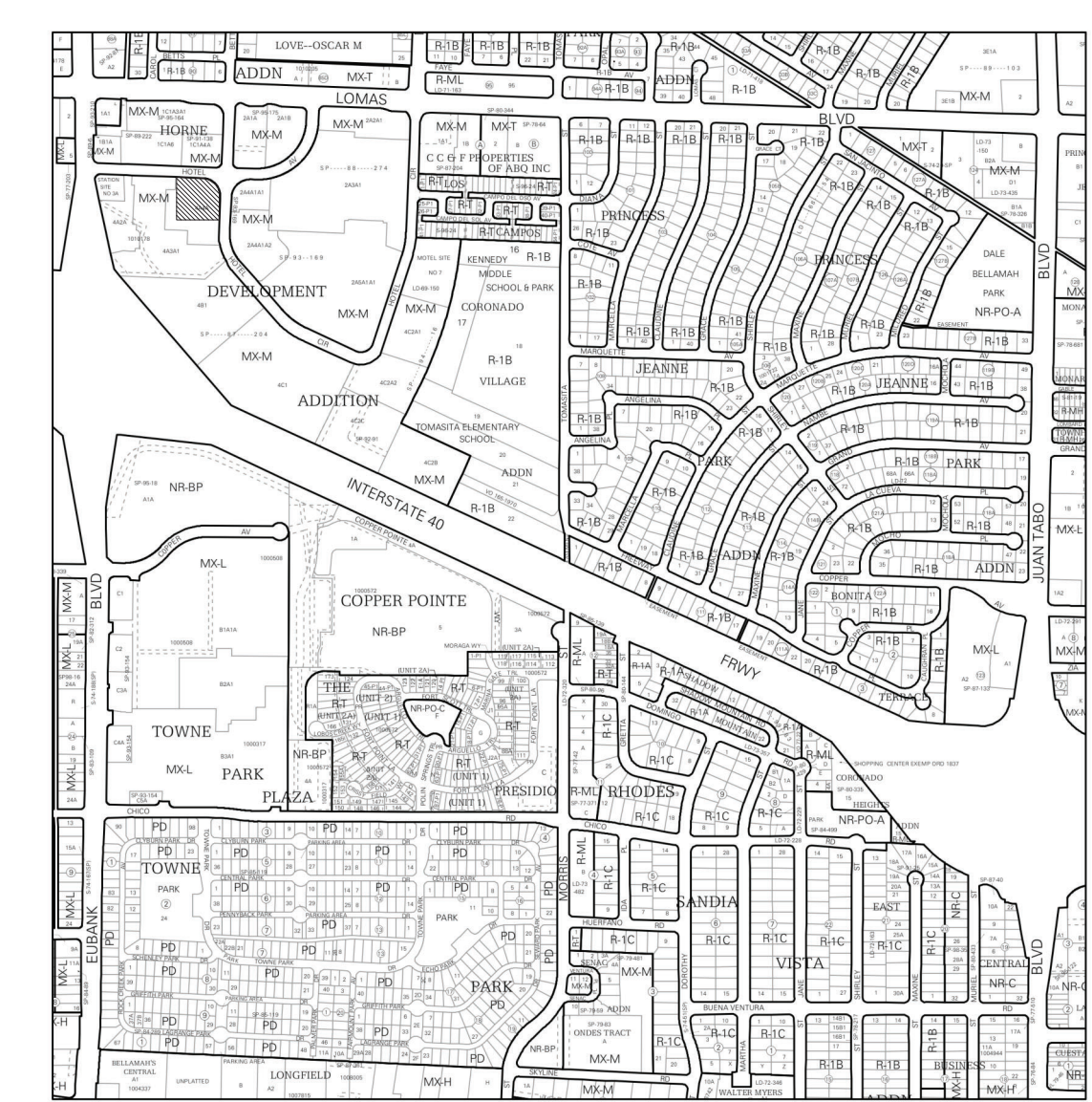
- | | |
|------------|--|
| 02-0000.A1 | EXISTING FIRE HYDRANT |
| 02-0000.A2 | EXISTING FIRE DEPARTMENT CONNECTION |
| 02-0000.A3 | EXISTING FENCE |
| 02-0000.A4 | EXISTING WASTE MANAGEMENT |
| 02-0000.A7 | EXISTING MANUAL SWING GATE, EMERGENCY ACCESS ONLY |
| 02-0000.A8 | EXISTING TRANSFORMER |
| 02-0000.A9 | EXISTING FENCE TO BE REMOVED |
| 03-3000.B1 | CONCRETE SLAB ON GRADE |
| 12-9300.B | BICYCLE RACK |
| 12-9300.D | PARKING SIGN WITH HANDICAP SYMBOL OF ACCESSIBILITY |
| 12-9300.D3 | PARKING FOR MOTORCYCLE |
| 32-1200.B | MARKING AND STRIPING |
| 32-1200.B1 | STRIPING, WHITE |
| 32-1200.B7 | ARROW STRIPING, WHITE |
| 32-3119.A | DECORATIVE STEEL FENCE - COLOR COATED |

SHEET KEYNOTES

- | | |
|------|--|
| 15.A | RE-STRIPED PARKING FOR MOTORCYCLE PARKING |
| 15.B | DESIGNATED VAN PARKING SPACE. RESTRIPE AS SHOWN ON PLAN |
| 15.C | POST MOUNTED AUTOMATIC GATE OPENER |
| 15.D | AUTOMATIC DOUBLE SWING GATE, ENTRANCE ONLY. |
| 15.E | AUTOMATIC DOUBLE SWING GATE, EXIT ONLY WITH PROXIMITY READER. |
| 15.F | ONE WAY LEFT TRAFFIC SIGNAGE, SEE AS-501 |
| 15.G | ONE WAY RIGHT TRAFFIC SIGNAGE, SEE AS-501 |
| 15.H | DO NOT ENTER SIGN, SEE AS-501 |
| 15.I | RE-STRIPED PARKING AS SHOWN ON PLAN |
| 15.J | REMOVE AND INFILL EXISTING RAMP |
| 15.K | ONE WAY PAVEMENT MARKING, WHITE |
| 15.L | DO NOT ENTER PAVEMENT MARKING, WHITE |
| A.14 | PROVIDE NEW PARALLEL CURB RAMP PER COA STANDARD DRAWING 2443, DETAIL A |
| A.15 | PROVIDE NEW PARALLEL CURB RAMP PER COA STANDARD DRAWING 2442, DETAIL A |
| A.16 | PROVIDE NEW PLACEMENT ON PARALLEL CURB RAMP PER COA STANDARD DRAWING 2446 |
| A.17 | PROVIDE NEW PLACEMENT ON PERPENDICULAR CURB RAMP PER COA STANDARD DRAWING 2446 |
| D.9 | REMOVE PARKING SIGNAGE |

TRAFFIC CIRCULATION LAYOUT APPROVED

Ernest Amigo 10/31/2023
Signed Date



VICINITY MAP

A1 SITE PLAN
1" = 20'-0"

PRINCIPLES OF DESIGN.

219 Central Ave, NW, Suite #800
Albuquerque, New Mexico 87102
T 505 255 8668
F 505 255 8665
www.smpcarchitects.com

STATE OF NEW MEXICO
DALE R. LUSK
NO. 8719
REGISTERED ARCHITECT
Dale Lusk
2023.10.30 11:55:28-06'00"

SURESTAY HOTEL CONVERSION TENANT IMPROVEMENTS

CONSTRUCTION DOCUMENTS

10330 HOTEL AVE. NE ALBUQUERQUE, NM 87123

| NO | DATE | DESCRIPTION |
|---|------------------------|-------------|
| DATE: | 2023-09-29 | |
| PROJECT #: | Project Number | |
| DRAWN BY: | Author | |
| CHECKED BY: | Checker | |
| COPYRIGHT: | SMPC Architects © 2023 | |
| These documents were prepared for this specific project only. SMPC Architects' liability is limited to this specific project, and does not extend to reuse of these documents for other projects. | | |
| SHEET TITLE | | |

ARCHITECTURAL SITE PLAN

AS-101



Dale Lusk
2023.10.30 11:55:29-06'0

SURESTAY HOTEL CONVERSION
TENANT IMPROVEMENTS

CONSTRUCTION DOCUMENTS

10330 HOTEL AVE. NE ALBUQUERQUE, NM 87123

[illegible]

SITE DETAILS

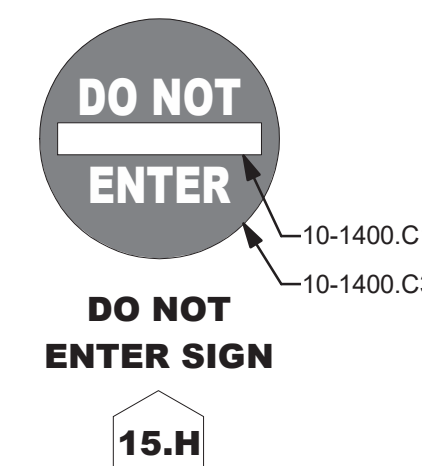
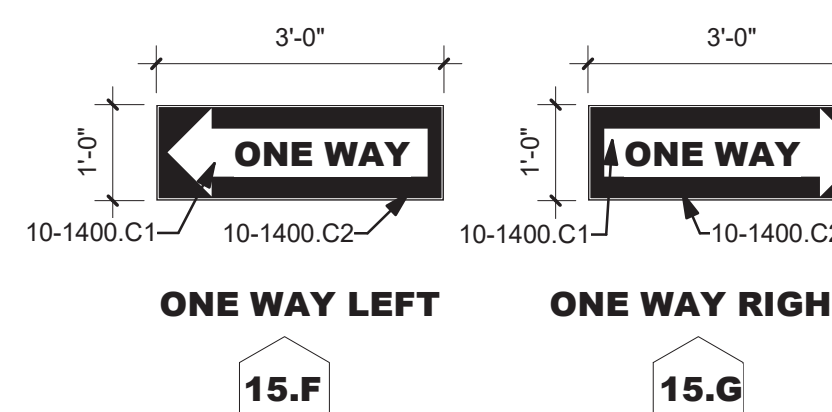
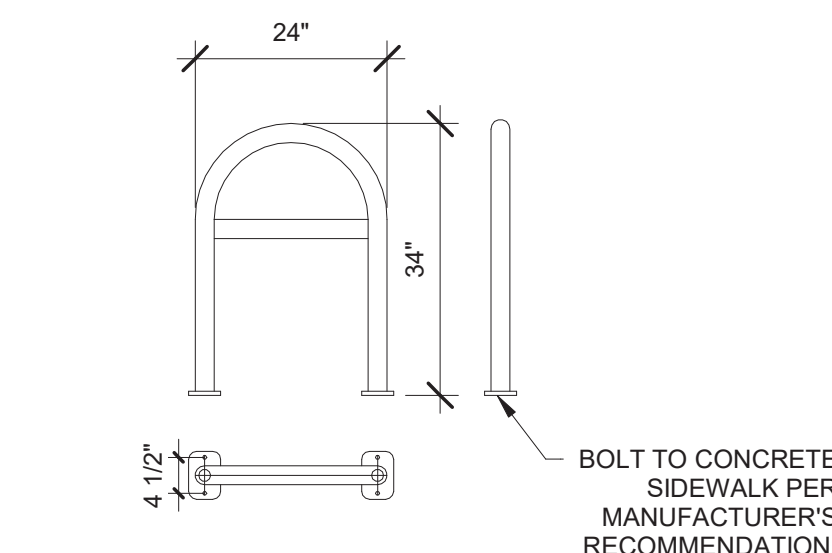
AS-501

Ernest Armijo 10/31/2023
Signed Date

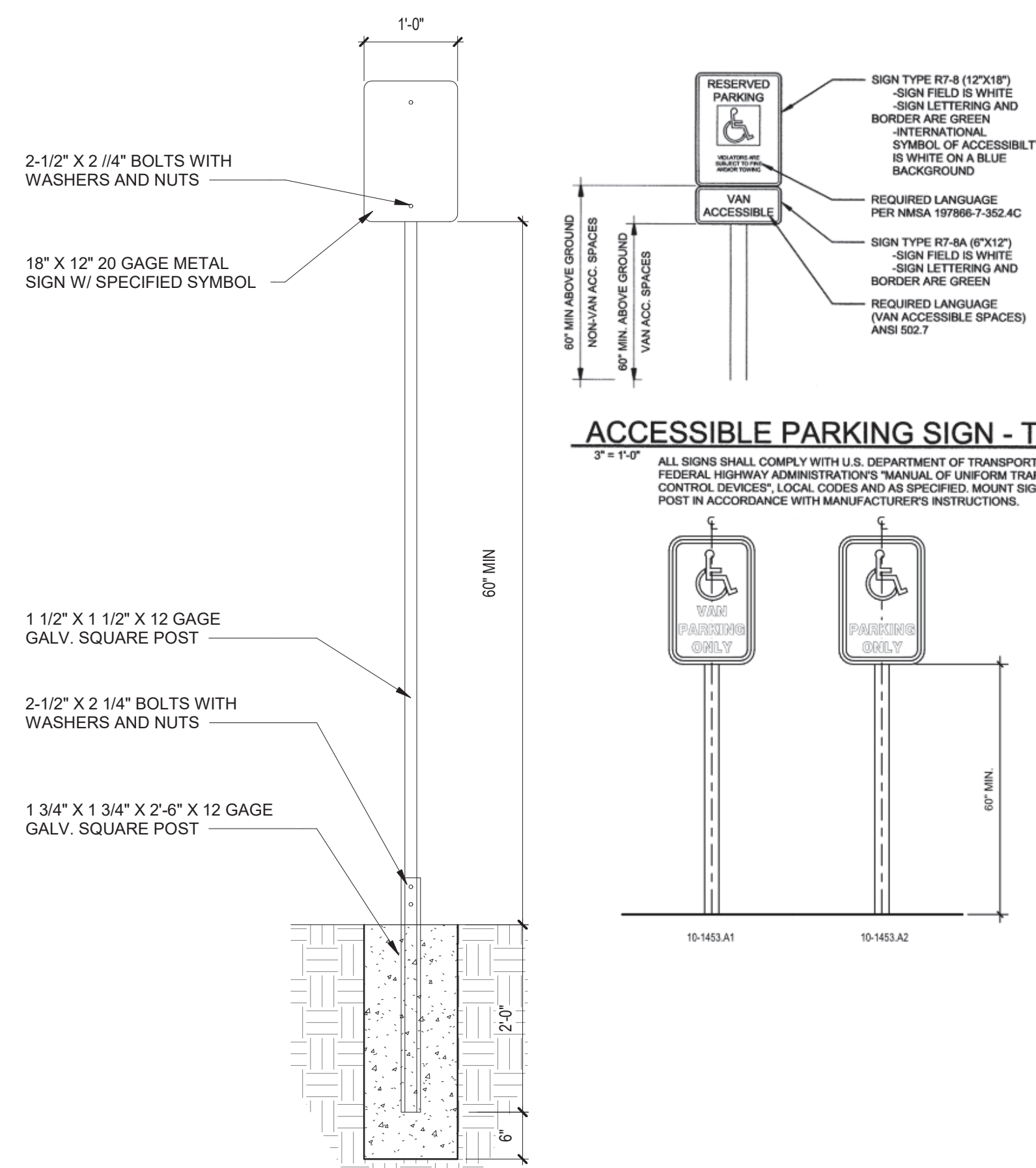
1. IF THIS SHEET IS NOT 24" X 36," THEN IT IS A REDUCED SIZE PLOT. DO NOT SCALE DRAWINGS, REQUEST CLARIFICATION FROM ARCHITECT IF DIMENSIONS ARE IN QUESTION.

| | |
|------------|-------|
| 10-1400.C1 | WHITE |
| 10-1400.C2 | BLACK |
| 10-1400.C3 | RED |

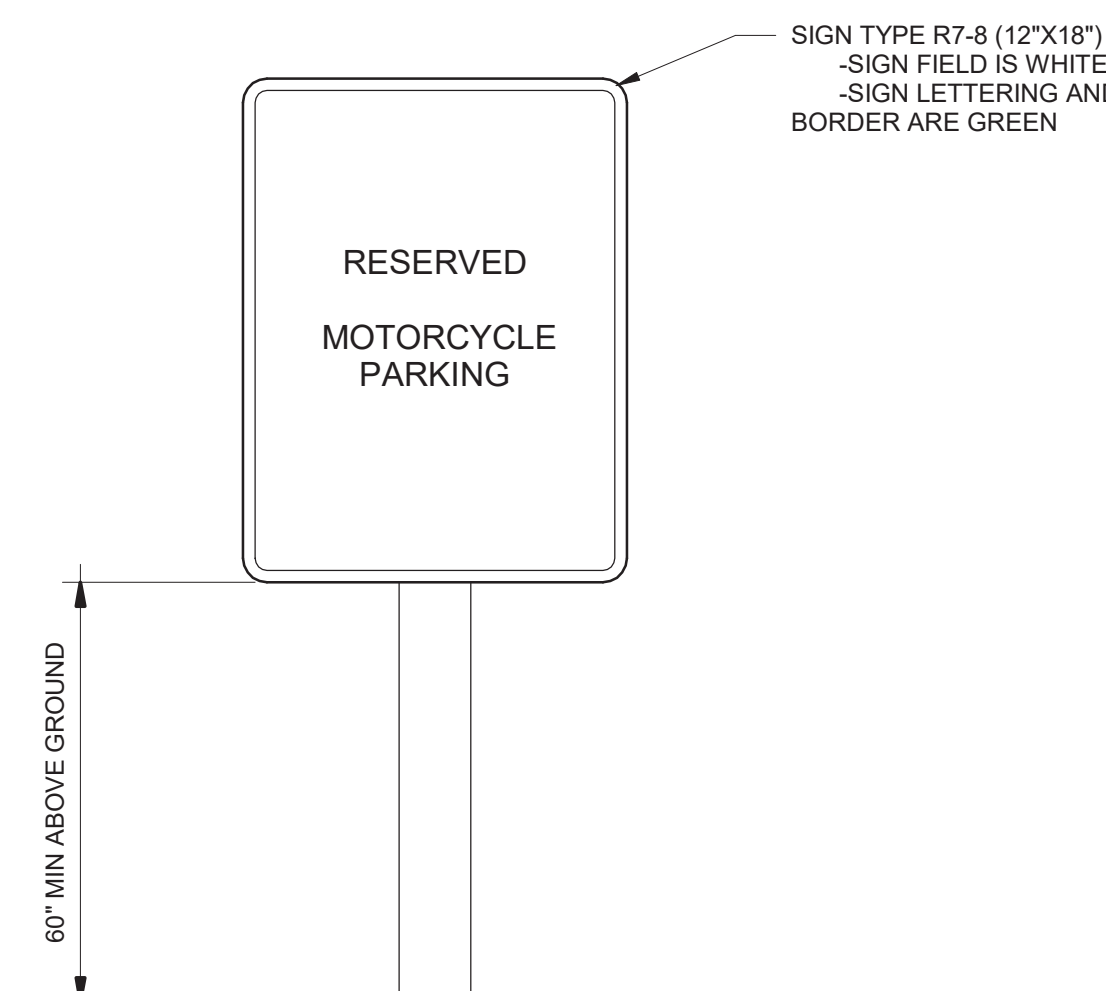
H6 BIKE RACK DETAIL



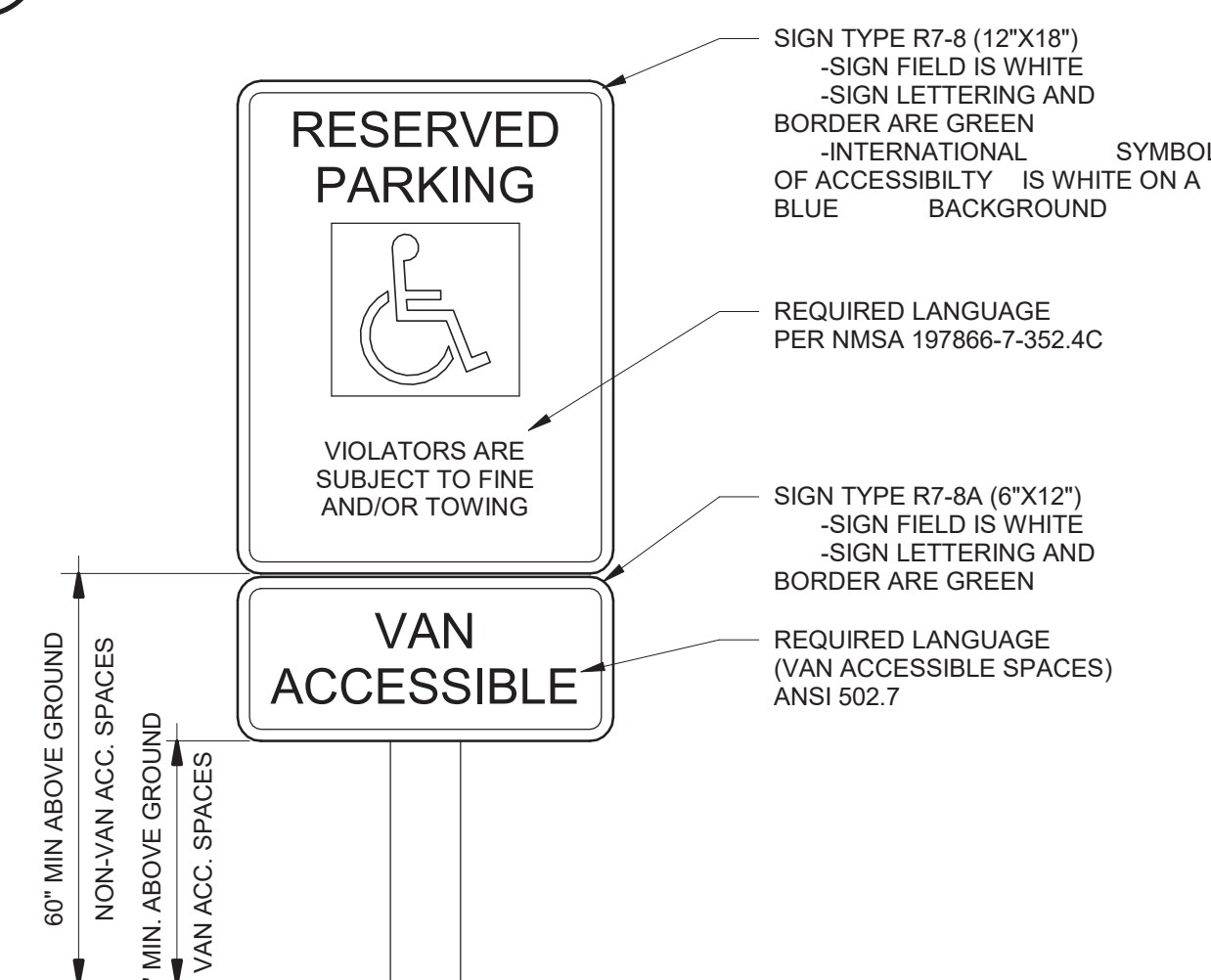
G6 **G20-TRAFFIC SIGNAGE**
1/2" = 1'-0"



A6 SIGN
3/4" = 1'-0"



D11 SIGN-MOTORCYCLE
6" = 1'-0"



A11 SIGN-ACC
6" = 1'-0"