

Martin J. Chávez, Mayor

November 4, 1997

Roger Martinez, Jr.
Mark Goodwin & Assoc.
P.O. Box 90606
Albuquerque, NM

RE: CARPET MAX (K21-D16L). GRADING AND DRAINAGE PLAN FOR BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED OCTOBER 8, 1997.

Dear Mr. Martinez:

Based on the information provided on your August 22, 1997 submittal, the above referenced project is approved for Building Permit.

Prior to Certificate of Occupancy approval, and Engineer's Certification will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

Lisa Ann Manwill, P.E.
Hydrology

c: Andrew Garcia
File

Good for You, Albuquerque!



DRAINAGE INFORMATION SHEET

PROJECT TITLE: Carpet Max ZONE ATLAS/DRNG, FILE#: K-21 - D16L
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: Tract 2-A-1, Horne Development Addition
CITY ADDRESS: Hotel Ave.

ENGINEERING FIRM: D. Mark Goodwin & Associates, P.A. CONTACT: Mark Goodwin
ADDRESS: P.O. Box 90606, Albuquerque, NM 87199 PHONE: 505-828-2200
OWNER: Carpet Max Retail Center CONTACT: Mike Salvador
ADDRESS: 2325 San Pedro NE, Suite 2B, Albuquerque, NM 87110 PHONE: 884-9110
ARCHITECT: Rainhart Architects, Inc. CONTACT: Mike Salvador
ADDRESS: 2325 San Pedro NE, Suite 2B, Albuquerque, NM 87110 PHONE: 884-9110
SURVEYOR: Harris Surveying CONTACT: Tony Harris
ADDRESS: 2412 Monroe NE, Albuquerque, NM 87110 PHONE: 889-8056
CONTRACTOR: Enterprise Builders CONTACT: Mike Salvador
ADDRESS: 2325 San Pedro NE, Suite 2B, Albuquerque, NM 87110 PHONE: 884-9110

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION
☐ OTHER

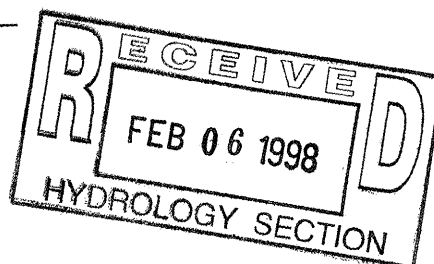
☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATION OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (Specify)

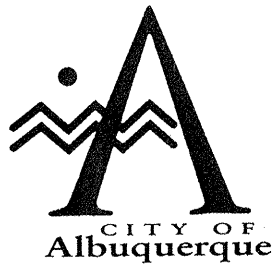
PRE-DESIGN MEETING:

☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 2/6/98

BY: Mark Goodwin
Mark Goodwin, PE





February 25, 1998

Mark Goodwin, P.E.
Mark Goodwin & Assoc.
P.O. Box 90606
Albuquerque, NM

**RE: CARPET MAX (K21-D16L). ENGINEER'S CERTIFICATION FOR
CERTIFICATE OF OCCUPANCY. ENGINEER'S CERTIFICATION DATED
FEBRUARY 6, 1998.**

Dear Mr. Goodwin:

Based on the information provided on your February 6, 1998 submittal, the above referenced project is approved for Certificate of Occupancy.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

Lisa Ann Manwill, P.E.
Hydrology

c: Andrew Garcia
File

Good for You, Albuquerque!



DRAINAGE COVENANT

THIS COVENANT made this 15 day of October, 1997, by and between

APPLEBEES OF NEW MEXICO, INC., OWNER OF Tract Lettered Tract 2A-1-A of the HORNE DEVELOPMENT, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on November 22, 1987 in Volume C-35, Folio 42.

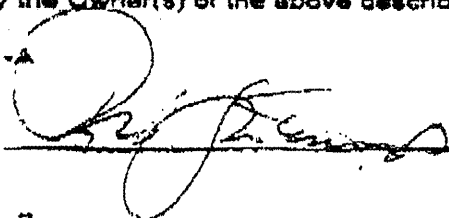
AND

THE MAXIM GROUP, OWNER OF Tract Lettered Tract 2A-1-B of the HORNE DEVELOPMENT, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on November 22, 1987 in Volume C-35, Folio 42.

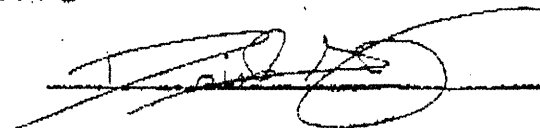
The Owner (which term includes successors and assigns) of Tract 2A-1-A grants to the Owner of Tract Lettered 2A-1-B the right to convey storm runoff, any drainage from watering landscaping or any other ordinary domestic use across the east boundary line to the right-of-way of Hotel Circle NE.

This DRAINAGE COVENANT is binding upon their Owner(s), his heirs and assigns and will continue to run with said property until an alternate drainage plan has been approved by the City Hydrology Department and this document is released by a recorded document by the Owner(s) of the above described real properties.

OWNER TRACT 2A-1-A


10/20/97
DATE

OWNER TRACT 2A-1-B

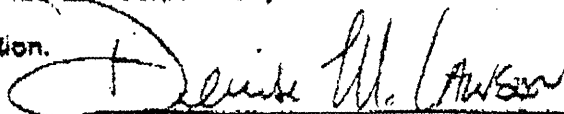

10/20/97
DATE

ACKNOWLEDGEMENTS

KANSAS
STATE OF NEW MEXICO)
JOHN NEW) SS.
COUNTY OF BERNALILLO)

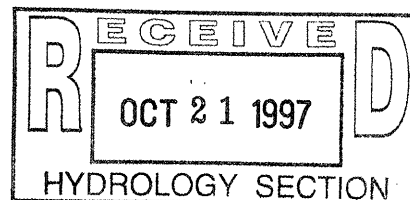
The foregoing instrument was acknowledged before me this 20th day of October, 1997, by ROBERT T. STEINKAMP
Name of Officer
Vice President Applebees of New Mexico, Inc.
(Title) (Name of Corporation)

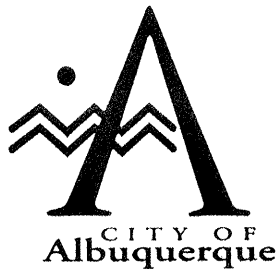
corporation, on behalf of said corporation.


Notary Public

My Commission Expires: 5/24/2000

DENISE M. LAWSON
Notary Public - State of Kansas
My Aopt. Expires 5/24/2000





September 15, 1997

Martin J. Chávez, Mayor

Roger Martinez, Jr.
Mark Goodwin & Assoc.
P.O. Box 90606
Albuquerque, NM

RE: CARPET MAX (K21-D16L). GRADING AND DRAINAGE PLAN FOR BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED AUGUST 21, 1997.

Dear Mr. Martinez:

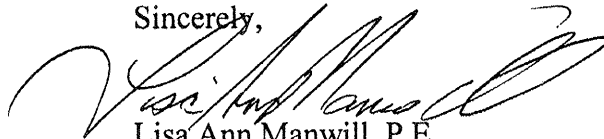
Based on the information provided on your August 22, 1997 submittal, City Hydrology has the following comments:

1. A cross lot drainage easement will be required.
2. A one-foot water block at the drive way will be required. If this is not possible, discuss other options. Do not omit spot elevations in the drive.
3. It appears that this site is zoned SU-1. Therefore, a site development plan will be required.

In the future, please supply me with copies of any relevant information from other approved plans that you use as a reference.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

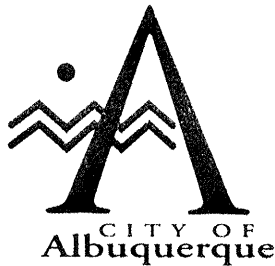


Lisa Ann Manwill, P.E.
Hydrology

c: Andrew Garcia
File

Good for You, Albuquerque!





Martin J. Chávez, Mayor

March 15, 1996

CERTIFICATION OF COMPLETION AND ACCEPTANCE

Robert T. Steinkamp
Secretary
Applebee's International, Inc.
4551 W. 107th Street
Overland Park, KA 66207

RE: APPLEBEE'S ON LOMAS, CITY PROJECT NO. 5248.80 MAP NO. K-21

Dear Mr. Steinkamp:

This is to certify that the City of Albuquerque accepts the Construction Project No. 5248.90 as compliance with completing the required public infrastructure listed in the Subdivision Improvements Agreement (SIA) between Applebee's International, Inc. and the City of Albuquerque executed on July 19, 1995.

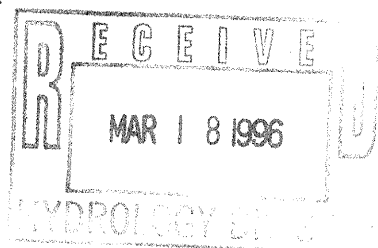
Having satisfied the requirements referenced above, the SIA and associated Financial Guaranty, held by the City, can now be released. The Contractors one-year warranty period started at the date of acceptance by the Chief Construction Engineer, dated March 11, 1996.

Please be advised this Certificate of Completion and Acceptance shall only become effective upon final plat approval and filing in the office of the Bernalillo County Clerk's Office.

Should you have any questions or issues regarding this project, please contact me.

Sincerely,

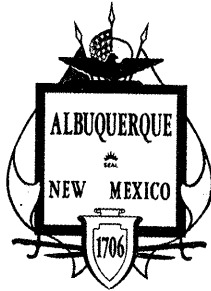
Ricardo B. Roybal
City Engineer
Engineering Group
Public Works Department



Good for You, Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 4, 1995

**Gregory J. Krenik, PE
Mark Goodwin & Assoc
P.O. Box 90606
Albuquerque, NM 87199**

**RE: ENGINEER'S CERTIFICATION FOR APPLE BEE'S - LOMAS (K21-D16L)
RECEIVED NOVEMBER 21, 1995 FOR CERTIFICATE OF OCCUPANCY
ENGINEER'S STAMP DATED 11-20-95**

Dear Mr. Krenik:

Based on the information included in the submittal referenced above, City Hydrology accepts the Engineer's Certification of grading & drainage for Certificate of Occupancy. Contact Vicki Chavez at Code Administration to obtain the Certificate of Occupancy for 10600 Lomas NE.

If I can be of further assistance, You may contact me at 768-2727.

Sincerely,

**John P. Curtin, PE
Civil Engineer/Hydrology**

**c: Andrew Garcia
George Rainhart, De la Torre-Rainhart, 7801 Academy NE 87109**

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Applebee's - Lomas ZONE ATLAS/DRNG, FILE#: K-21/1162
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: Tract 2-A-1, Horne Development Addition
CITY ADDRESS: _____

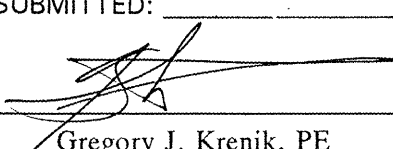
ENGINEERING FIRM: Mark Goodwin & Associates, PA CONTACT: Gregory J. Krenik
ADDRESS: PO Box 90606 PHONE: 345-2010
OWNER: Applebee's International CONTACT: George Rainhart
ADDRESS: 7801 Academy NE PHONE: 828-9611
ARCHITECT: De la Torre - Rainhart CONTACT: George Rainhart
ADDRESS: 7801 Academy NE PHONE: 828-9611
SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

| | |
|---|---|
| <input type="checkbox"/> DRAINAGE REPORT | <input type="checkbox"/> SKETCH PLAT APPROVAL |
| <input type="checkbox"/> DRAINAGE PLAN | <input type="checkbox"/> PRELIMINARY PLAT APPROVAL |
| <input type="checkbox"/> CONCEPTUAL GRADING & DRAINAGE PLAN | <input type="checkbox"/> S. DEV. PLAN FOR SUB'D APPROVAL |
| <input type="checkbox"/> GRADING PLAN | <input type="checkbox"/> S. DEV. PLAN FOR BLDG PERMIT APPROVAL |
| <input type="checkbox"/> EROSION CONTROL PLAN | <input type="checkbox"/> SECTOR PLAN APPROVAL |
| <input checked="" type="checkbox"/> ENGINEER'S CERTIFICATION | <input type="checkbox"/> FINAL PLAT APPROVAL |
| <input type="checkbox"/> OTHER <u>11-28-95 Called Greg for Green Tag. JPC</u> | <input type="checkbox"/> FOUNDATION PERMIT APPROVAL |
| PRE-DESIGN MEETING: <u>Notified Vickie that C.O. was OK</u> | <input checked="" type="checkbox"/> CERTIFICATION OF OCCUPANCY APPROVAL |
| <input type="checkbox"/> YES | <input type="checkbox"/> GRADING PERMIT APPROVAL |
| <input checked="" type="checkbox"/> NO | <input type="checkbox"/> PAVING PERMIT APPROVAL |
| <input type="checkbox"/> COPY PROVIDED <u>on 12-4-95. JPC</u> | <input type="checkbox"/> S.A.D. DRAINAGE REPORT |
| | <input type="checkbox"/> DRAINAGE REQUIREMENTS |
| | <input type="checkbox"/> OTHER _____ (Specify) |

DATE SUBMITTED: 11-20-95

BY: 
Gregory J. Krenik, PE



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 28, 1995

Gregory J. Krenik, PE
Mark Goodwin & Assoc
P.O. Box 90606
Albuquerque, NM 87199

RE: GRADING & DRAINAGE PLAN FOR APPLE BEE'S - LOMAS (K21-D16L)
RECEIVED JULY 18, 1995 FOR BUILDING PERMIT
ENGINEER'S STAMP DATED 7-18-95

Dear Mr. Krenik:

Based on the information included in the submittal referenced above, City Hydrology accepts the Grading & Drainage Plan for Building Permit.


Include a copy of the Grading & Drainage Plan, dated 7-18-95, in each set of construction documents that will be submitted to Code Administration for the Building Permit.

A separate permit is required for construction of private drainage facilities within the City right of way. A copy of this letter must be on hand when applying for the excavation permit.

Engineer's Certification of grading & drainage per DPM checklist must be approved before any Certificate of Occupancy will be released.

If you have any questions about this project, You may contact me at 768-2727.

Sincerely,



John P. Curtin, PE
Civil Engineer/Hydrology

c: Andrew Garcia
Arlene Portillo
George Rainhart, De la Torre-Rainhart, 7801 Academy NE 87109



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 13, 1995

Gregory J. Krenik, PE
Mark Goodwin & Assoc
P.O. Box 90606
Albuquerque, NM 87199

RE: GRADING & DRAINAGE PLAN FOR APPLE BEE'S - LOMAS (K21-D16L)
RECEIVED JUNE 30, 1995 FOR BUILDING PERMIT
ENGINEER'S STAMP DATED 6-29-95

Dear Mr. Krenik:

Based on the information included in the submittal referenced above, City Hydrology accepts the Grading & Drainage Plan for Building Permit.

Include a copy of the Grading & Drainage Plan, dated 6-29-95, in each set of construction documents that will be submitted to Code Administration for the Building Permit.

A separate permit is required for construction of private drainage facilities within the City right of way. A copy of this letter must be on hand when applying for the excavation permit.

Engineer's Certification of grading & drainage per DPM checklist must be approved before any Certificate of Occupancy will be released.

If you have any questions about this project, You may contact me at 768-2727.

Sincerely,

John P. Curtin, PE
Civil Engineer/Hydrology

c: Andrew Garcia
Arlene Portillo
George Rainhart, De la Torre-Rainhart, 7801 Academy NE 87109

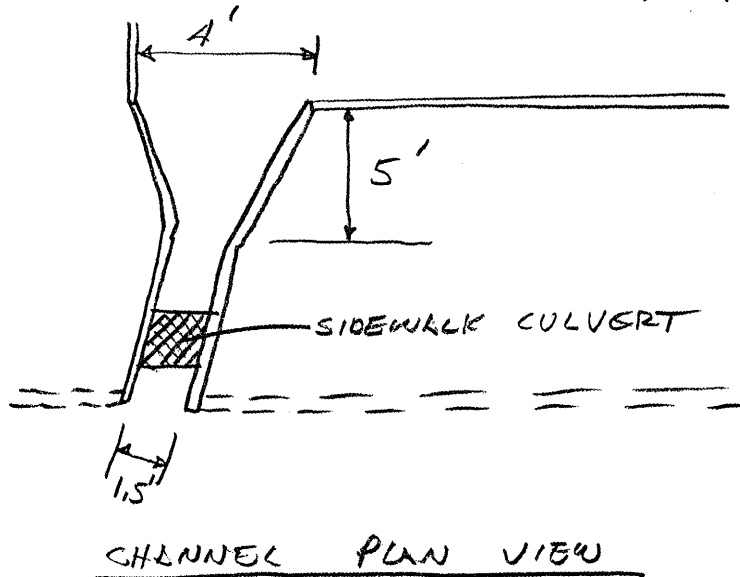


D. Mark Goodwin & Associates, P.A.
Consulting Engineers and Surveyors

PROJECT APPLE BEES
SUBJECT Drainage Calcs
BY GJK DATE 4-21-95
CHECKED _____ DATE _____
SHEET 5 OF _____

REVISED 5-18-95

REVISED 6-23-95



- CALCULATE RUNOFF FOR ENTIRE C-7 BASIN

TOTAL AREA = 3.6764 AC

3.8 AC

TRACT 2-A-1

HOTEL AVE

2.7388 AC

0.9376 AC

TYPE B = 0.5475 AC

TYPE C = 0.3506 AC

TYPE D = 2.1913 AC

TYPE D = 0.587 AC

TYPE B = ~~14.90%~~
TYPE C = ~~9.54%~~
TYPE D = ~~58.56%~~

USE 14%
3%
83%
Report of EPEY
HOUSTON PLAN

FROM HY40 OUTPUT SHEETS 6-8

~~Q = 16.10 CFS
V = 0.6024 AC-FT~~

Q = 16.55 CFS
V = 0.6343 AC-FT

SINCE 16.55 CFS < 18.1 CFS ALLOWABLE FOR BASIN

Zone 4

OK

$$Q = 3.8 [0.14(2.92) + 0.03(3.73) + 0.83(5.25)] = 18.5 \text{ cfs}$$

START TIME=0.0
***** HYDROGRAPH FOR APPLEBEES - BASIN C7
RAINFALL TYPE=1 RAIN QUARTER=0.0 IN
RAIN ONE=2.08 IN RAIN SIX=2.55 IN
RAIN DAY=3.15 IN DT=0.03333 HR
COMPUTE NM HYD ID=1 HYD NO=101.1 AREA=0.005744 SQ MI .005938
PER A=00.00 B=14 C=3 D=63
TP=0.1333 HR MASS RAINFALL=-1
PRINT HYD ID=1 CODE=1
FINISH

7

AHYMD PROGRAM (AHYMD194) - AMAFCA Hydrologic Model - January, 1994
 RUN DATE (MON/DAY/YR) = 06/22/1995
 START TIME (HR:MIN:SEC) = 07:02:06 USER NO. = M_GOODDWN.101
 INPUT FILE = APBE.DAT

START TIME=0.0

***** HYDROGRAPH FOR APPLEBEES - BASIN C7

RAINFALL TYPE=1 RAIN QUARTER=0.0 IN
 RAIN ONE=2.08 IN RAIN SIX=2.55 IN
 RAIN DAY=3.15 IN DT=0.03333 HR

COMPUTED 6-HOUR RAINFALL DISTRIBUTION BASED ON NOAA ATLAS 2

- PEAK AT 1.40 HR.

| DT = .033330 HOURS | | | END TIME = 5.999400 HOURS | | |
|--------------------|--------|--------|---------------------------|--------|--------|
| .0000 | .0029 | .0059 | .0090 | .0121 | .0153 |
| .0219 | .0253 | .0288 | .0324 | .0360 | .0398 |
| .0477 | .0518 | .0560 | .0603 | .0648 | .0695 |
| .0792 | .0844 | .0898 | .0953 | .1012 | .1073 |
| .1203 | .1274 | .1349 | .1406 | .1468 | .1533 |
| .1990 | .2476 | .3173 | .4125 | .5377 | .6973 |
| 1.1385 | 1.3636 | 1.4576 | 1.5369 | 1.6075 | 1.6717 |
| 1.7858 | 1.8370 | 1.8851 | 1.9304 | 1.9730 | 2.0134 |
| 2.0877 | 2.1220 | 2.1545 | 2.1854 | 2.2147 | 2.2222 |
| 2.2358 | 2.2421 | 2.2483 | 2.2541 | 2.2598 | 2.2652 |
| 2.2757 | 2.2806 | 2.2855 | 2.2902 | 2.2948 | 2.2992 |
| 2.3078 | 2.3120 | 2.3161 | 2.3200 | 2.3240 | 2.3278 |
| 2.3352 | 2.3388 | 2.3424 | 2.3459 | 2.3493 | 2.3527 |
| 2.3593 | 2.3625 | 2.3657 | 2.3688 | 2.3719 | 2.3749 |
| 2.3809 | 2.3838 | 2.3867 | 2.3895 | 2.3923 | 2.3951 |
| 2.4006 | 2.4032 | 2.4059 | 2.4085 | 2.4111 | 2.4137 |
| 2.4187 | 2.4212 | 2.4237 | 2.4261 | 2.4285 | 2.4309 |
| 2.4356 | 2.4379 | 2.4402 | 2.4425 | 2.4448 | 2.4470 |
| 2.4514 | 2.4536 | 2.4558 | 2.4579 | 2.4601 | 2.4622 |
| 2.4663 | 2.4684 | 2.4705 | 2.4725 | 2.4745 | 2.4765 |
| 2.4805 | 2.4824 | 2.4844 | 2.4863 | 2.4882 | 2.4901 |
| 2.4939 | 2.4958 | 2.4976 | 2.4995 | 2.5013 | 2.5031 |
| 2.5067 | 2.5085 | 2.5103 | 2.5121 | 2.5138 | 2.5155 |
| 2.5190 | 2.5207 | 2.5224 | 2.5241 | 2.5258 | 2.5275 |
| 2.5308 | 2.5324 | 2.5341 | 2.5357 | 2.5373 | 2.5389 |
| 2.5421 | 2.5437 | 2.5453 | 2.5469 | 2.5484 | 2.5500 |

COMPUTE NM HYD ID=1 HYD NO=101.1 AREA=0.005744 SQ MI

PER A=00.00 B=14 C=3 D=83

TP=0.1333 HR MASS RAINFALL=-1

K = .072649HR TP = .133300HR K/TP RATIO = .545000 SHAPE
 CONSTANT, N = 7.106420
 UNIT PEAK = 18.822 CFE UNIT VOLUME = .9988 E = 326.28
 P60 = 2.0800
 AREA = .004765 SQ MI 1A = 10000 INCHES 2NE = 06000 I

INCHES PER HOUR

RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT
= .033330

8

K = .128574HR TP = .133300HR K/TP RATIO = .964545 SHAPE
CONSTANT, N = 3.662680
UNIT PEAK = 2.4322 CFS UNIT VOLUME = .9947 B = 332.02
P60 = 2.0800
AREA = .000976 SQ MI IA = .47353 INCHES INF = 1.17588 I
NCHES PER HOUR

RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT
= .033330

PRINT HYD

ID=1 CODE=1

PARTIAL HYDROGRAPH 101.10

RUNOFF VOLUME = 2.07053 INCHES = .6343 ACRE-FEET
PEAK DISCHARGE RATE = 16.55 CFS AT 1.500 HOURS BASIN AREA =
.0057 SQ. MI.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 16, 1995

**Gregory J. Krenik, PE
Mark Goodwin & Assoc
P.O. Box 90606
Albuquerque, NM 87199**

**RE: GRADING & DRAINAGE PLAN FOR APPLEBEE'S - LOMAS (K21-D16L)
RECEIVED MAY 19, 1995 FOR BUILDING PERMIT
ENGINEER'S STAMP DATED 5-19-95**

Dear Mr. Krenik:

Based on the information included in the submittal referenced above, City Hydrology has the following comments that must be addressed before the Grading Plan will be accepted for Building Permit.

According to the Espey, Huston & Assoc Plan, Dated 7-27-89, Basin C-7 has an area of 3.8 acres. Based on 90% D for Hotel Ave and 80% D for developed Tract 2-A-1, then Basin C-7 would be 14% B, 3% C & 83% D. These land treatment percentages and the original area will result in a Q that is much closer to the EHA Plan than the calculations submitted.

If the eastern portion of Tract 2-A-1 drains through the proposed entrance on Hotel Ave, then a Private Drainage Easement will be required when the Tract is split.

If you have any questions about this project, You may contact me at 768-2727.

Sincerely,

**John P. Curtin, P.E.
Civil Engineer/Hydrology**

**c: Andrew Garcia
George Rainhart, De la Torre-Rainhart, 7801 Academy NE 87109**



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 15, 1995

Gregory J. Krenik, PE
Mark Goodwin & Assoc
P.O. Box 90606
Albuquerque, NM 87199

RE: GRADING & DRAINAGE PLAN FOR APPLEBEE'S - LOMAS (K21-D16L)
RECEIVED APRIL 24, 1995 FOR BUILDING PERMIT
ENGINEER'S STAMP DATED 4-25-95

Dear Mr. Krenik:

Based on the information included in the submittal referenced above, City Hydrology has the following comments that must be addressed before the Grading Plan will be accepted for Building Permit.

Tract 2-A-1 is zoned SU-1. Is there a Site Development Plan for this project? If Tract 2-A-1 is to be replatted, include the proposed infrastructure list and the DRB number in the next submittal. Include the Erosion Control Plan on the Grading & Drainage Plan. What erosion control measures are required between the developed & undeveloped portions of Tract 2-A-1?

Based on Sheets 12 & 13 from the Espey, Huston & Assoc Conceptual Grading & Drainage Plan for Market Centre East (K21-d16), dated 7-27-89, Hotel Avenue is included in Basin C7 which has a total area of 3.8 acres. Subtract the developed flow for Hotel Avenue from the allowable flow for Basin C7 before calculating the allowable flow for Tract 2-A-1. Where will the eastern portion of Tract 2-A-1 drain to?

If you have any questions about this project, You may contact me at 768-2727.

Sincerely,

John P. Curtin, P.E.
Civil Engineer/Hydrology

c: Andrew Garcia
George Rainhart, De la Torre-Rainhart, 7801 Academy NE 87109

PRINCESS JEANNE
PARK ADDN.
R-1

BETTES ST. NE.

PRINCESS JEANNE
PARK ADDN.
R-1

LOMAS BOULEVARD N.E.
106' R/W

HOTEL AVE.
60' R/W

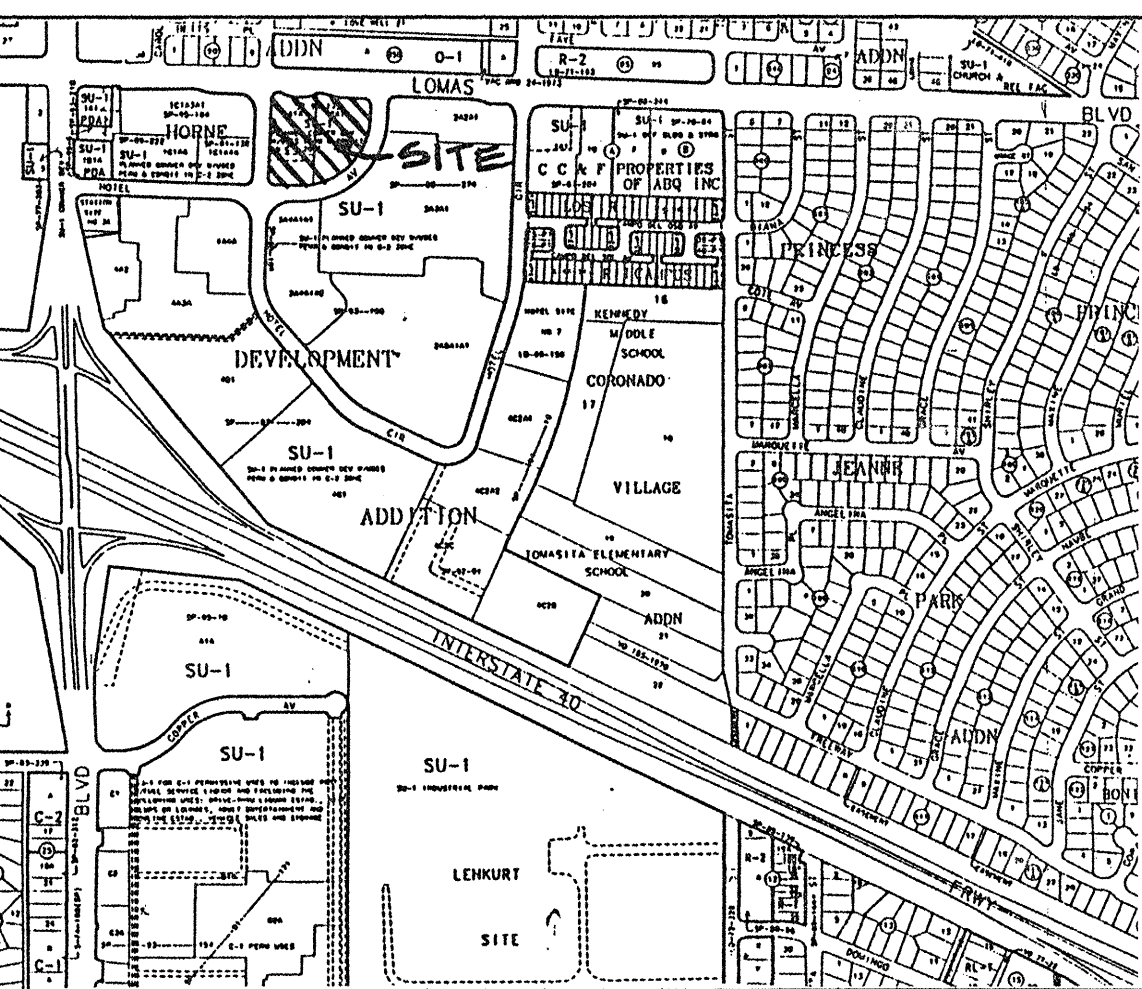
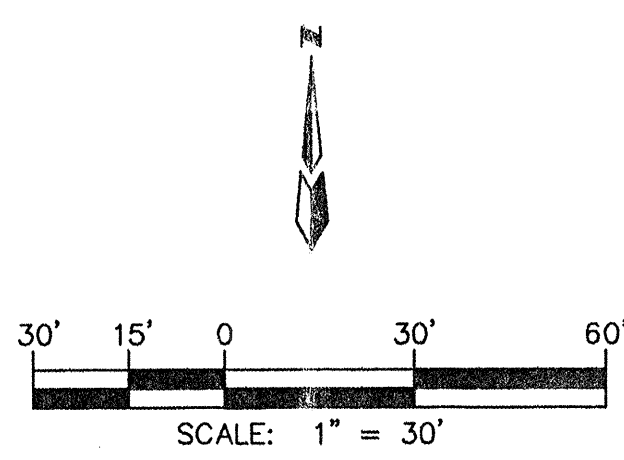
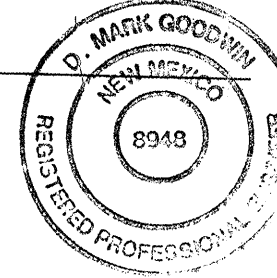
HOTEL AVE.
60' R/W

TRACTS 1-C, 2, 3,
AND PARCEL 4-A

RECORD DRAWING

I hereby certify that the information contained on this drawing has been revised in accordance with information furnished by the contractor, Enterprise Builders, and by the surveyor, Harris Surveying, and reflects the construction as actually accomplished. This plan as constructed is in substantial compliance with the Approved Plan.

Mark Goodwin
NMPE 8948



VICINITY MAP

ZONE MAP: K-21-Z

TBM (TEMPORARY BENCHMARK)

RIM OF EXISTING SAS MANHOLE IN HOTEL CIRCLE
EL = 5452.25

ACS BENCHMARK

THE STATION MARK IS A STANDARD ACS BRASS TABLET STAMPED "5-K21,1979" SET FLUSH WITH THE CURB. THE STATION IS LOCATED 7.6 MILES EAST OF DOWNTOWN ALBUQUERQUE.

TO REACH THE STATION FROM THE INTERSECTION OF EUBANK BLVD. AND I-40 GO NORTH ON EUBANK 0.3 MILES TO LOMAS BLVD. TURN RIGHT, GO EAST 0.5 MILES TO TOMASITA STREET. THE STATION IS LOCATED IN THE SOUTHWEST QUADRANT OF THE INTERSECTION.

X = 418,238.69
Y = 1,486,963.62
Z = 5498.83

NOTES

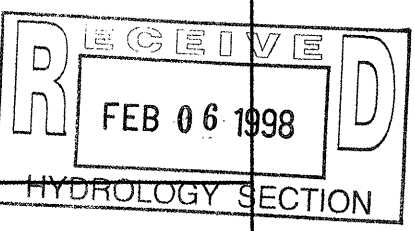
1. SITE DOES NOT LIE WITHIN A FLOOD PLAIN.
2. OFF-SITE FLOWS DO NOT IMPACT SITE.
3. THE DRAINAGE MANAGEMENT PLAN FOR THIS SITE COMPLIES WITH THE TRACT 2-A-1 MASTER DRAINAGE MANAGEMENT PLAN K-21-D16L.

LEGAL DESCRIPTION

TRACT 2-A-1, HORNE DEVELOPMENT ADDITION, CITY OF ALBUQUERQUE SECTION 21, T 10 N, R 4 E, N.M.P.M., BERNALILLO COUNTY, NEW MEXICO MARCH, 1995.

LEGEND

| | |
|-----|--|
| --- | PROPERTY LINE |
| --- | EXISTING CONTOUR |
| --- | EXISTING TOP OF CURB/FLOWLINE |
| + | EXISTING SPOT ELEVATION |
| + | EXISTING WATER VALVE |
| + | EXISTING WATER METER & WATER LINE |
| + | EXISTING TRAFFIC SIGNAL BOX |
| + | EXISTING LIGHT POLE |
| + | EXISTING SANITARY SEWER LINE & MANHOLE |
| --- | BASIN BOUNDARY |
| --- | PROPOSED ASPHALT SWALE |
| --- | PROPOSED SPOT ELEVATION |

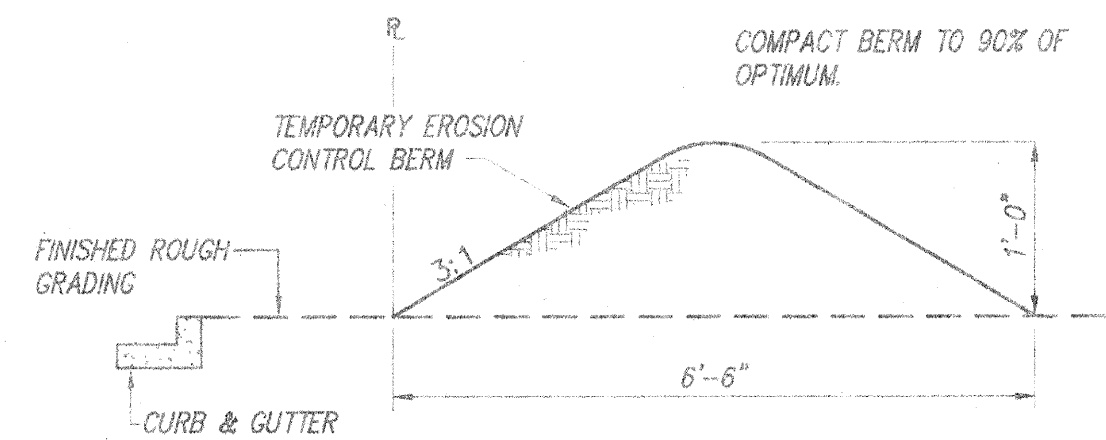


CARPET MAX GRADING AND DRAINAGE PLAN

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS & SURVEYORS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

Designed: RJM Drawn: WLW Checked: DMG Sheet 1 of 1
Scale: 1" = 30' Date: 7/97 Job: 97076

7076CM\7076GD30\10-08-97



EROSION CONTROL BERM DETAIL

N.T.S.

EROSION CONTROL NOTES

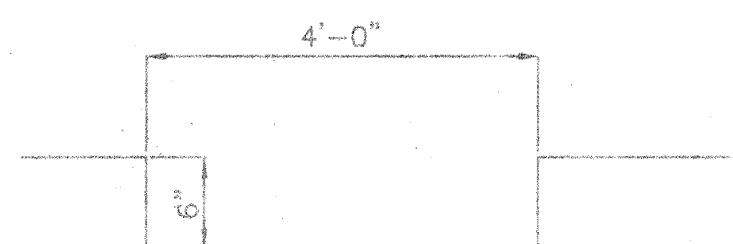
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. EROSION CONTROL BERMS ARE REQUIRED ALONG THE WEST AND SOUTH SIDES OF PROPERTY.
5. ALL EROSION CONTROL BERMS MUST BE IN PLACE AND ENGINEER CERTIFIED PRIOR TO BUILDING PERMIT RELEASE.

NOTICE TO CONTRACTOR

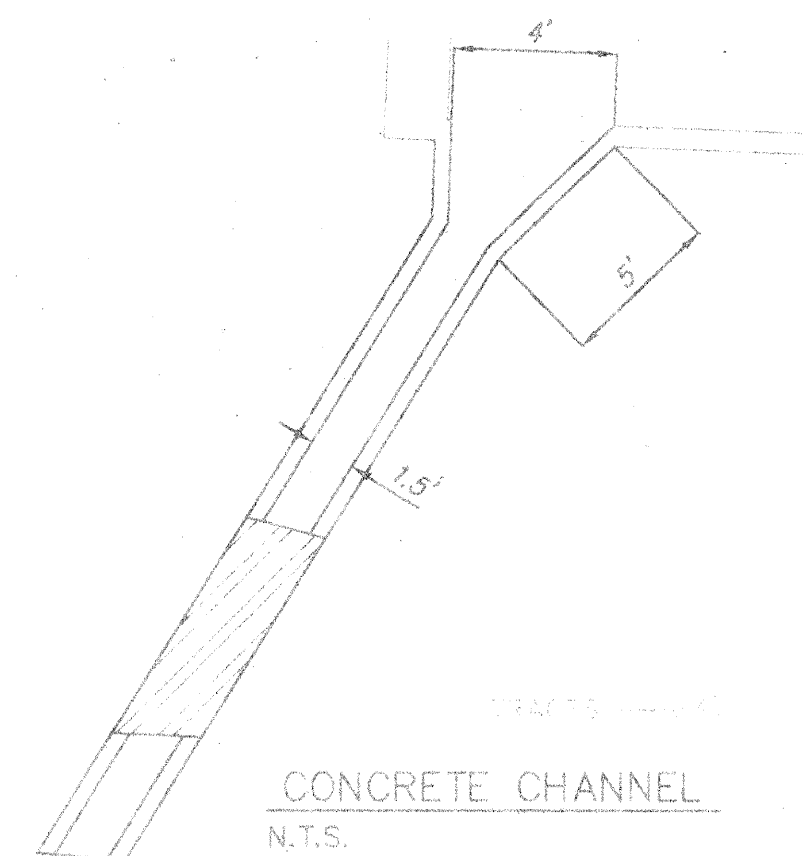
1. An excavation/construction permit will be required before beginning any work within City right of way. An approved copy of these plans must be submitted at the time of application for this permit.
2. All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with "City of Albuquerque Standard Specifications for Public Works Construction" (1986 Edition).
3. Two working days prior to any excavation, Contractor must contact the Line Locating Service, 765-1234, for location of existing utilities.
4. Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum of delay.
5. Backfill compaction shall be according to residential street use.
6. Maintenance of these facilities shall be the responsibility of the Owner of the property served.
7. Contractor is responsible for obtaining excavation permit for the S.O. 19 and providing proof of acceptance by the City prior to Hydrology sign-off for Certificate of Occupancy.

DRAINAGE FACILITIES WITHIN CITY RIGHT OF WAY

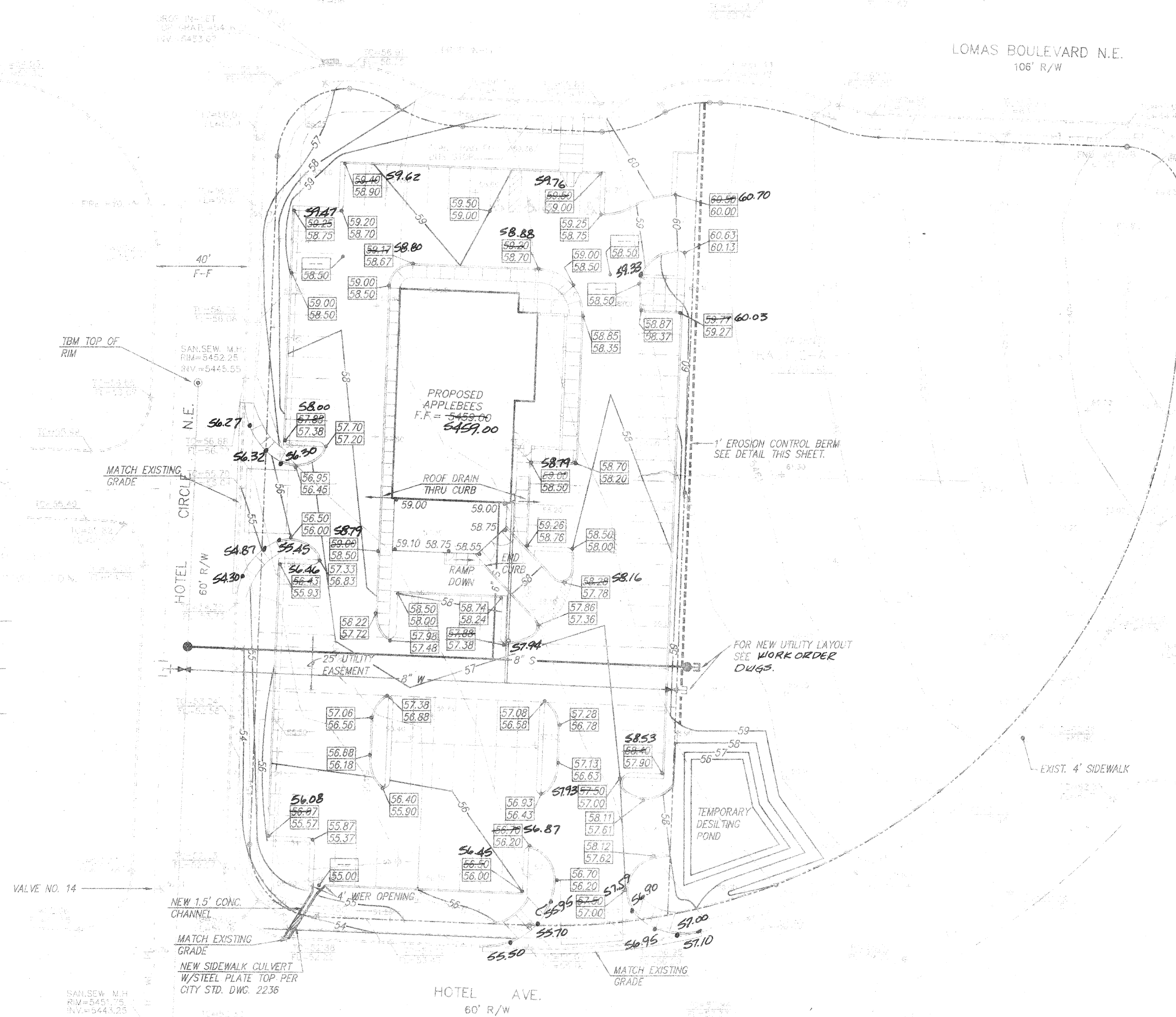
| | | |
|---------------------|------------------------------|------|
| Design Approval | HYDROLOGY SECTION | DATE |
| Inspection Approval | CONSTRUCTION SECTION | DATE |
| Acceptance | CONSTRUCTION/SECTION/PERMITS | DATE |



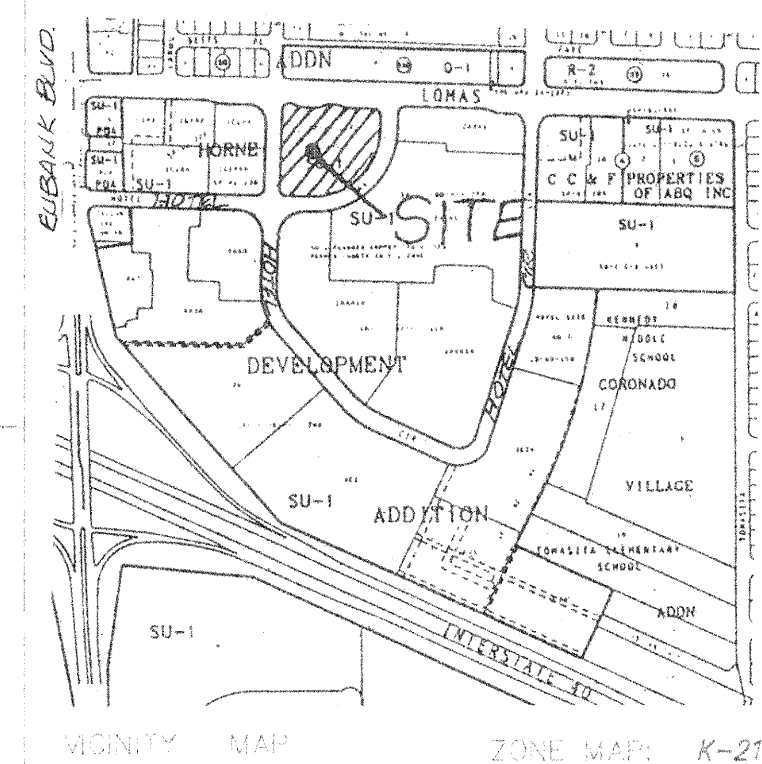
WIER OPENING
N.T.S.



CONCRETE CHANNEL
N.T.S.



LOMAS BOULEVARD N.E.
106' R/W



TEMPORARY BENCHMARK

RIM OF EXISTING SAS MANHOLE IN HOTEL CIRCLE
EL = 5452.25

LEGAL DESCRIPTION

TRACT 2-A-1, HORNE DEVELOPMENT ADDITION, CITY OF ALB.
SECTION 21, T. 10 N., R. 4 E., N.M.P.M., BERNALILLO COUNTY,
NEW MEXICO MARCH, 1995

THE STATION MARK IS A STANDARD ACS BRASS TABLET STAMPED
"S-1021 1979" SET FLUSH WITH THE CURB. THE STATION IS LOCATED
7.6 MILES EAST OF DOWNTOWN ALBUQUERQUE, TO REACH THE
STATION FROM THE INTERSECTION OF EUBANK BLVD. AND I-40 GO
NORTH ON EUBANK 0.3 MILES TO LOMAS BLVD. TURN RIGHT, GO
EAST 0.5 MILES TO TOMASTA ST. THE STATION IS LOCATED IN THE
SOUTHWEST QUADRANT OF THE INTERSECTION.
N = 418,238.69
E = 1,485,953.61
Z = 5408.81



- PROPERTY LINE
- EXISTING CONTOUR
- EXISTING TOP OF CURB/FLOWLINE
- EXISTING SPOT ELEVATION
- EXISTING WATER VALVE
- EXISTING WATER METER & WATER LINE
- EXISTING TRAFFIC SIGNAL BOX
- EXISTING LIGHT POLE
- EXISTING SANITARY SEWER LINE & MANHOLE

Green Tag for
S.O. 19

dmg
B. MARY GOODMAN & ASSOCIATES, P.C.
CONSULTING ENGINEERS & ARCHITECTS
101, 801 S.W. 5th St.
MIAMI, FL 33135
(305) 581-2222

APPLEBEE'S - LOMAS
GRADING & DRAINAGE

| APPROVAL | DATE | BY | FOR |
|-------------|---------|-----|-------|
| DESIGNED BY | | | WATER |
| CHECKED BY | | | WATER |
| IN CHARGE | | | WATER |
| PROJECT | 5248.90 | K21 | |

I hereby certify that the information contained on this drawing has been
revised in accordance with information furnished by the Contractor,
Edgings Commercial Contractors, and reflects the construction as actually
accomplished. This plan as constructed is in substantial compliance with
the Approved Plan.
Gregory J. Krenik, NMPE 11929
11-20-95

SCALE: 1" = 30'

C.O.