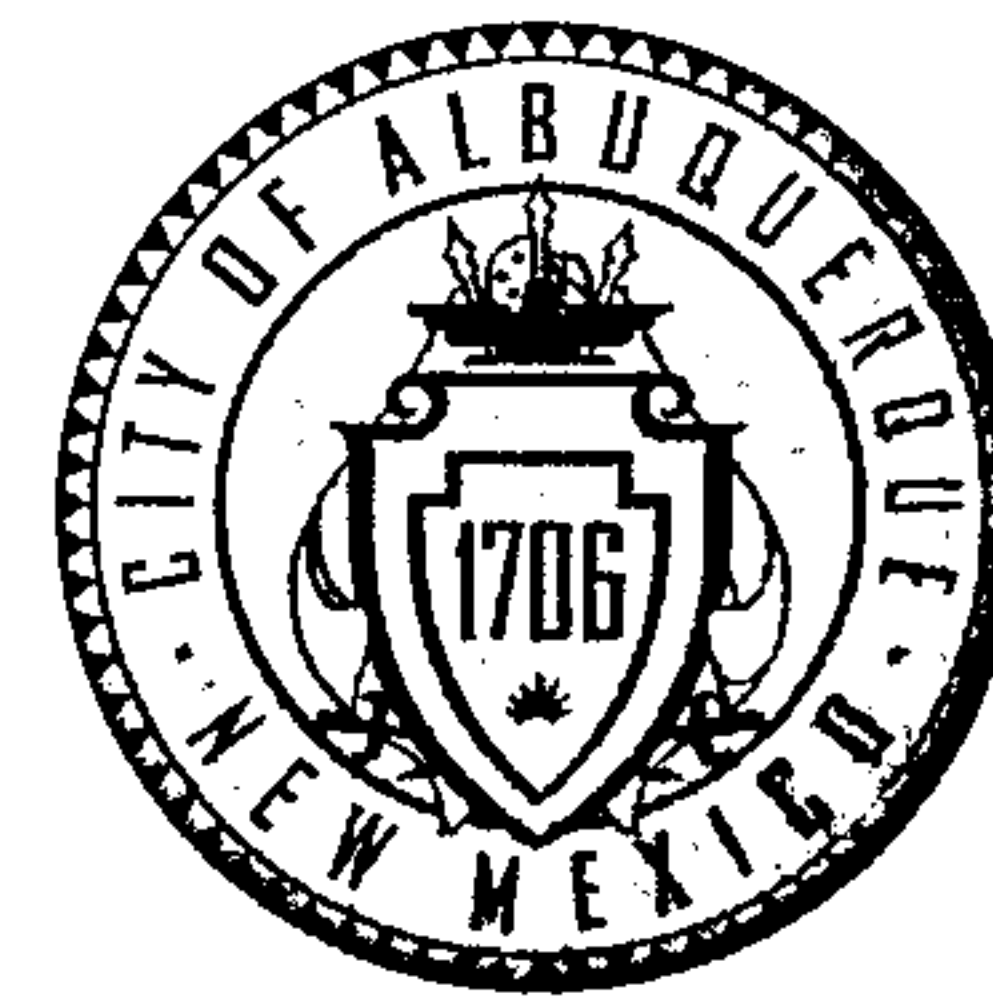


CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

August 6, 2015

Shawn Biazar
SBS Construction and Engineering, LLC
10209 Snowflake Ct., NW
Albuquerque, NM 87114

**Re: 248 Muriel St., NE
Certificate of Occupancy – Transportation Development
Engineer's/Architect's Stamp dated 8-4-15 (K21-D030)
Certification dated 8-5-15**

Dear Mr. Biazar,

PO Box 1293

Based upon the information provided in your submittal received -15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

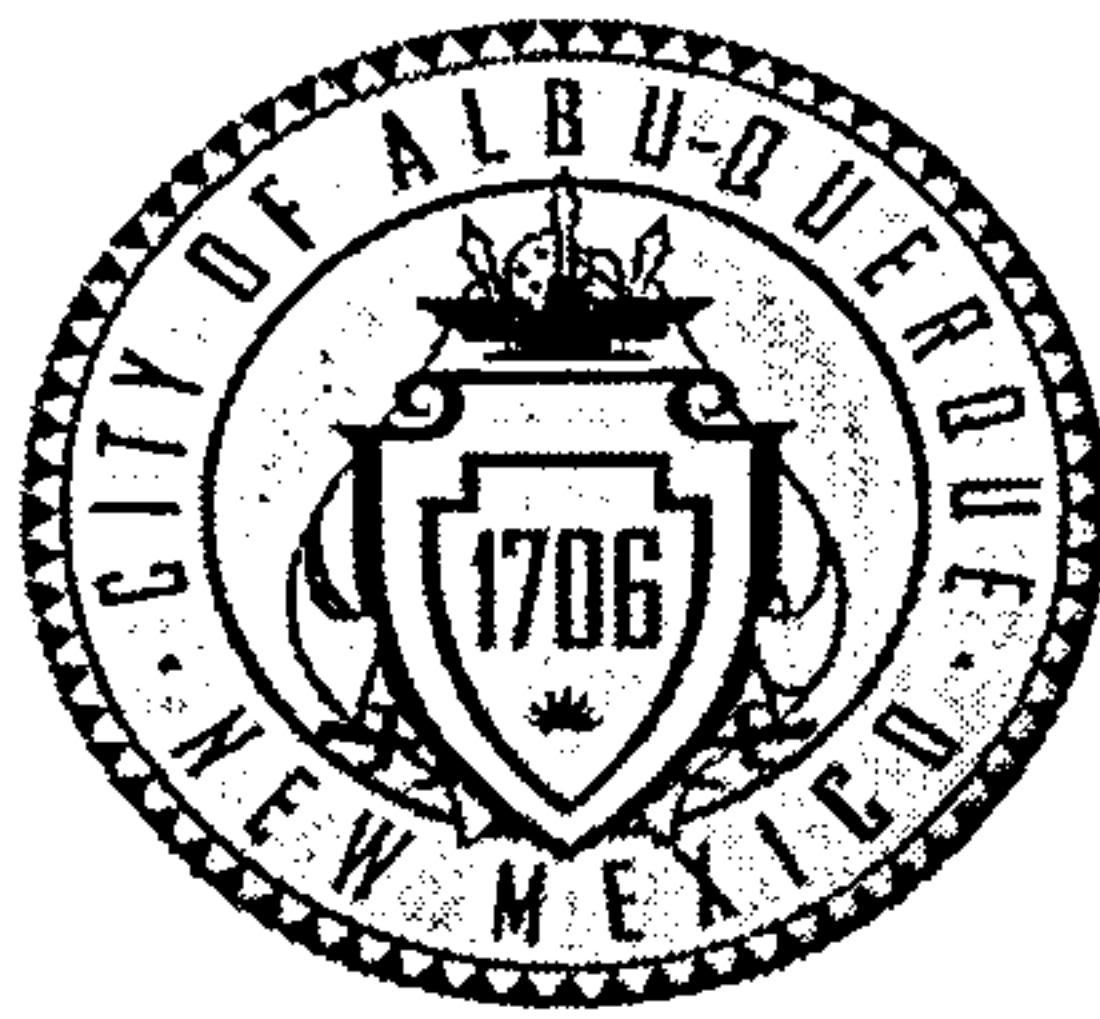
New Mexico 87103

Sincerely,

www.cabq.gov

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



Juan Tabo + I-40
South of I-40
City of Albuquerque

Planning Department
Development & Building Services Division
DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 02/2013)

Project Title: 248 MURIEL STREET, NE Building Permit #: _____ City Drainage #: K-21-D030
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOT 13, BLOCK 18, EAST CENTRAL BUSINESS ADDITION
City Address: 5400 CENTRAL AVE., SE

Engineering Firm: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR
Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114
Phone#: 505-804-5013 Fax#: 505-897-4996 E-mail: AECCLLC@AOL.COM

Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☒ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____

Received
8-5-13

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: 08-05-15 By: SHAWN BIAZAR

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

SBS CONSTRUCTION AND ENGINEERING, LLC

AUGUST 5, 2015

TRAFFIC ENGINEERING, PLANNING DEPT.
DEVELOPMENT AND BUILDING PERMIT
600 2nd STREET, SW ALBUQUERQUE, NM 87102

RE: 248 MURIEL STREET, NE, LOT 13, BLOCK 18, EAST CENTRAL BUSINESS ADDITION
FINAL CERTIFICATE OF OCCUPANCY (K-21-D030)

I, REZA AFAGHPOUR, NMPE OF THE SBS CONSTRUCTION AND ENGINEERING, LLC,
HEREBY CERTIFY THAT THIS PROJECT IS IN COMPLIANCE WITH AND IN ACCORDANCE
WITH THE DESIGN INTENT OF CITY OF ALBUQUERQUE TRANSPORTATION DEPARTMENT.
THIS SITE IS EXISTING AND ATTACHED SITE PLAN SHOWS ALL THE EXISTING SITE ITMES
AND PROPOSED MODIFICATION.

THE RECORD INFORMATION SHOWING ON THIS DOCUMENT HAS BEEN OBTAINED BY
LEONARD MARTINEZ OF SBS CONSTRUCTION AND ENGINEERING, LLC. I FURTHER
CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON AUGUST 3, 2015 AND
HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS
REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST
OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A
REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE
AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS
OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN
INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER
PURPOSE.

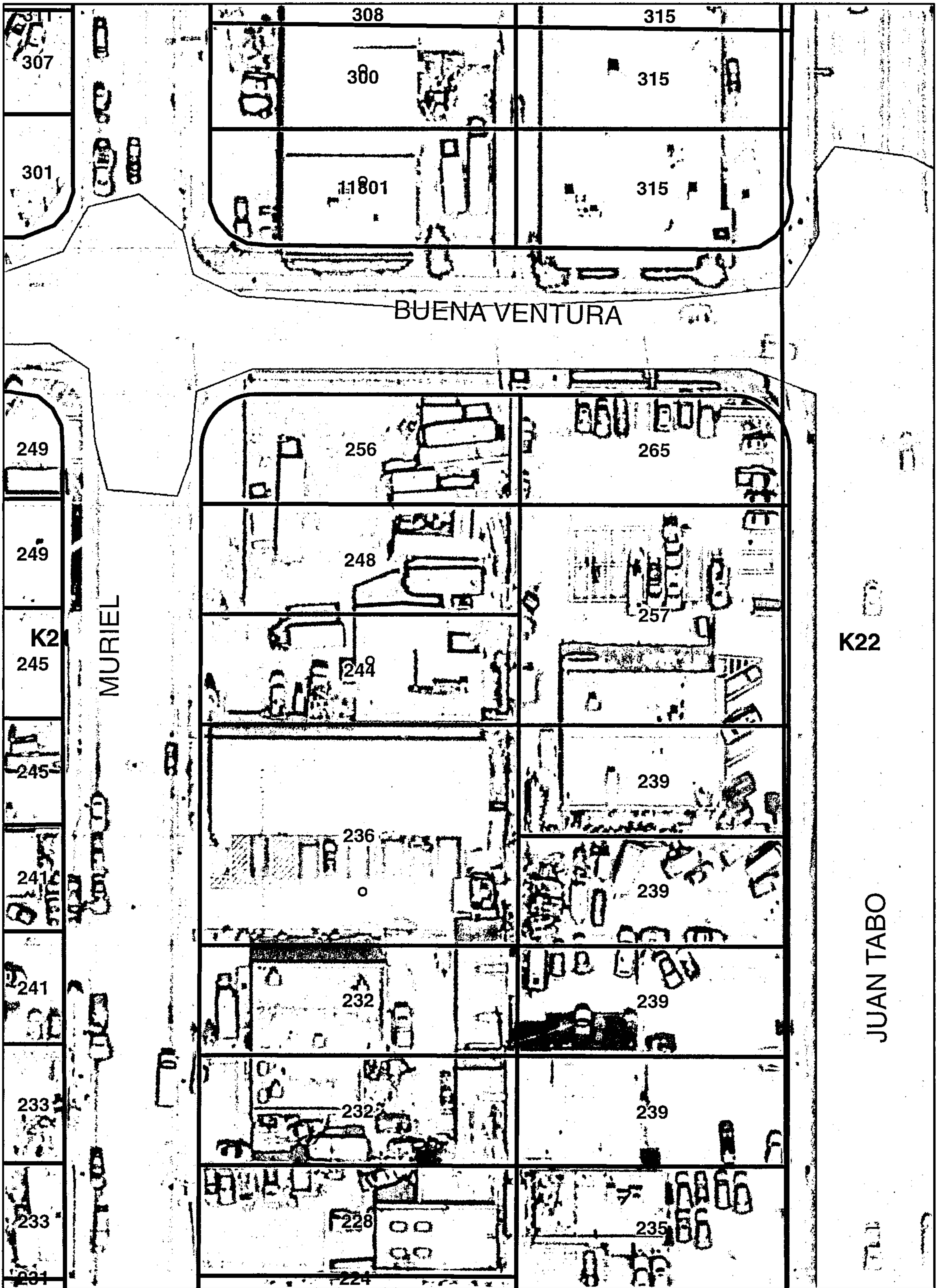


REZA AFAGHPOUR, PE

8/5/2015

DATE





Ortiz, Monica

From: Orlando R. Delgado <ordmda@msn.com>
Sent: Friday, March 13, 2015 3:52 PM
To: Ortiz, Monica
Subject: RE: 248 Muriel NE
Attachments: Parking.PDF

Follow Up Flag: Follow up
Flag Status: Completed

Re: 248 Muriel NE
Raquel/Monica,
per meet with Raquel on Friday, 3/13/15, see attachment.

Orlando

From: mortiz@cabq.gov
To: ordmda@msn.com
CC: rmichel@cabq.gov
Subject: RE: 248 Muriel NE
Date: Thu, 12 Mar 2015 19:46:13 +0000

Hello Orlando there was no attachment sent. Please send to both myself and Racquel Michel. I have copied her on this email. Thanks

Monica Ortiz

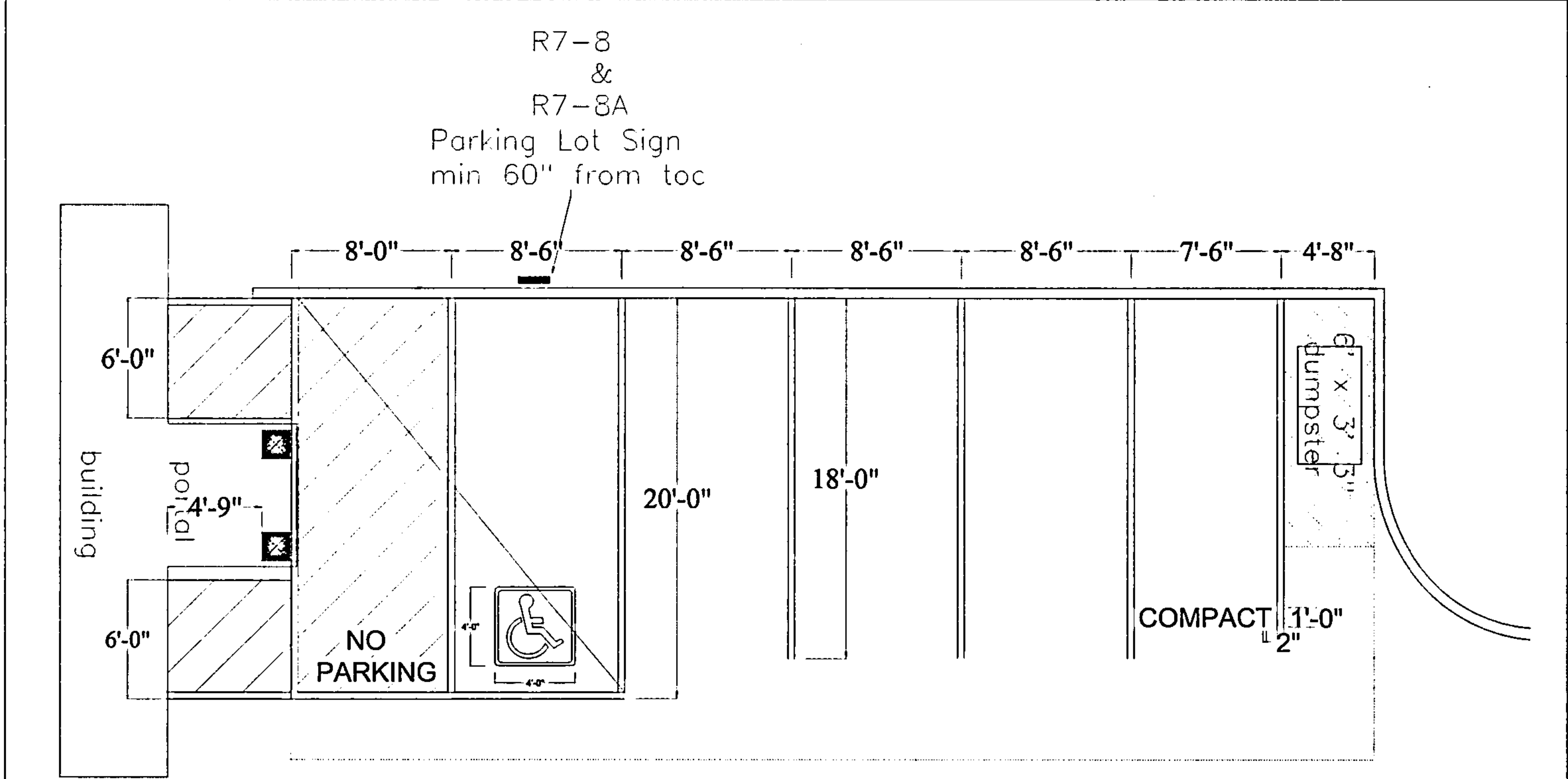
Planning Department – Transportation & Hydrology
Development & Building Services Division
600 2nd St. NW, Suite 201
Albuquerque, NM 87102
t 505-924-3981
f 505-924-3864

From: Orlando R. Delgado [<mailto:ordmda@msn.com>]
Sent: Thursday, March 12, 2015 1:38 PM
To: Ortiz, Monica
Subject: 248 Muriel NE

Monica, while I was redrawing to flip the handicap parking, it occurred to me that it offered another option which allows
a HC path away from all other traffic in the driveway and gives another parking space to the site.
Please see the attachment and the Alt. 2 on the right side of sketch.

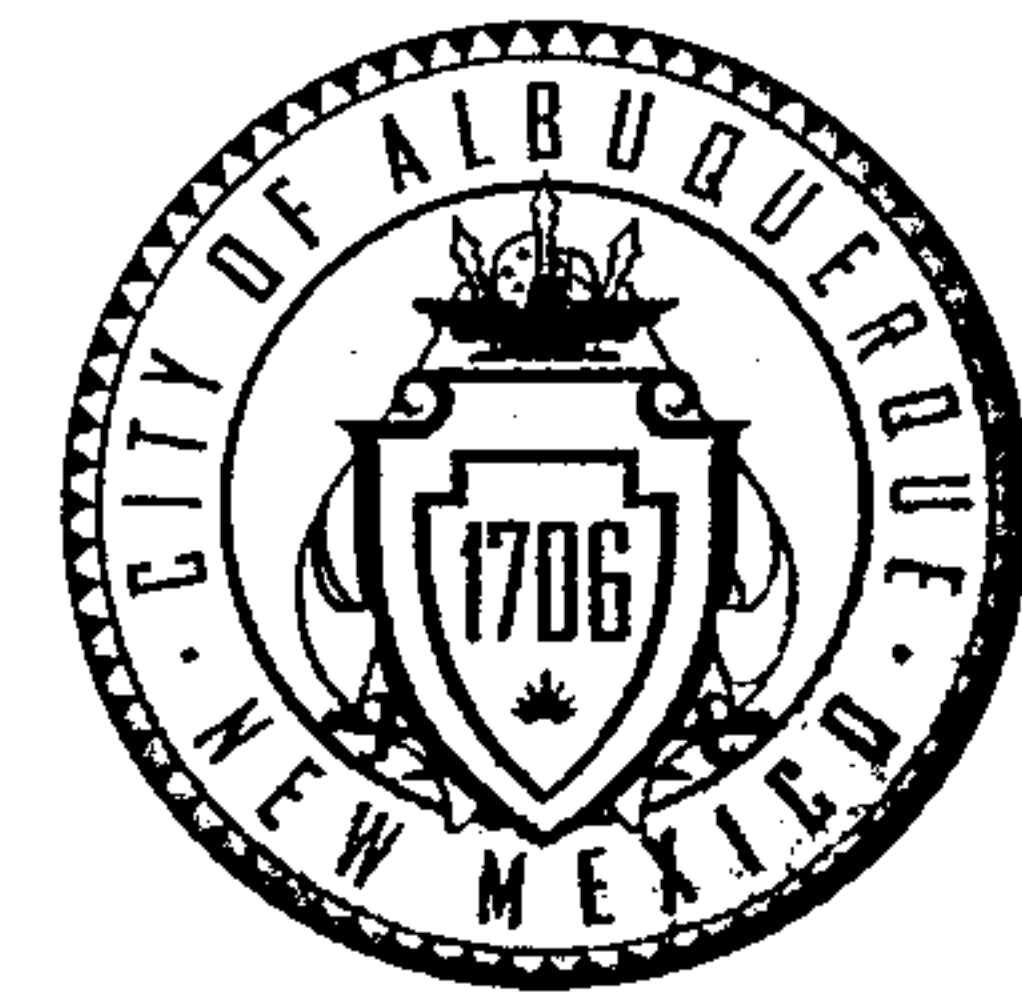
As you probably know by now, Darlene found the plans in the Fire Dept. Office so they should be easily found now.

Let me know if you like the Alt. 2.



A CERTIFIED AS BUILT SITE PLAN WILL BE PROVIDED FOR FINAL INSPECTIONS.

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

July 22, 2015

Shawn Biazar
SBS Construction and Engineering, LLC
10209 Snowflake Ct., NW
Albuquerque, NM 87114

Re: 248 Muriel St. NE
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 7-9-15 (K21-D030)

Dear Mr. Biazar

Based upon the information provided in your submittal received 7-21-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

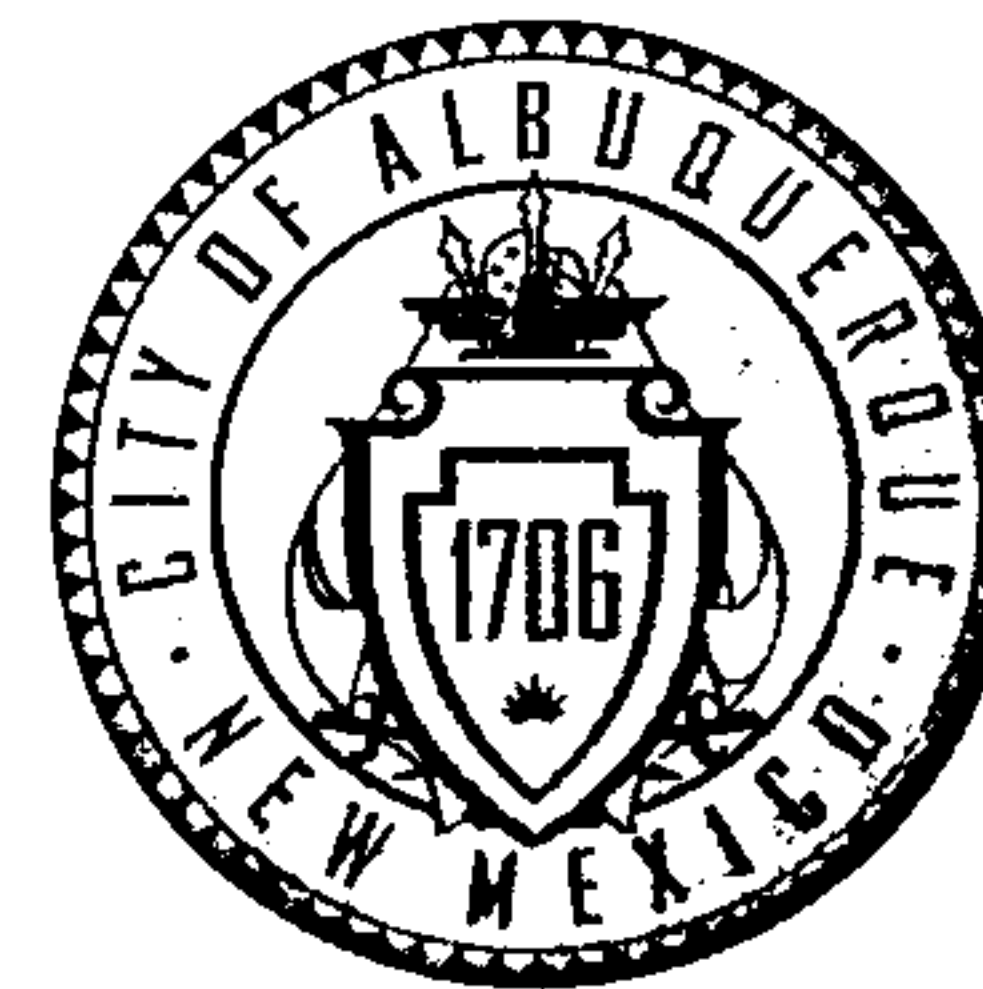
Albuquerque

New Mexico 87103

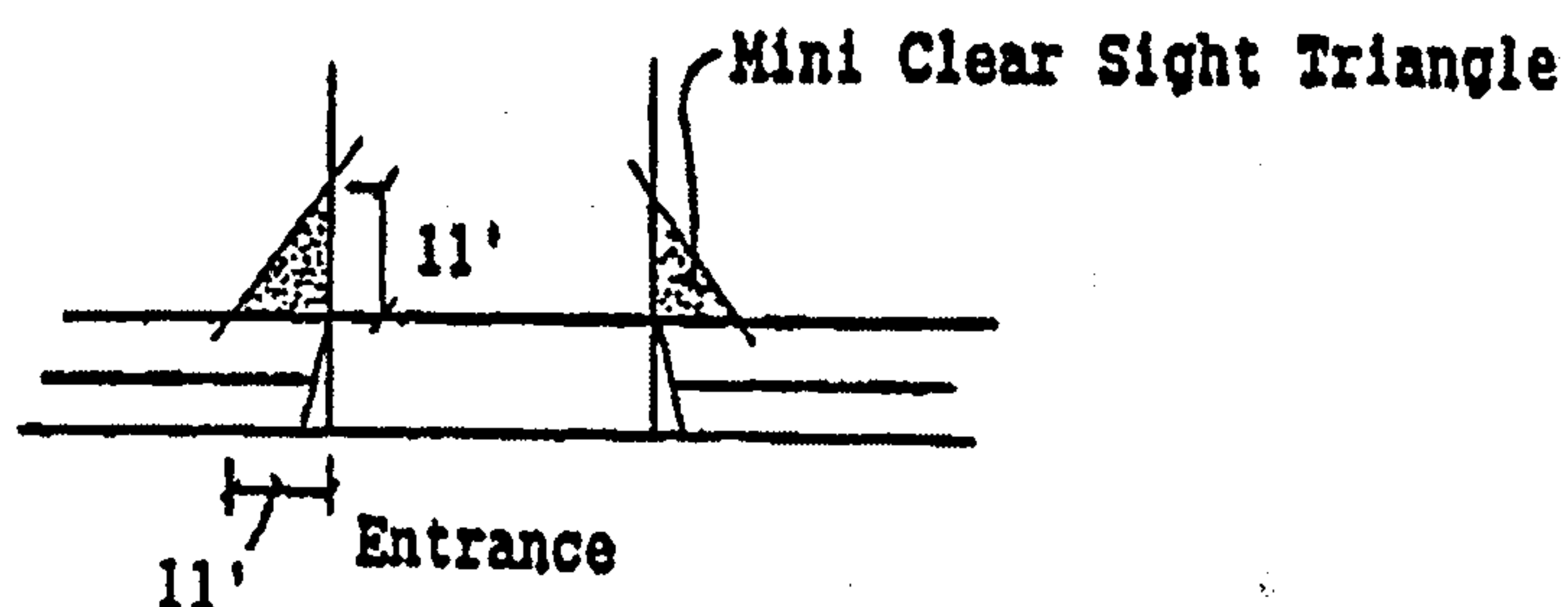
www.cabq.gov

- ~~1.~~ Please identify all existing buildings, doors, covered entry, sidewalks, curbs, drive pads, walls and anything that influences the parking and circulation on the site. Please also detail and dimension the existing fencing.
- ~~2.~~ Per Zoning Code, compact parking space must be a minimal of 8.0 ft. wide by 15 ft. in length and are only allowed if there are more than twenty parking spaces required per project. The parking space detailed as 7.5 ft. by 18 ft. is not allowable.
- ~~3.~~ Zoning approval will be required for the use of the two parking spaces within the existing garage to be counted towards the required parking spaces for the proposed project.
- ~~4.~~ Please show the dimension between the parking spaces on the south side of the parking lot and the designated motorcycle parking space.
- ~~5.~~ Show all drive aisle widths and radii from Muriel St.
- ~~6.~~ Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
- ~~7.~~ Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
- ~~8.~~ Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please dimension the existing concrete header curb.

CITY OF ALBUQUERQUE



- ~~9.~~ Design delivery vehicle route needs to be shown.
- ~~10.~~ Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
- ~~11.~~ It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
- ~~12.~~ Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*). Show this detail for Muriel St.



PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

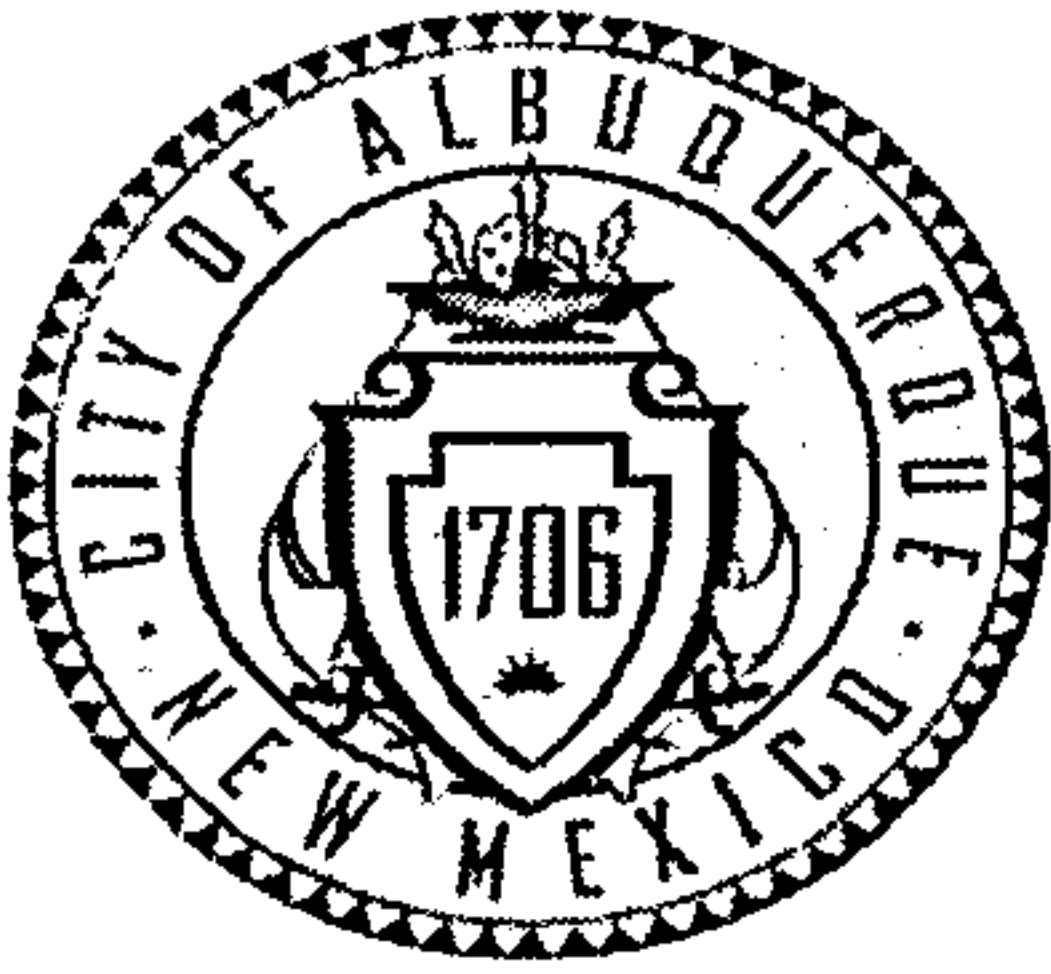
- ~~13.~~ Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
- 14. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505)924-3630.

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: 248 MURIEL STREET, NE Building Permit #: _____ City Drainage #: K21 D030
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOT 13, BLOCK 18, EAST CENTRAL BUSINESS ADDITION
City Address: 248 MURIEL STREET, NE

Engineering Firm: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR
Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114
Phone#: 505-804-5013 Fax#: 505-897-4996 E-mail: AECLLC@AOL.COM

Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☒ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

*Received
7-21-15*

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: 07-10-15 By: SHAWN BIAZAR

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 17, 2001

Frank D. Lovelady, P.E.
Lovelady & Associates
300 Alamosa NW
Albuquerque, New Mexico 87107

RE: CONSTRUCTION OFFICE/STORAGE BUILDING (K-21/D30)
(Muriel St. NE)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 7/18/2000
ENGINEERS CERTIFICATION DATED 5/23/2001

Dear Mr. Lovelady:

Based upon the information provided in your Engineers Certification submittal dated 5/29/2001, and receipt (dated 7/17/2001) of the Private Drainage Easement for the cross-lot drainage for adjacent property to the north, the above referenced site is approved for Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin

Teresa A. Martin
Hydrology Plan Checker
Public Works Department
BLB

C: Vickie Chavez, COA
approval file
✓ drainage file

PRIVATE DRAINAGE EASEMENT

Grant of Private Drainage Easement, between Lonnie Wright (Grantor),
whose address is 250 MUELLE and Lonnie Wright (Grantee),
("Grantee"), whose address is 248 MUELLE.

Grantor, whose property legal description is Lot 14 Block 18 East Central Business Addition,
description is Lot 13 Block 18 East Central Business Addition, grants to Grantee, whose property legal
description is Lot 13 Block 18 East Central Business Addition, an
exclusive, permanent private drainage easement ("Easement") in, over, upon and across the real property
("Property") for the exclusive purpose of cross lot drainage of said Property.

Grantor covenants and warrants that Grantor is the owner in fee simple of the Property, that
Grantor has a good lawful right to convey the Property or any part thereof and that Grantor will forever
warrant and defend the title to the Property against all claims from all persons or entities.

The grant and other provisions of this Easement constitute covenants running with the Property
for the benefit of its successors and assigns until terminated

This Easement shall not be effective until signed by both Property owners in the signature blocks
below.

WITNESS my hand and seal this 16th day of July, 2001.

GRANTOR:

Lonnie Wright
(Property owner)

GRANTEE:

Lonnie Wright
(Property owner)

INDIVIDUALS

STATE OF New Mexico
COUNTY OF Bernalillo

This instrument was acknowledged before me on 16th day of July, 2001,
by Lonnie Wright.

Heidi C. Chester
Notary Public

My Commission Expires:

March 19 2003



OFFICIAL SEAL
HEIDI C. CHESTER
NOTARY PUBLIC - STATE OF NEW MEXICO
Notary Bond Filed with Secretary of State
My Commission Expires 3-19-03











City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 5, 2001

Frank D. Lovelady, P.E.
300 Alamosa Rd NW
Albuquerque, New Mexico 87107

RE: CONSTRUCTION OFFICE/STORAGE BUILDING (Muriel St NE) (K-21/D30)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 7/18/2000
ENGINEERS CERTIFICATION DATED 5/23/2001

Dear Mr. Lovelady:

Based on the information provided on your submittal dated May 29, 2001, the above referenced project **can not** be approved for a Certificate of Occupancy at this time.

Your Engineers Certification indicated that the curb and gutter and landscaping, which was to be built on the north side of the site, was not constructed. After visiting the site it was noted, without curb and gutter, drainage runoff would enter the adjacent property to the north.

In order to accept the Engineers Certification, and issue a Certificate of Occupancy, one of two options would have to be accomplished:

- Build the curb and gutter and landscaping, which was designed and approved with the original grading and drainage plans, or
- Submit a cross-lot drainage easement agreement, from both owners of the properties, to the City's Hydrology Section. This easement would be needed in case the adjacent property was ever sold by the current owner allowing drainage to discharge into the adjacent property to the north.

(The Engineers Certification, which was submitted to our office, would have to reflect the change in the event that curb and gutter were to be installed in lieu of the easement.)

When the above issues have been accomplished, we will take every measure to expedite this submittal, so a permanent Certificate of Occupancy can be issued. If I can be of further assistance, please feel free to contact me at 924-3981.

Sincerely,

Teresa A. Martin
Hydrology Plan Checker
Public Works Department

c: File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Construction Office / Storage
 DRB #: _____ EPC#: _____ ZONE MAP/DRG. FILE #: K-21/D30
 WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 13 Block 18 East Central Business Addition
 CITY ADDRESS: 248 Muriel St. NE

ENGINEERING FIRM: Frank D. Lovelady, P.E.
 ADDRESS: 300 ALAMOSA NW
 CITY, STATE: Albuquerque, N.M.

CONTACT: Frank Lovelady
 PHONE: 345-2267
 ZIP CODE: 87107

OWNER: Lonnie Wright Construction
 ADDRESS: 252 Muriel St. NE
 CITY, STATE: Albuquerque NM 87107

CONTACT: Lonnie Wright
 PHONE: 440-3039
 ZIP CODE: 87112

ARCHITECT: Rick Bennett Architect
 ADDRESS: 1118 Park Ave. S.W.
 CITY, STATE: Albuquerque NM

CONTACT: Rick Bennett
 PHONE: 242-1809
 ZIP CODE: 87102

SURVEYOR: Harris Surveying Co.
 ADDRESS: 2412 D Monroe St. N.E.
 CITY, STATE: Albuquerque N.M. 87

CONTACT: Tony Harris
 PHONE: 889-8056
 ZIP CODE: 87108

CONTRACTOR: Lonnie Wright Construction
 ADDRESS: 252 Muriel St. NE
 CITY, STATE: Albuquerque NM

CONTACT: Lonnie Wright
 PHONE: 440-3039
 ZIP CODE: 87112

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION
- ☐ CLOMR/LOMR
- ☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

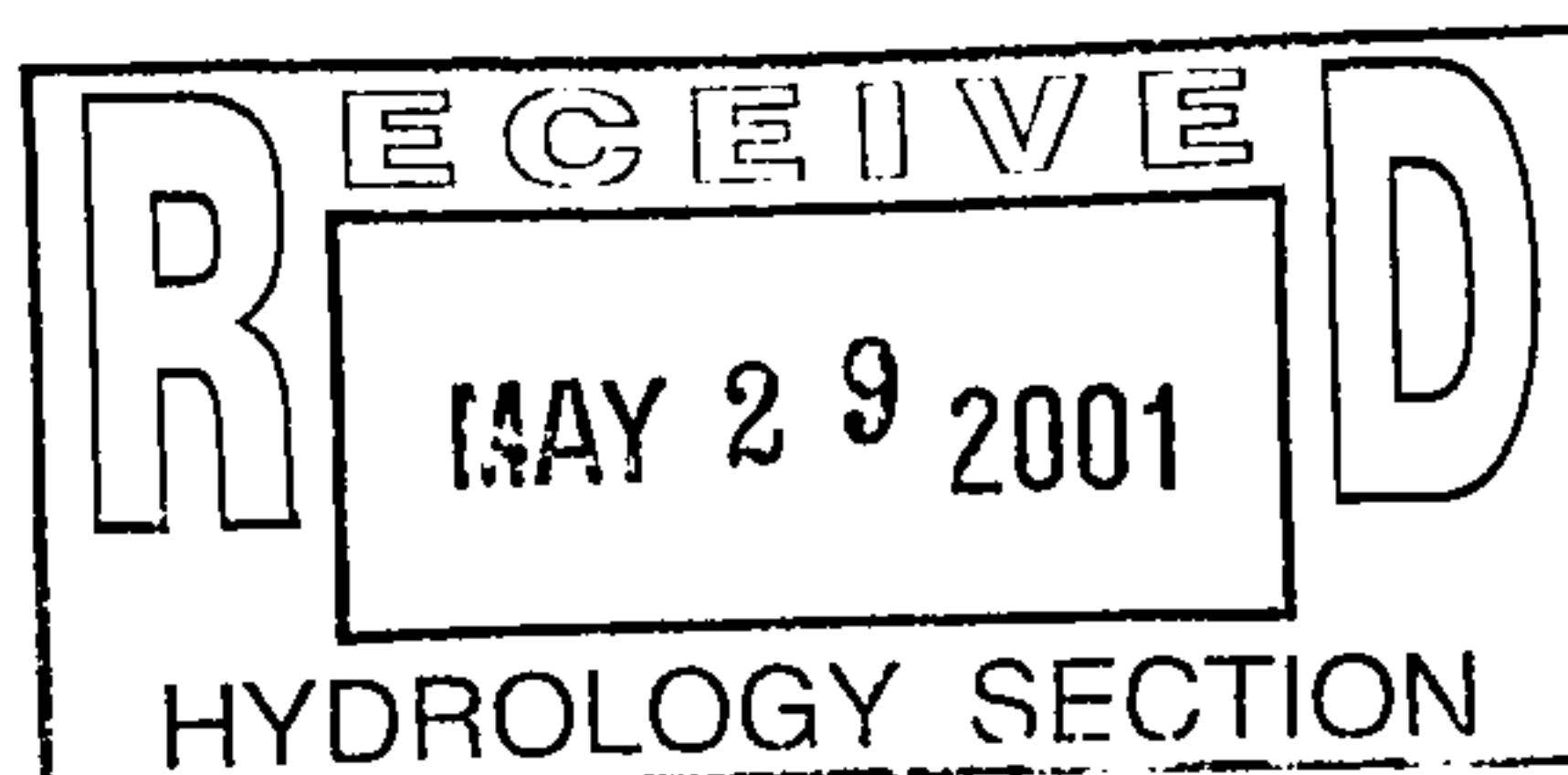
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

DATE SUBMITTED: May 29, 2001 BY: Frank D. Lovelady

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE

PERMIT FOR EXCAVATION, CONSTRUCTION AND BARRICADING

5/23/01
 COH. SDM. *Matt Pili*
 OK

CONTRACTOR
 LICENSE
 ADDRESS

LONNY WRIGHT CONSTR.

8A08
 P.O. BOX 207
 EDGEWOOD, NM 87015

248 MURIEL ST NE

PERMIT NUMBER
 PROJECT NUMBER
 PERMIT ISSUE DATE
 BARRICADED BY

2045149

 05/15/2001

BLUE STAKE
 PAVING BY

0642
 CON

EXCAVATION 443008-5810000
 SIDEWALK 443012-5810000
 DRIVEPAD 443011-5810000
 CURB/GUTTER 443010-5810000
 BARRICADING 443009-5810000
 RESTORATION 443017-5810000

42.00 EX
 0.00 SW
 0.00 DP
 0.00 CB
 25.00 BR
 0.00 RE

TOTAL FEE

67.00

PERMIT AND DETOUR PLAN COMMENTS

SD#19: LETTER ON FILE

START DATE

COMPLETION DATE

PERMIT EXPIRES

INSURANCE EXPIRES

FOND EXPIRES

ZONE ATLAS

05/15/2001

05/25/2001

05/23/2001

07/31/2001

City of Albuquerque
 Treasury Division

12/31/2001

VOID UNTIL VALIDATED BY CITY TREASURER

APPLICANT

ISSUED BY

RECEIPT# 00013151-00013151

PERMIT# 2045149

IRSJHS

TOTAL FEE

\$67.00

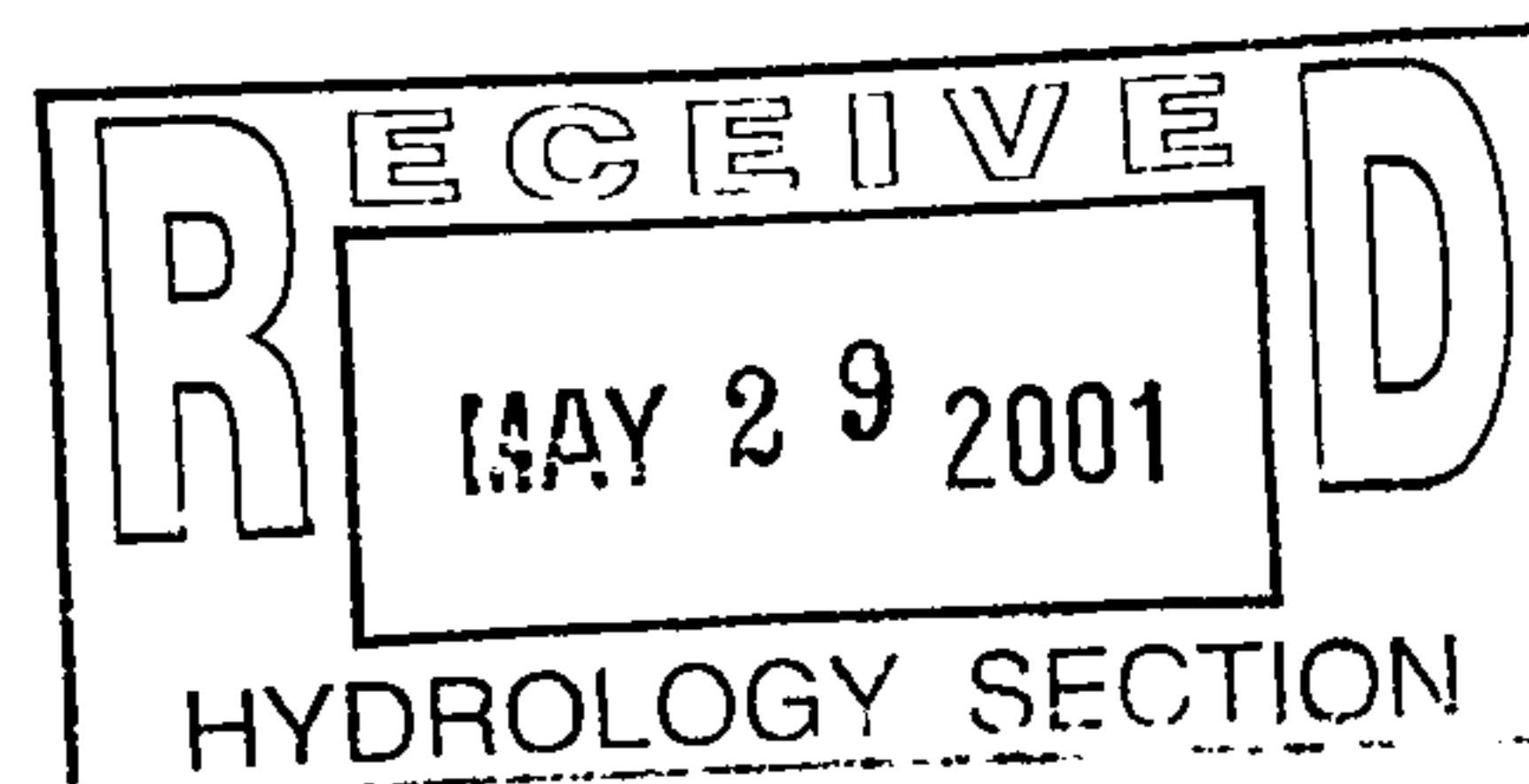
Excavation

\$42.00

\$25.00

PERMITTEE AGREES TO ASSUME ALL LIABILITY, INCLUDING DEMNIFYING, DEFENDING AND HOLDING THE CITY HARMLESS FOR ALL DAMAGES OR INJURY TO PERSONS OR PROPERTY RESULTING FROM PERMITTEE'S EXCAVATION AND/OR BARRICADE WORK. THIS PERMIT IS GRANTED IN CONSIDERATION OF PERMITTEE'S ASSUMING SAID LIABILITY AND IS APPROVED FOR THE WORK DESCRIBED ABOVE. IN ACCORDANCE WITH SECTION 6-5-2-1 ET SEQ. R.O. (1994), PERMITTEE AGREES TO COMPLY WITH ALL APPLICABLE CITY RULES, REGULATIONS AND ORDINANCES, AND WHEN EXCAVATING, TO PATCH OR PLATE PRIOR TO OPENING TO TRAFFIC IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS AND ORDINANCES. PLEASE CALL 768-2551 FOR ADDITIONAL INFORMATION.

CAUTION: PROTECT UNDERGROUND UTILITIES CALL 280.1000 48 HOURS IN ADVANCE FOR LINE DRAINING.



PRIVATE DRAINAGE EASEMENT

Grant of Private Drainage Easement, between LONNIE WRIGHT (Const-Fix) ("Grantor"), whose address is 250 MANUEL DE, and LONNIE WRIGHT CONST ("Grantee"), whose address is 248 MANUEL.

Grantor, whose property legal description is LOT 14 BLK 18 EAST CENTRAL BUSINESS addition, grants to Grantee, whose property legal description is LOT 13 BLK 18 EAST CENTRAL BUSINESS addition, an exclusive, permanent private drainage easement ("Easement") in, over, upon and across the real property ("Property") for the exclusive purpose of cross lot drainage of said Property.

Grantor covenants and warrants that Grantor is the owner in fee simple of the Property, that Grantor has a good lawful right to convey the Property or any part thereof and that Grantor will forever warrant and defend the title to the Property against all claims from all persons or entities.

The grant and other provisions of this Easement constitute covenants running with the Property for the benefit of its successors and assigns until terminated.

This Easement shall not be effective until signed by both Property owners in the signature blocks below.

WITNESS my hand and seal this 16th day of July, 2001.

GRANTOR:

Lonnie Wright
(Property owner)

GRANTEE:

Loni Wright
(Property owner)

INDIVIDUALS

STATE OF New Mexico

COUNTY OF Bernalillo

This instrument was acknowledged before me on 16th day of July, 2001, by Lonnie Wright.

Heidi C. Chester
Notary Public

My Commission Expires:

March 19, 2003



OFFICIAL SEAL

HEIDI C. CHESTER

NOTARY PUBLIC - STATE OF NEW MEXICO

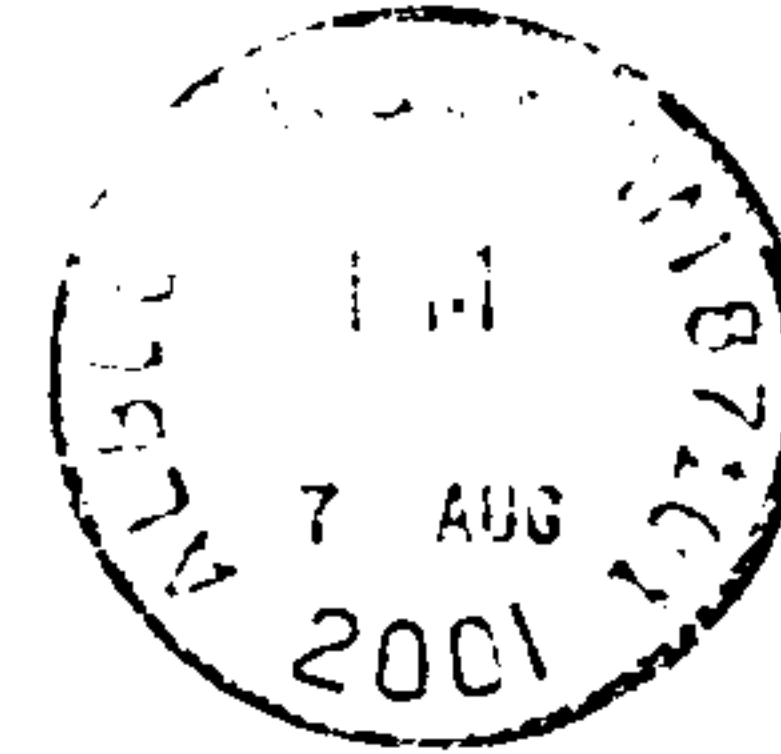
Notary Bond Filed with Secretary of State

My Commission Expires 3-19-03

LONNIE WRIGHT CONSTRUCTION CO., INC.

P.O. Box 2790

Moriarty, NM 87035



CITY of ALB
Public Works Dept
Hydrology section
600 2nd ST NW
Plaza Del Sol Bldg

Attn: Theresa Martin

87102

87102+2265





**City of Albuquerque
Public Works Department
Hydrology Section**

To: JOEY WRIGHT

At: 248 MURIEL NE

City: ALBUQUERQUE

State: NEW MEXICO

Fax No. (505) 291-8879

Number of pages: 2

Date: 6-11-01 Time: 11:25

From: TERESA MARTIN
Hydrology Section
Public Works Department
Phone No. (505) 924-3981
Fax No. (505) 924-3864

Comments:

COPY OF CROSS-LOT DRAINAGE EASEMENT.
PLEASE REVIEW, COMPLETE FORM, SIGN + NOTARIZE,
THEN RETURN.

ANY QUESTIONS?

TERESA
924-3981

PRIVATE DRAINAGE EASEMENT

Grant of Private Drainage Easement, between _____ ("Grantor"),
whose address is _____, and _____
("Grantee"), whose address is _____.

Grantor, whose property legal description is _____,
_____, grants to Grantee, whose property legal
description is _____, an
exclusive, permanent private drainage easement ("Easement") in, over, upon and across the real property
("Property") for the exclusive purpose of cross lot drainage of said Property.

Grantor covenants and warrants that Grantor is the owner in fee simple of the Property, that Grantor has a good lawful right to convey the Property or any part thereof and that Grantor will forever warrant and defend the title to the Property against all claims from all persons or entities.

The grant and other provisions of this Easement constitute covenants running with the Property for the benefit of its successors and assigns until terminated.

This Easement shall not be effective until signed by both Property owners in the signature blocks below.

WITNESS my hand and seal this _____ day of _____, 20____.

GRANTOR:

(Property owner)

GRANTEE:

(Property owner)

INDIVIDUALS

STATE OF _____)
)ss
COUNTY OF _____)

This instrument was acknowledged before me on _____ day of _____, 20____,
by _____.

Notary Public

My Commission Expires:

PERMANENT EASEMENT

Grant of Permanent Easement, between _____ ("Grantor"), whose address is _____ and the City of Albuquerque, a New Mexico municipal corporation ("City"), whose address is P.O. Box 1293, Albuquerque, New Mexico, 87103.

Grantor grants to the City an exclusive, permanent easement ("Easement") in, over, upon and across the real property described on Exhibit "A" attached hereto ("Property") for the construction, installation, maintenance, repair, modification, replacement and operation of _____, together with the right to remove trees, bushes, undergrowth and any other obstacles upon the Property if the City determines they interfere with the appropriate use of this Easement.

In the event Grantor constructs any improvements ("Improvements") within the Easement, the City has the right to enter upon Grantors property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If the Work effects any Improvements or encroachments made by the Grantor, the City will not be financially or otherwise responsible for rebuilding or repairing the Improvements or encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or encroachments, the Grantor shall, at its own expense, take whatever protective measures are required to safeguard the Improvements or encroachments.

Grantor covenants and warrants that Grantor is the owner in fee simple of the Property, that Grantor has a good lawful right to convey the Property or any part thereof and that Grantor will forever warrant and defend the title to the Property against all claims from all persons or entities.

The grant and other provisions of this Easement constitute covenants running with the Property for the benefit of the City and its successors and assigns until terminated.

This Easement shall not be effective until approved by the City Engineer in the signature block below.

WITNESS my hand and seal this _____ day of _____, 20____.

APPROVED:

City Engineer

Dated

GRANTOR:

(Individual)

GRANTOR:

By: _____
Its: _____
(Corporation or Partnership)

INDIVIDUAL

STATE OF _____)
COUNTY OF _____)ss

This instrument was acknowledged before me on ____ day of _____, 20____, by
_____.

Notary Public

My Commission Expires:

CORPORATION

STATE OF _____)
COUNTY OF _____)ss

This instrument was acknowledged before me on ____ day of _____, 20____, by

Of _____, a _____ corporation, on behalf of the corporation.

Notary Public

My Commission Expires:

PARTNERSHIP

STATE OF _____)
COUNTY OF _____)

This instrument was acknowledged before me on ____ day of _____, 20____, by
_____, partner(s), on behalf of _____, a partnership.

Notary Public

My Commission Expires:

(EXHIBIT "A" ATTACHED)



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
August 2, 2000

Frank Lovelady, P.E.
Lovelady & Associates
300 Alamosa NW
Albuquerque, NM 87107

***RE: CONSTRUCTION OFFICE/STORAGE (K21-D30). GRADING AND DRAINAGE
PLAN FOR FOUNDATION PERMIT, BUILDING PERMIT, AND SO#19 PERMIT
APPROVALS. ENGINEER'S STAMP DATED JULY 18, 2000.***

Dear Mr. Lovelady:

Based on the information provided on your July 21, 2000 resubmittal, the above referenced project is approved for Foundation, Building, and SO#19 Permits Again, note that only the Inspector's signature is now required on the SO#19 Permit.

This is the Lonnie Wright Building at 248 Muriel NE.

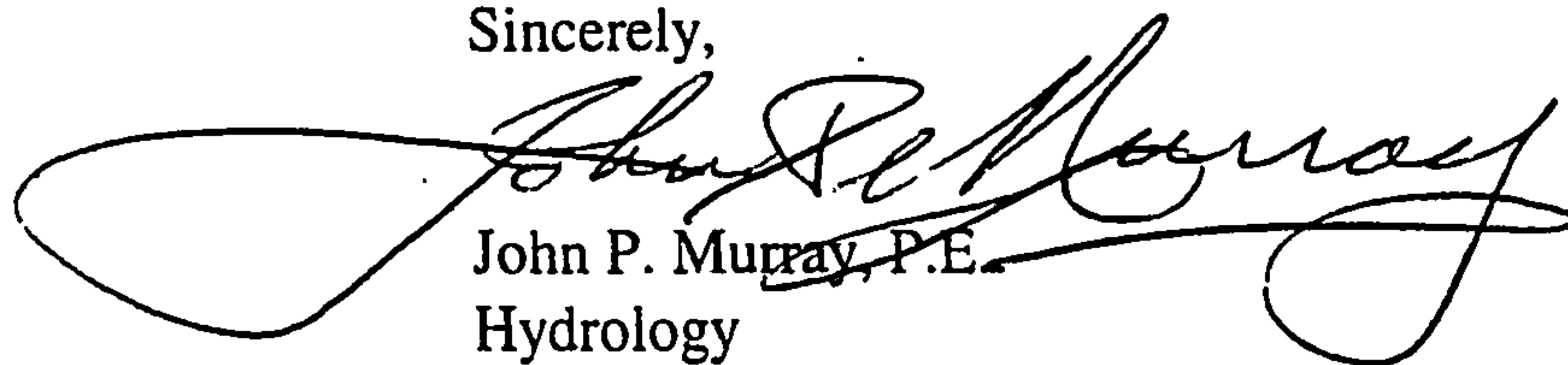
Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit is required for construction within the City right-of-way, A copy of this approval letter must be on hand when applying for the excavation permit.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: Pam Lujan
Whitney Reiersen
✓ File

PUBLIC WORKS DEPARTMENT

AUGUST 2, 2000

INTEROFFICE CORRESPONDENCE

HYDROLOGY DIVISION

✓ TO: Pam Lujan, Permits

FROM:  John Murray, Hydrology, PWD

SUBJECT: **PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHT-OF-WAY
DRAINAGE FILE NUMBER (K21-D30). 248 MURIEL NE**

Transmitted herewith is a copy of the approved drainage plan for the referenced project incorporating the SO #19 design.

This plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed off SO #19 is required by this office for Certificate of Occupancy release; therefore your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation and if you should have any questions and/or comments, please feel free to call me at 924-3984.

Attachment

APPLICANT'S NAME: LONNIE WRIGHT CONSTRUCTION
CONST. OFFICE/STO. BLDG. ZONE ATLAS/DRNG. FILE #: K-21/D 030

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 13, BLOCK 18 EAST CENTRAL BUSINESS ADDITION

CITY ADDRESS: 248 MURIEL ST. NE

ENGINEERING FIRM: FRANK LOVELADY, PE CONTACT: FRANK LOVELADY

ADDRESS: 300 ALAMOSANW 87107 PHONE: 345-2267

OWNER: LONNIE WRIGHT CONSTRUCTION CONTACT: LONNIE WRIGHT

ADDRESS: 252 MURIEL NE 87123 PHONE: 344-9444

ARCHITECT: RICK BENNETT, ARCHITECT CONTACT: RICK BENNETT

ADDRESS: 1118 PARK AVE SW 87102 PHONE: 242-1859

SURVEYOR: HARRIS SURVEYING CO. CONTACT: TONY HARRIS

ADDRESS: 2412 MONROE NE PHONE: 889-8056

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER _____

PRE-DESIGN MEETING:

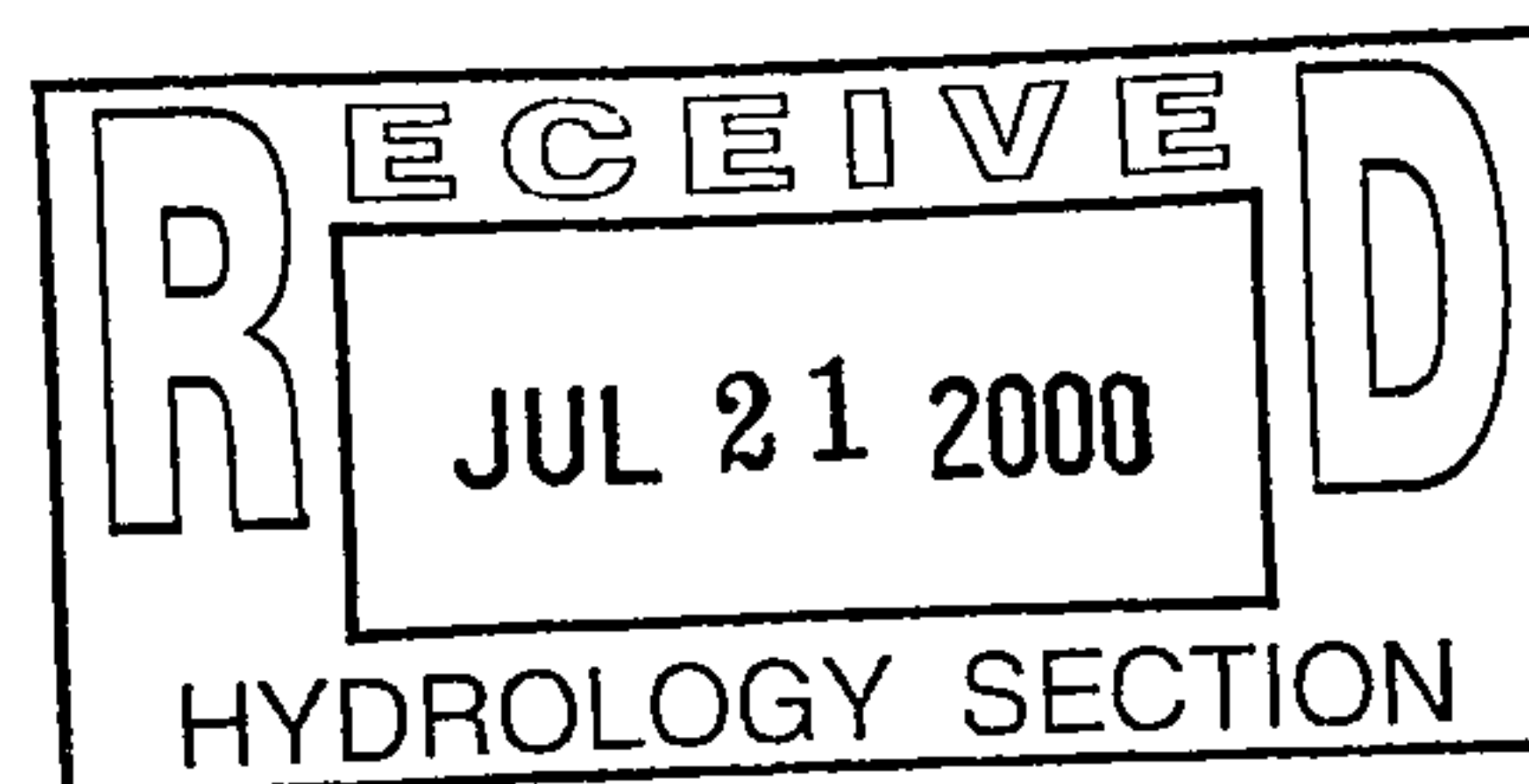
- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ SUBDIVISION CERTIFICATION
- ☒ OTHER S.D. 19 (SPECIFY)

DATE SUBMITTED: July 21, 2000

BY: Frank D. Lovelady





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 2, 2000

Frank Lovelady, P.E.
Lovelady & Associates
300 Alamosa NW
Albuquerque, NM 87107

***RE: CONSTRUCTION OFFICE/STORAGE (K21-D30). GRADING AND DRAINAGE
PLAN FOR FOUNDATION PERMIT, BUILDING PERMIT, AND SO#19 PERMIT
APPROVALS. ENGINEER'S STAMP DATED MAY 17, 2000.***

Dear Mr. Lovelady:

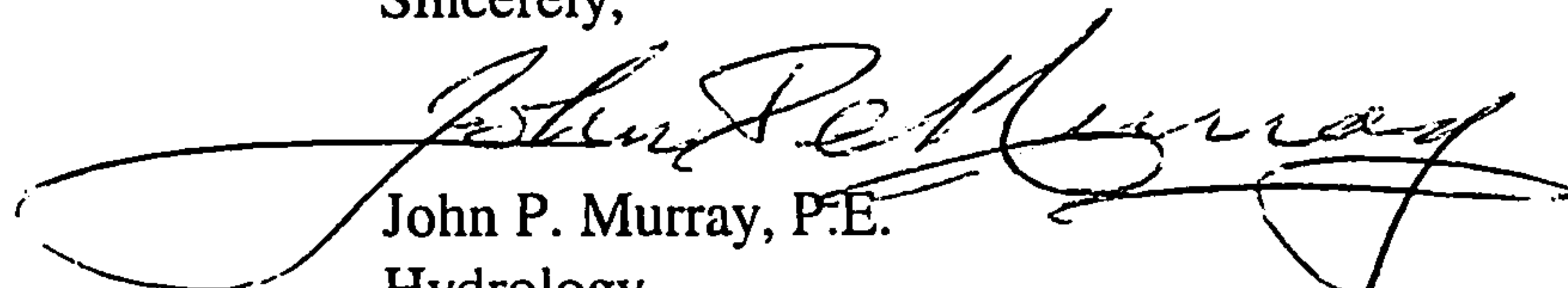
Based on the information provided on your May 18, 2000 submittal, the above referenced project is approved for Foundation, Building, and SO#19 Permits. Note that Building Permit also covers Grading and Foundation Permits. Revised procedures for the SO#19 - required for pipe drain through sidewalk - now require only the Inspector's signature following completion of construction. (See enclosed.).

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: Pam Lujan
D. Salas, St. Maint.
Whitney Reiersen
✓ File

PUBLIC WORKS DEPARTMENT

JUNE 5, 2000

INTEROFFICE CORRESPONDENCE

HYDROLOGY DIVISION

TO: Desiderio Salas, Street Maintenance Division

FROM:  John Murray, Hydrology, PWD

SUBJECT: **PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHT-OF-WAY
DRAINAGE FILE NUMBER (K21-D30).**

Transmitted herewith is a copy of the approved drainage plan for the referenced project incorporating the SO #19 design.

This plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed off SO #19 is required by this office for Certificate of Occupancy release; therefore your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation and if you should have any questions and/or comments, please feel free to call me at 924-3984.

Attachment

PUBLIC WORKS DEPARTMENT

JUNE 5, 2000

INTEROFFICE CORRESPONDENCE

HYDROLOGY DIVISION

TO: Desiderio Salas, Street Maintenance Division

FROM:  John Murray, Hydrology, PWD

SUBJECT: **PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHT-OF-WAY
DRAINAGE FILE NUMBER (K21-D30).**

Transmitted herewith is a copy of the approved drainage plan for the referenced project incorporating the SO #19 design.

This plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed off SO #19 is required by this office for Certificate of Occupancy release; therefore your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation and if you should have any questions and/or comments, please feel free to call me at 924-3984.

Attachment



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

June 7, 2000

Richard P. Bennett, Registered. Arch.,
Rick Bennett Architect
1118 Park Avenue S.W.
Albuquerque, New Mexico 87102

Re: T.C.L. submittal for building permit approval for Lonnie Wright Construction, 248 Muriel N.E.,
East Central Business Addition, Block 18, Lot 13, [K21/D030], Architect's stamp not dated.

Dear Mr. Bennett,

The location referenced above is not acceptable and requires modification to the Traffic Circulation Layout (T.C.L.) prior to Building Permit release as stated on the attached written comments and red-lined T.C.L. markup.

Please resubmit revised T.C.L. after addressing typed and marked up comments.
Submit Plan along with typed comments and all red-lined, mark-up copies.

Sincerely,

Mike Zamora,
Commercial Plan Checker

cc:
Engineer
Hydrology File
Office File

Written Comments: File # K-21 / D030

6/7/2000

- T.C.L.(Site Plan) must be stamped, signed and dated, for each submittal.
- Place a note on the plan stating the following:

"An as-built copy of the approved TCL must be submitted by the designer-of-record, as required by Transportation Development, including a letter of certification that the site has been constructed in accordance with the TCL. Verification of TCL acceptability(which may include random site visit) will be made before a Final Certificate of Occupancy is issued." Please call this office to obtain temporary C.O.
- Contractor selected must be made aware, by note on TCL, that any agreement with the owner, stating that any portions of permit construction, chosen to be completed by the owner, or his selected representative, other than that contractor, will most likely result in delay. Therefore, if this applies, Certificate of Occupancy will not be issued **until all work is finished.**
- The responsibility for errors on the site plan and subsequent unauthorized field changes must be specified on the TCL, in bold type, as follows:

"The responsible Party must rectify all unapproved construction resulting from errors on the approved TCL." and
"This TCL has been approved and accepted by all parties. Any field changes not accepted by Traffic Engineer, after approval for building permit, will result in:
(1) Untimely delay of certification for final Certificate of Occupancy in order to correct unapproved work, and
(2) increase in construction cost to responsible parties."
- Existing street sidewalk and C&G affecting safe vehicular or pedestrian travel will be removed and replaced, note on TCL. _Show and label property lines and right-of-way lines. _The sidewalk must be in City property. Verify sidewalk / R/W line location--if plan is accurate pedestrian access easement will need to be filed with the County Clerk's office and a copy of easement will be needed for this office's files. _Need to see that all existing obstacles in City right-of-way, in existing sidewalks, have been picked up.
- The City of Albuquerque requires building protection which consists of a minim.: ① 3' wide, 6" high raised concrete walk, ② 2' minim. width concrete curbed buffer or ③ 4" to 6" diameter concrete-filled bollards, if acceptable, adjacent to parking lot surface.
- Direction of North arrow on TCL is not clear. _Check scales.
- Label 6" high concrete curb, and type (or show detail labelled "typical"), at each individual location or call out double-line style (or equivalent) linework, used to designate curbing, as "typical". _At the rear of the site curbing is needed, as shown or equal.
- Clearly indicate transition from one type of surface to the other on TCL, for example ramps, concrete/ asphalt, landscape/concrete, etc. Label each area or stipple to show varying surfaces, using a legend.
- Because of the preliminary nature of the new review process, if Zoning has not seen this layout prior to this review, any requirements by Zoning at time of their review, altering the parking layout, will void approval of TCL and new review will be needed.
- H.C. access aisles need to be diagonally hatched, show this area, with hatching. _Hatch out area at refuse enclosure as shown, from end of stall to P.C. of curve of curb.
- Drivepad is too close to the north property line, agreement needed with neighbor.
- Need to know what size vehicle will be largest to use site. _Minim.30' wide drive aisle needed along service truck route. _Accurately show overhead door and dimension.
- Label asphalt and thickness of parking surface per city std. or refer to a detail which illustrates the proposed method of paving and states it's equivalency to standard asphalt surfacing.
- All Civil Sheets (Drainage Plan and TCL & details) must be together at front of plan set.
- New and existing elements noted on the TCL must be shown, labelled, and dimensioned correctly and accurately, this includes street curb & gutter, drive aisle, walls & fences at property line(including heights at drivepads, if applicable), and all curbing. _Area at the rear must be fenced off or curbed per DPM.
- Linework on Drainage Plan and Landscape Plan must match TCL exactly. If minor changes are acceptable to Hydrology, call out on TCL: INSPECTION OF CONSTRUCTION FOR C.O. FOR TRANSPORTATION WILL BE DONE FROM THIS SHEET.

CONSTRUCTION OFFICE / STORAGE

APPLICANT'S NAME: 030
LONNIE WRIGHT CONSTRUCTION ZONE ATLAS/DRNG. FILE #: K-21 - D-0719

ORB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 13, BLOCK 18, EAST CENTRAL BUSINESS ADDITION

PROPERTY ADDRESS: 248 MURIEL ST. NE

ENGINEERING FIRM: FRANK D. LOVELADY CONTACT: FRANK LOVELADY

ADDRESS: 300 ALAMOSA NW 87107 PHONE: 345-2267

OWNER: LONNIE WRIGHT CONSTRUCTION CONTACT: LONNIE WRIGHT

ADDRESS: 252 MURIEL NE PHONE: 291-8372

ARCHITECT: RICK BENNETT ARCHITECT CONTACT: RICK BENNETT

ADDRESS: 1118 PARK AVE SW 87102 PHONE: 242-1859

SURVEYOR: HARRIS SURVEYING CO. CONTACT: TONY HARRIS

ADDRESS: 2412 D MONROE NE PHONE: 889-8056

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER _____

PRE-DESIGN MEETING:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ SUBDIVISION CERTIFICATION
- ☒ OTHER 50#19 (SPECIFY)

DATE SUBMITTED: May 18, 2000

BY: Frank D. Lovelady

Revised 02/98

