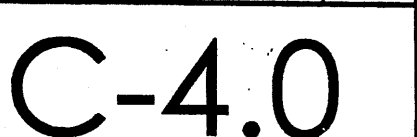
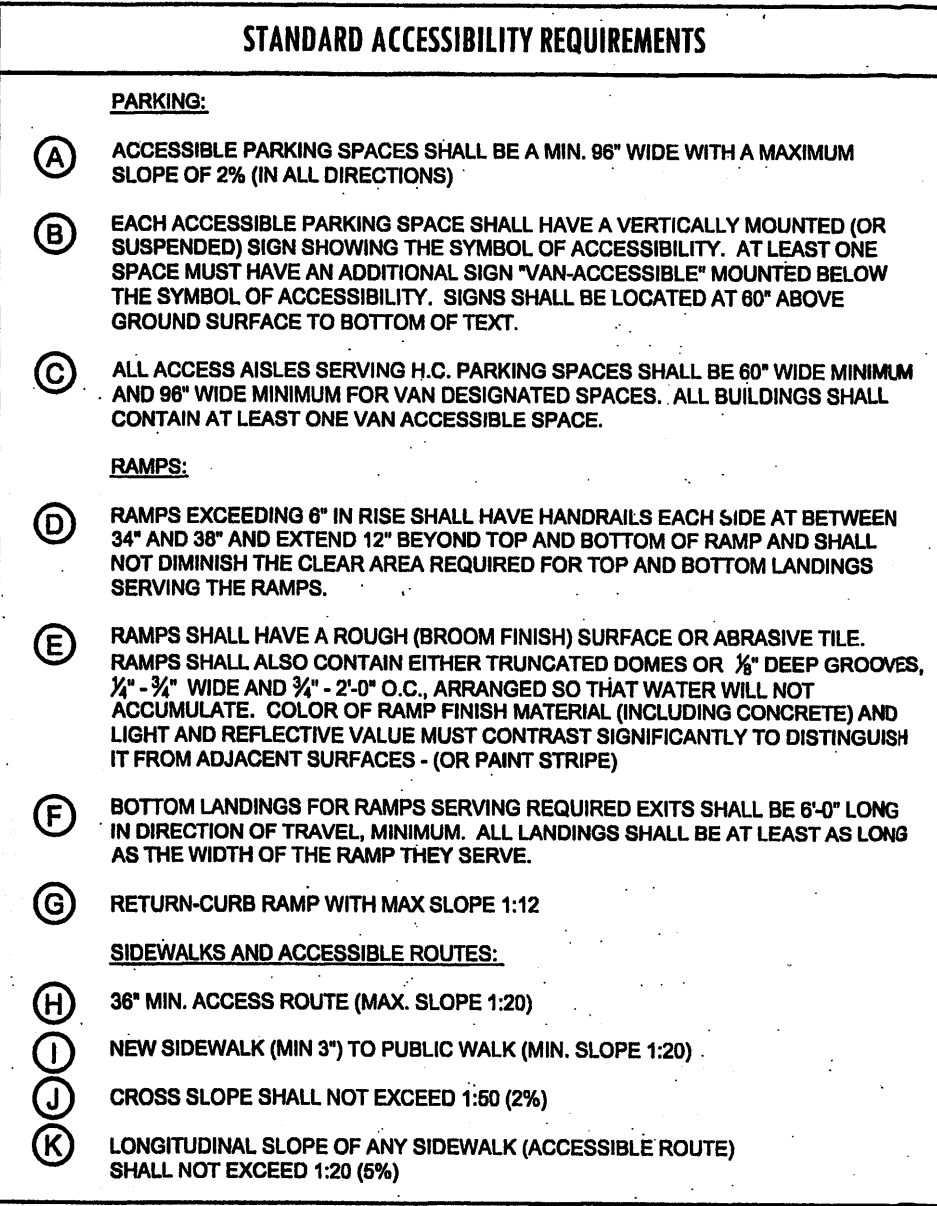


	STATUS		SIGNATURE (2 REQUIRED)	DATE
	REGIONAL MGR.			
	CONST. MGR.			
	OPERATIONS DEPT.			
	REAL ESTATE DEPT.			
CO-SIGN SIGNATURES				
CONTRACTOR	BY	DATE		
OWNER	RL	07/15/08		
	BLS	07/15/08		
AS-BUILT				









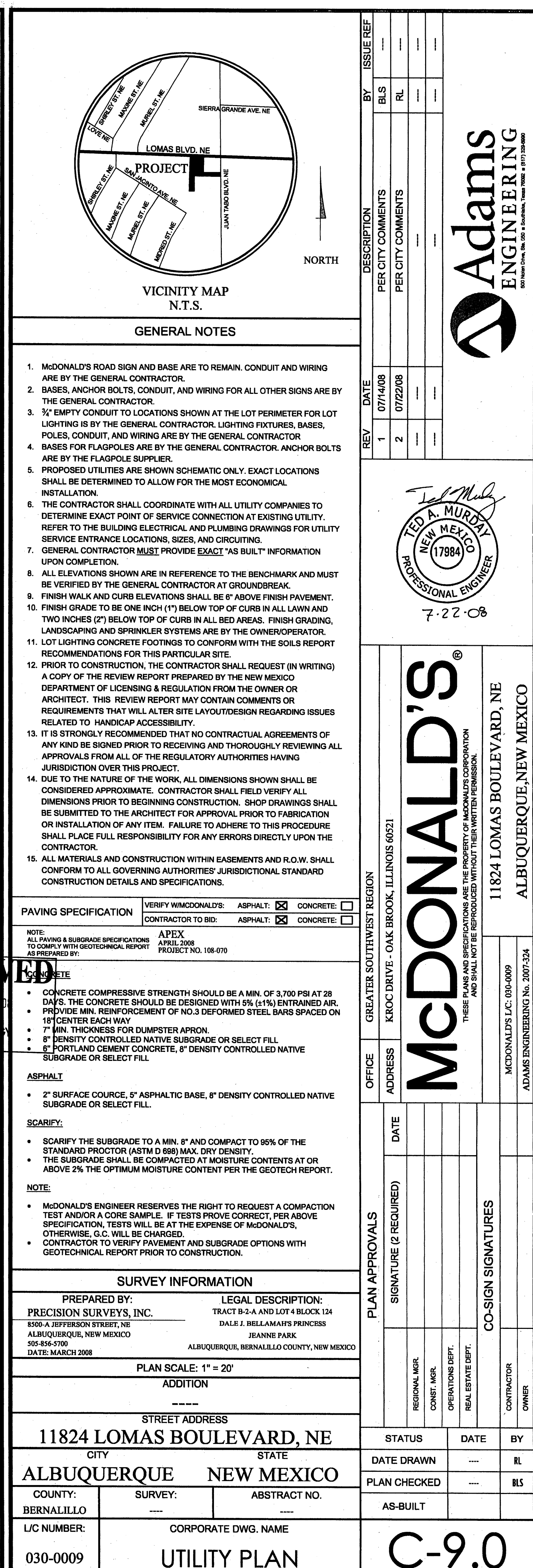




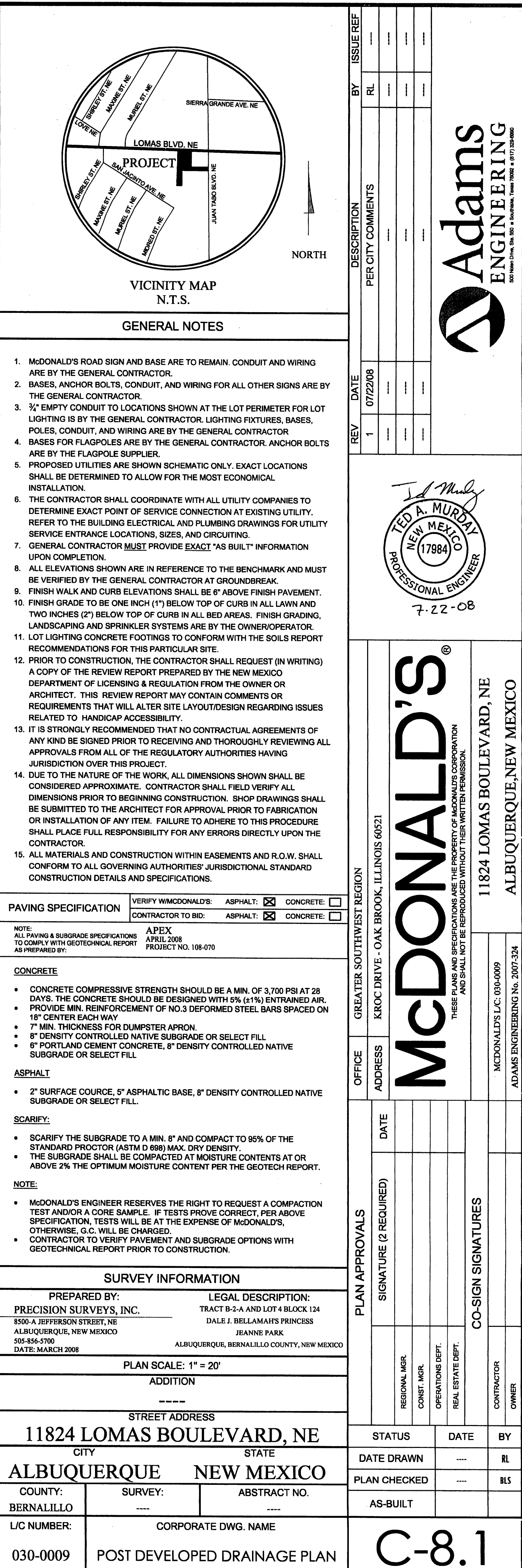












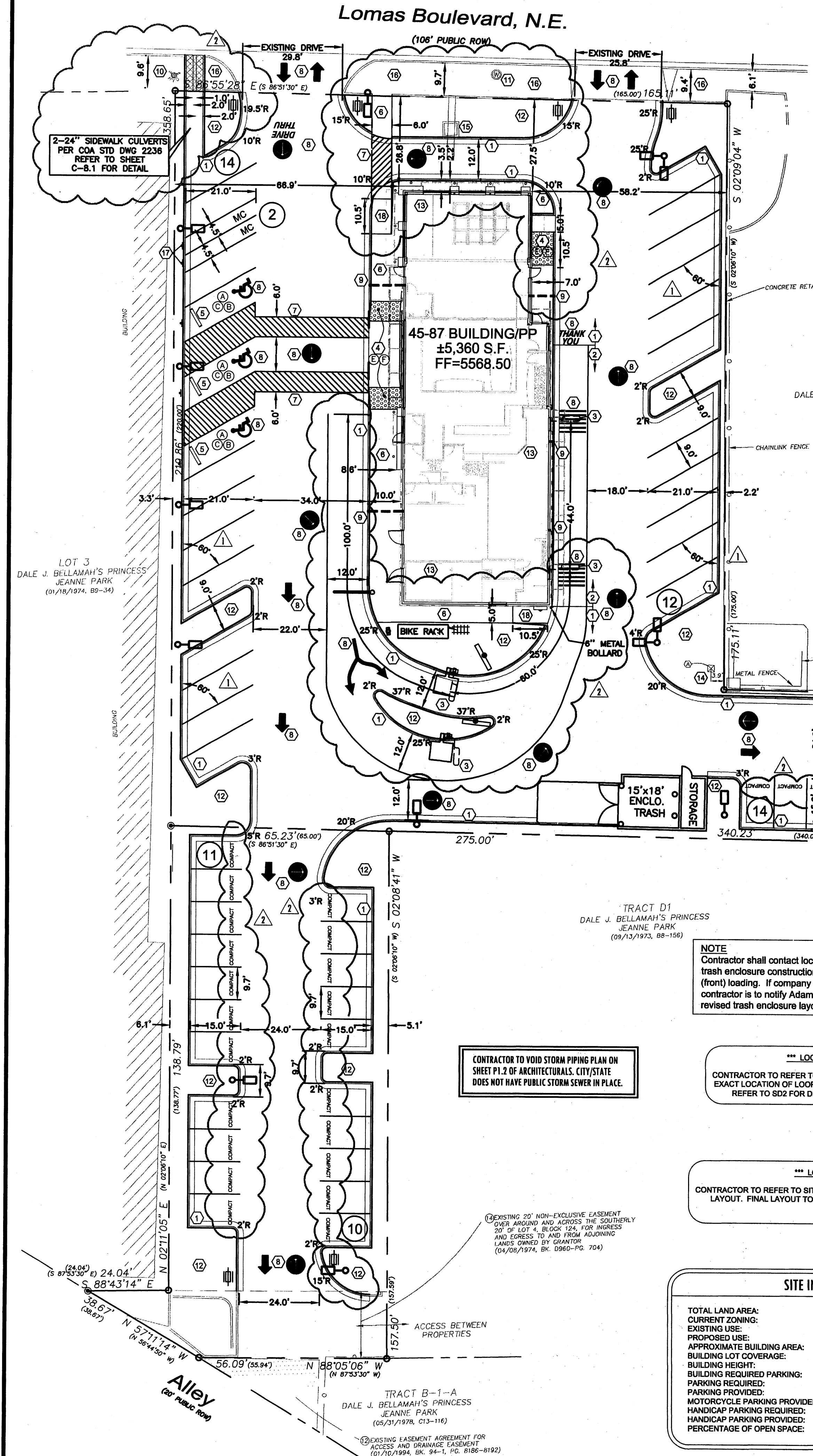


PLANNING C-4.0 SITE PLAN

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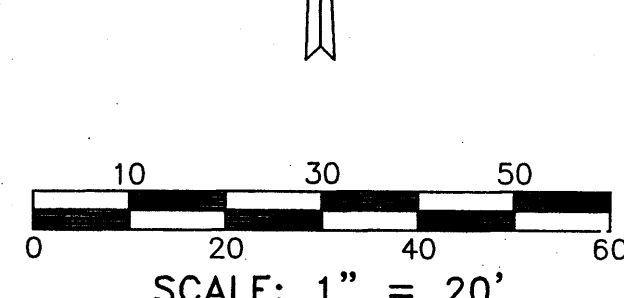


\*\*\* NOTICE TO CONTRACTOR \*\*\*

- CONTRACTOR SHALL REFER TO ARCHITECTURAL BUILDING PLANS FOR EXACT LOCATION AND ORIENTATION OF EXTERIOR DOORS.
- INSTALLATION OF HANDRAILS SHOWN HEREON ARE OPTIONAL UNLESS DIRECTED OTHERWISE BY CITY BUILDING OFFICIAL. CONTRACTOR SHOULD REFER TO ACCESSIBILITY NOTES AND GRADING PLAN TO VERIFY IF HANDRAILS ARE NECESSARY.
- TRASH ENCLOSURE WITH FINISH TO MATCH BUILDING AS PER McDONALD'S ENGINEER OR APPROVED EQUAL. REF: SHEET TE-1 WITH 7" THICK x 13' x 25' CONCRETE PAD. (CONTRACTOR TO COORDINATE DESIGN SPECS. WITH SOILS REPORT AND McDONALD'S.)
- LOCATION OF I.D. SIGN IS APPROXIMATE. IT IS THE RESPONSIBILITY OF THE SIGN CONTRACTOR TO VERIFY COMPLIANCE WITH SETBACK, SIZE, HEIGHT, AND RELATED ZONING REQUIREMENTS PRIOR TO SETTING SIGNAGE IN PLACE.
- THE LOCATION OF THE MENU BOARD AND PRE SELL BOARDS ARE NOT EXACT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE DIMENSIONS AND ORIENTATION WITH McDONALD'S ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS TO ALL UTILITIES, CURBS, PAVEMENT, ETC., TO CONDITIONS EQUAL OR BETTER THAN EXISTING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR STORING ALL MATERIALS ON SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ON SITE STAGING AREA AND SHALL NOT STAGE OR STORE MATERIALS OFF SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING WITH THE ELECTRIC COMPANY THE EXACT LOCATION OF THE TRANSFORMER.

TRAFFIC CIRCULATION LAYOUT  
APPROVED

Signed: [Signature] 7/24/08  
Date



ALL WHEELCHAIR RAMPS LOCATED  
WITHIN THE PUBLIC RIGHT OF WAY  
MUST HAVE TRUNCATED DOMES.

\*\*\* STOP! CALL BEFORE YOU DIG! \*\*\*

As required by New Mexico One Call System, Contractor must contact "NMOC" (800-321-ALERT (2537)) at least two days prior to any excavation operations being performed. It is the Contractor's responsibility to contact New Mexico One Call System.

OWNER INFORMATION

**MCDONALDS**  
511 E. Carpenter Freeway, Suite 375  
Irving, Texas 75062  
(972) 695-5314  
CONTACT: JIMMY LOPEZ

BENCHMARK  
1. A.G.E.S. MONUMENT "14. 722" STANDARD A.G.R.S. BRASS TABLET  
(FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE N.A.D. 1983) N=1487017.690 E=1561191.226  
PUBLISHED EL=5576.441 (NAVD 1983)  
GROUND TO GRID FACTOR=0.999644295  
DELTA ALPHA ANGLE=8°09'08.03"

\*\*\* GENERAL CONDITIONS \*\*\*

ALL DIMENSIONS SHOWN ARE TO FACE  
OF CURB UNLESS NOTED OTHERWISE

ALL HANDICAP ACCESSIBLE RAMPS MUST BE  
DESIGNED AND BUILT PER ADA STANDARDS.

### Survey Legend

- (N 90°00'00" E)  
N 90°00'00" E  
FOUND AND USED MONUMENT  
AS DESIGNATED
- DENOTES NO. 4 REBAR WITH YELLOW  
PLASTIC CAP "PS 11993" SET THIS SURVEY
- SEWER MANHOLE  
UTILITY PEDESTAL  
IRRIGATION CONTROL VALVE  
UTILITY POLE  
FIRE HYDRANT  
CURB DROP INLET  
DROP INLET  
TRAFFIC SIGNAL BOX  
SIGN  
LIGHT POLE  
WATER METER  
DROP POLE  
TRANSFORMER  
GUARD POST  
OVERHEAD UTILITY LINES  
CURB AND GUTTER  
HEADER CURB

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY  
JURISDICTIONAL ENTITIES.

CONSTRUCTION SCHEDULE	
MARK	MARK DESCRIPTION
①	6"x6" MONOLITHIC CURB (TYP.) PERIMETER OF SITE
②	6"x6" VERTICAL CURB WITH GUTTER AT DRIVE-THRU SIDE ONLY
③	DETECTOR LOOP (LOCATION TO BE APPROVED BY McDONALD'S)
④	H.C. ACCESS RAMP @ 1:12 MAX. SLOPE WITH WARNING SURFACE
⑤	PROPOSED CONCRETE WHEEL STOP (3 TOTAL)
⑥	PROPOSED SIDEWALK
⑦	PROPOSED ACCESSIBLE ROUTE
⑧	PAVING SYMBOLS
⑨	4" PVC ROOF DRAIN FROM D.S. TO OUT FLOW AT CURB/BLDG.
⑩	EXISTING FIRE HYDRANT
⑪	EXISTING DOMESTIC WATER METER TO REMAIN
⑫	LANDSCAPE CONTRACTOR TO FINISH GRADE 1" BELOW TOP OF CURB IN ALL LAWN AREAS AND 2" BELOW TOP OF CURB IN ALL BED AREAS
⑬	PRE TREAT FOR TERMITE CONTROL
⑭	EXISTING TRANSFORMER TO REMAIN
⑮	EXISTING PYLON SIGN
⑯	EXISTING SIDEWALK
⑰	MOTORCYCLE PARKING SPACE AND SIGNAGE PER CITY OF ALBUQUERQUE
⑱	SLOPED SIDEWALK @ 4.8%

SITE INFORMATION

TOTAL LAND AREA: 1.285 AC. (54,880 SF)  
EXISTING ZONING: C-2  
PROPOSED USE: RESTAURANT  
APPROXIMATE BUILDING AREA: 5,380 SF  
BUILDING LOT COVERAGE: 9.80% (5,380 SF/54,880 SF)  
BUILDING HEIGHT: 21'-4"  
BUILDING REQUIRED PARKING: 1 PER 4 SEATS  
PARKING REQUIRED: 29  
PARKING PROVIDED: 61  
MOTORCYCLE PARKING PROVIDED: 2  
HANDICAP PARKING REQUIRED: 3  
HANDICAP PARKING PROVIDED: 3  
PERCENTAGE OF OPEN SPACE: 15.02% (7,412 SF/49,320 SF)

\*\*\* LOOP DETECTORS \*\*\*

CONTRACTOR TO REFER TO E1 ELECTRICAL ROUGH-IN PLAN FOR  
EXACT LOCATION OF LOOP DETECTOR AT DRIVE-THRU WINDOW.  
REFER TO S02 FOR DETECTOR LOOP SPECIFICATIONS.

\*\*\* LOT LIGHTING \*\*\*

CONTRACTOR TO REFER TO SITE UTILITY PLAN FOR PRELIMINARY DESIGN  
LAYOUT. FINAL LAYOUT TO BE PROVIDED BY SECURITY LIGHTING.

CONTRACTOR TO VOID STORM PIPING PLAN ON  
SHEET P1.2 OF ARCHITECTURALS. CITY/STATE  
DOES NOT HAVE PUBLIC STORM SEWER IN PLACE.

ADAMS  
ENGINEERING

REGISTERED PROFESSIONAL ENGINEER  
NEW MEXICO  
11824 LOMAS BOULEVARD, NE  
ALBUQUERQUE, NEW MEXICO 800-0009

7-22-08

PROFESSIONAL ENGINEER

REV. DATE

1 07/15/08

2 07/22/08

DESCRIPTION

PER CITY COMMENTS

PER CITY COMMENTS

BY

RL

RL

ISSUE REF

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VICINITY MAP  
N.T.S.

GENERAL NOTES

1. McDONALD'S ROAD SIGN AND BASE ARE TO REMAIN. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.

2. BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.

3. 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE GENERAL CONTRACTOR.

4. BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.

5. PROPOSED UTILITIES ARE SHOWN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.

6. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.

7. GENERAL CONTRACTOR MUST PROVIDE EXACT "AS BUILT" INFORMATION UPON COMPLETION.

8. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK.

9. FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.

10. FINISH GRADE TO BE ONE INCH (1") BELOW TOP OF CURBS IN ALL LAWN AND TWO INCHES (2") BELOW TOP OF CURBS IN ALL BED AREAS. FINISH GRADING, LANDSCAPING AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.

11. LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE.

12. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL REQUEST (IN WRITING) A COPY OF THE REVIEW REPORT PREPARED BY THE NEW MEXICO DEPARTMENT OF LICENSING & REGULATION FROM THE OWNER OR ARCHITECT. THIS REVIEW REPORT MAY CONTAIN COMMENTS OR REQUIREMENTS THAT WILL ALTER SITE LAYOUT/DESIGN REGARDING ISSUES RELATED TO HANDICAP ACCESSIBILITY.

13. IT IS STRONGLY RECOMMENDED THAT NO CONTRACTUAL AGREEMENTS OF ANY KIND BE SIGNED PRIOR TO RECEIVING AND THOROUGHLY REVIEWING ALL APPROVALS FROM ALL OF THE REGULATORY AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.

14. DUE TO THE NATURE OF THE WORK, ALL DIMENSIONS SHOWN SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION OR INSTALLATION OF ANY ITEM. FAILURE TO ADHERE TO THIS PROCEDURE SHALL PLACE FULL RESPONSIBILITY FOR ANY ERRORS DIRECTLY UPON THE CONTRACTOR.

15. ALL MATERIALS AND CONSTRUCTION WITHIN EASEMENTS AND R.O.W. SHALL CONFORM TO ALL GOVERNING AUTHORITIES' JURISDICTIONAL STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.

PAVING SPECIFICATION

VERIFY WITH McDONALD'S: ASPHALT: ☒ CONCRETE: ☐

CONTRACTOR TO BID: ASPHALT: ☒ CONCRETE: ☐

NOTE:  
ALL PAVING & SUBGRADE SPECIFICATIONS  
TO COMPLY WITH GEOTECHNICAL REPORT  
AS PREPARED BY:  
APEX  
APRIL 2008  
PROJECT NO. 108-070

CONCRETE

CONCRETE COMPRESSIVE STRENGTH SHOULD BE A MIN. OF 3,700 PSI AT 28 DAYS. THE CONCRETE SHOULD BE DESIGNED WITH 5% (+1%) ENTRAINMENT AIR. MIN. REINFORCEMENT OF NO.3 DEFORMED STEEL BARS SPACED ON 18" CENTER EACH WAY.

SCAFFOLD

SCAFFOLD THE SUBGRADE TO A MIN. 8" AND COMPACT TO 95% OF THE STANDARD PROCTOR (ASTM D 698) MAX. DRY DENSITY.

THE SUBGRADE SHALL BE COMPACTED AT MOISTURE CONTENTS AT OR ABOVE 2% THE OPTIMUM MOISTURE CONTENT PER THE GEOTECH REPORT.

NOTE:

McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S. OTHERWISE, G.C. WILL BE CHARGED.

CONTRACTOR TO VERIFY PAVEMENT AND SUBGRADE OPTIONS WITH GEOTECHNICAL REPORT PRIOR TO CONSTRUCTION.

SURVEY INFORMATION

PREPARED BY: LEGAL DESCRIPTION:  
PRECISION SURVEYS, INC. TRACT B-2-A AND LOT 4 BLOCK 124  
DALE J. BELLAMAH'S PRINCESS  
ALBUQUERQUE, NEW MEXICO JEANNE PARK  
505-856-5700  
DATE: MARCH 2008

PLAN SCALE: 1" = 20'

ADDITION

STREET ADDRESS

11824 LOMAS BOULEVARD, NE

CITY STATE

ALBUQUERQUE NEW MEXICO

COUNTY: SURVEY: ABSTRACT NO.

BERNALILLO

L/C NUMBER: CORPORATE DWG. NAME

030-0009 SITE PLAN

PLAN APPROVALS

OFFICE ADDRESS DATE

GREATER SOUTHWEST REGION

KROC DRIVE - OAK BROOK, ILLINOIS 60521

SIGNATURE (2 REQUIRED)

DATE

STATUS DATE BY

DATE DRAWN 07/15/08 RL

PLAN CHECKED 07/15/08 BLS

AS-BUILT

CO-SIGN SIGNATURES

CONTRACTOR OWNER

McDONALD'S L/C: 030-0009

ADAMS ENGINEERING NO. 2007-324

C-4.0