



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 2, 2000

Gilbert Aldaz, P.E.
Applied Engineering & Surveying, Inc.
1605 Blair Drive NE
Albuquerque, NM 87112

RE: LOT 22, BLOCK 20, EAST CENTRAL (339 Muriel NE) (K21-D31). GRADING AND DRAINAGE PLAN FOR BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED MAY 12, 2000.

Dear Mr. Aldaz:

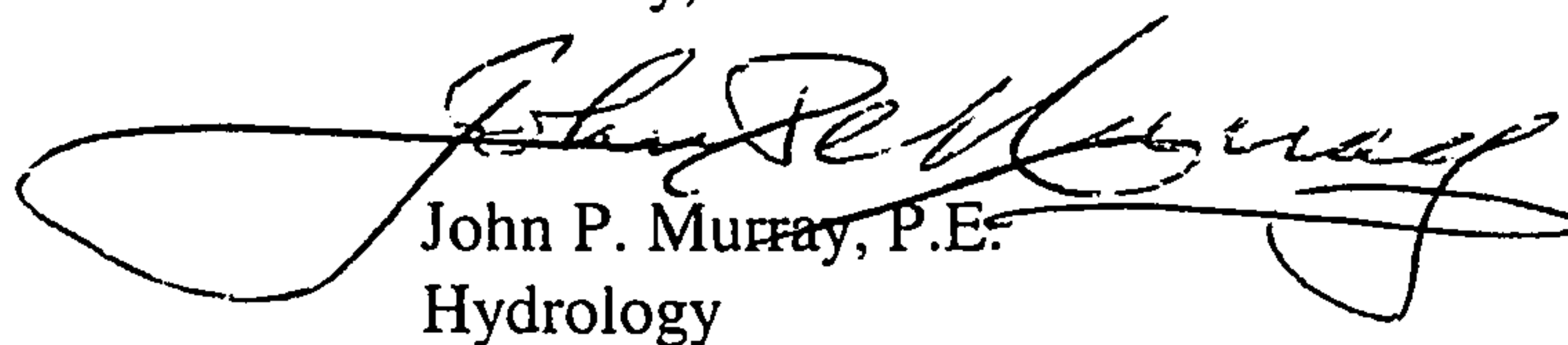
Based on the information provided on your May 24, 2000 submittal, the above referenced project is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Note that finish floor elevation is 5525.90 not 5425.90 as shown on this sbmittal.

Prior to Certificate of Occupany Approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: Whitney Reiersen
✓ File

GUADALUPE ARCHITECTS
David Weatherman ♦ Architect
5961 Guadalupe Trail NW
Albuquerque, New Mexico 87107
505-343-9305

MAY 17, 2000

CITY of ALBUQUERQUE
TRANSPORTATION DEPT

RE: SUBMITTAL of SITE PLAN &
GRADING / DRAINAGE PLAN
339 MURIEL NE.
ALBUQUERQUE NM.

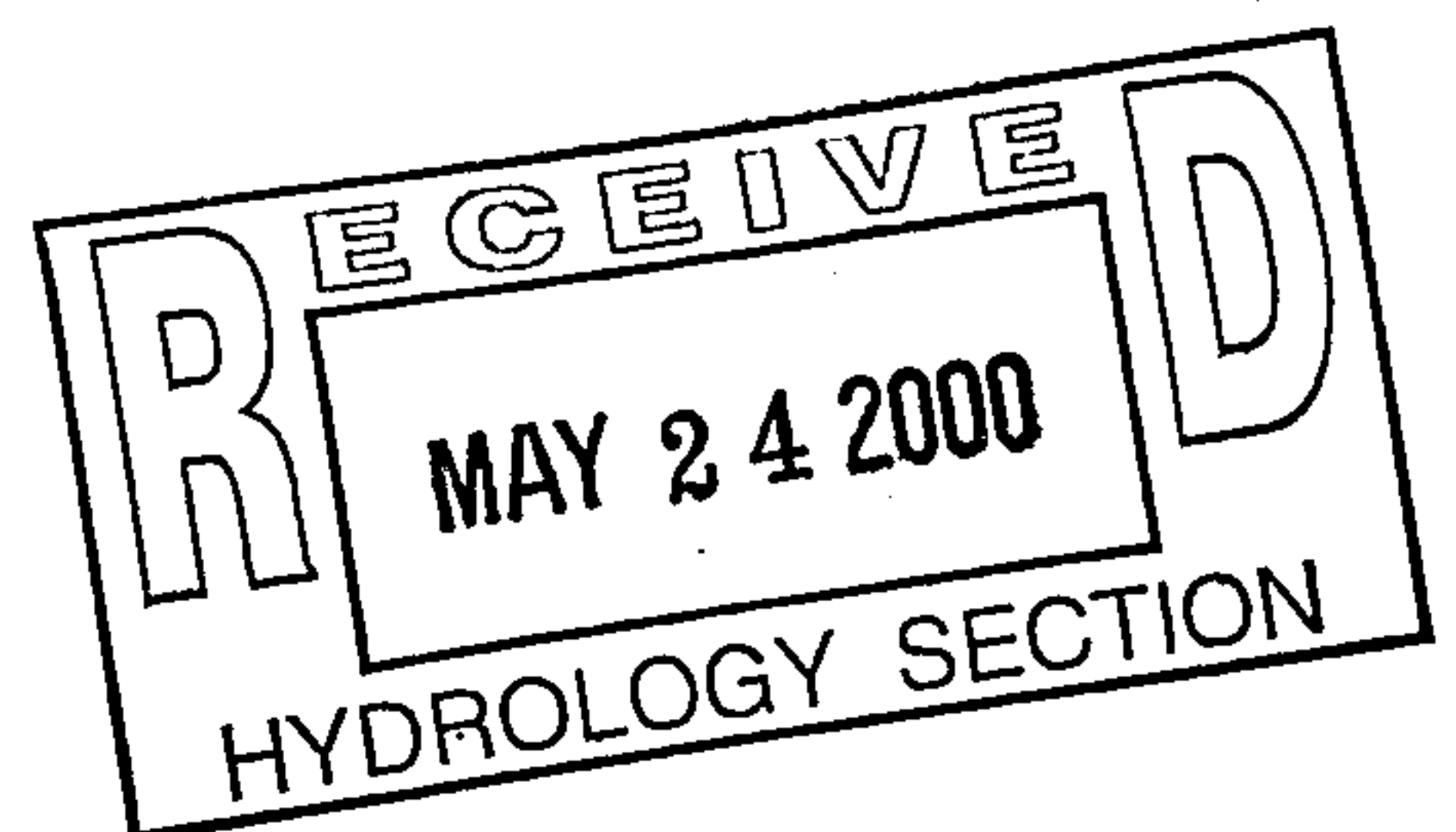
DEAR SIRs:

PLEASE FIND THE SUBMITTAL
for REVIEW & APPROVAL for THE
ABOVE REFERENCED SITE. PLEASE
ADDRESS ALL COMMENTS TO THE
ARCHITECT REFERENCED ABOVE.
THANK YOU

SINCERELY

David Weatherman R.A.

DAVID WEATHERMAN R.A.



DRAINAGE INFORMATION SHEET

PROJECT TITLE: Lot 22, Block 20 East Central ZONE ATLAS/DRNG. FILE #: K-21 / D031

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 22, Block 20, East Central Business

CITY ADDRESS: _____

ENGINEERING FIRM: Applied Engr & Survey CONTACT: Gilbert Aldaz

ADDRESS: 1605 Blair Dr NE PHONE: 237-1456

OWNER: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: Guadalupe Architect CONTACT: David Weatherman

ADDRESS: _____ PHONE: 343-9305

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER _____

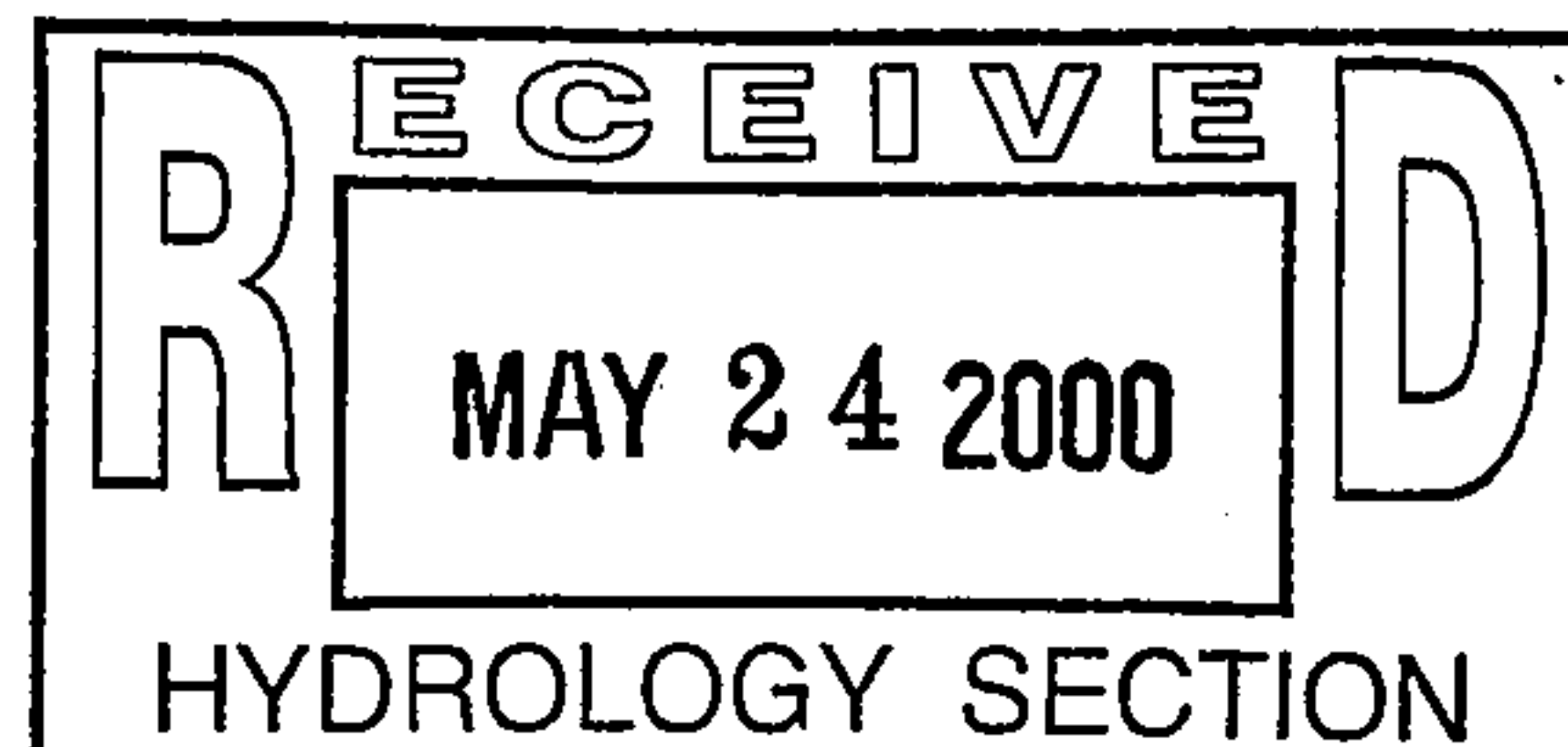
PRE-DESIGN MEETING:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☒ OTHER TCL (SPECIFY)

DATE SUBMITTED: 05-12-00
BY: Gilbert Aldaz



55 25
≡

6/1/00
JL



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Public Works Department
Transportation Development Services Section

June 13, 2000

David Weatherman, Registered. Arch.,
Guadalupe Architects Inc.
5961 Guadalupe Trail N.W.
Albuquerque, New Mexico 87107[?]

Re: T.C.L. submittal for building permit approval for Storage/Garage Building,,
339 Muriel St. N.E., East Central Business Subdivision, Block 20, Lot 22. [G17/ D077],
Engineer's Stamp dated 5/12/2000.

Dear Mr. Weatherman,

The location referenced above, with stamp dated May 12, 2000, is not acceptable and requires modification to the Traffic Circulation Layout (T.C.L.) prior to Building Permit release as stated on the attached written comments and red-lined T.C.L. markup.

Please resubmit revised T.C.L. after addressing typed and marked up comments.
Submit Plan along with typed comments and all red-lined, mark-up copies.

Whitney.

*This isn't in the
Log Book. Could
you please ?*

Thank you

Sincerely,

Mike Zamora,
Commercial Plan Checker

cc: Engineer
Hydrology File
Office File

- Place a note on the plan stating the following:
"An as-built copy of the approved TCL (Traffic Circulation Layout) must be submitted by the designer-of-record, as required by Transportation Development, including a letter of certification that the site has been constructed in accordance with the TCL. Verification of TCL acceptability, (including random field checks) will be made before a Final Certificate of Occupancy is issued." Please call this office to obtain temporary C.O.
- Contractor selected must be made aware, by note on TCL, that any agreement with the owner, stating that any portions of permit construction, chosen to be completed by the owner, or his selected representative, other than that contractor, will most likely result in delay. Therefore, if this applies, Certificate of Occupancy will not be issued until all work is finished. [This may apply only on churches, individual owners, etc., not McDonald's, national franchises and chains, etc.]
- The responsibility for errors on the site plan and subsequent unauthorized field changes must be specified on the TCL, in bold type, as follows:
"The responsible Party must rectify all unapproved construction resulting from errors on the approved Site Plan." and
"This Site Plan has been approved and accepted by all parties. Any field changes not accepted by Traffic Engineer, after approval for building permit, will result in:
(1) Untimely delay of certification for final Certificate of Occupancy in order to correct unapproved work, and
(2) increase in construction cost to responsible parties."
- Existing street sidewalk and C&G affecting safe vehicular or pedestrian travel will be removed and replaced. Note on TCL if conditions are not field verified.
- Need to see that all existing obstacles in City right-of-way, in existing sidewalks, have been picked up.
- Clearly indicate transition from one type of surface to the other on TCL, for example ramps, concrete/ asphalt, landscape/concrete, etc. Label each area or stipple to show varying surfaces, using a legend.
- Because of the preliminary nature of the new review process, if Zoning has not seen this layout prior to this review, any requirements by Zoning at time of their review, altering the parking layout, will void approval of TCL and new review will be needed.
- Proposed use of overhead doors on commercial sites requires that plan reviewer looks for large wheelbase (refuse/UPS) vehicle to be smallest to use doors. This site layout will not allow enough room for this condition without backing from or into street. This violates provisions in the DPM, Sect. 23.6B.8b.2 & 23.7B.8. _The route to all overhead doors must be paved per standard.
- Label - Construct new drivepad "per City of Albuquerque. Std. Detail Dwg. No. 2425."
- Label asphalt and thickness of parking surface per city std. or refer to a detail which illustrates the proposed method of paving and states it's equivalency to standard asphalt surfacing.
- Gates must be 20 feet beyond the back of sidewalk to accommodate a vehicle stopping to open or lock/unlock the gate, if gates are to be locked during business hours, also to allow unimpeded pedestrian use of sidewalk. _Gates must be 25' minim. width, (unobstructed). Dimension gate width. _Drive aisle and drivepad must line up.
- New and existing elements on the TCL must be shown, labelled, and dimensioned correctly and accurately, this includes refuse enclosure, drivepad, parking stalls(including H.C.), all landscaping, all curbing,
- Linework on Drainage Plan and Landscape Plan must match T.C.L. exactly. Confirm the acceptability of the changes in T.C.L. that are required by this office with Hydrology.
- If concrete wheel stop is used, place 18'-0" from rear of stall, use #6 rebar anchors, 18" in length.
- Safe, effective use by refuse vehicle must be approved by Solid Waste.
- For future reference, show full width of all streets on TCL, unless shown and dimensioned on Grading and Drainage Plan, to include: (1) median and opening, if it exists (including any left turn lanes into this site). Without medians show traffic lanes up to and including middle turn lane. (2) all existing/new standard curb and gutter.
- The City of Albuquerque requires building protection which consists of a minim.: ① 3' wide, 6" high raised concrete walk, ② 2' minim. width concrete curbed buffer or ③ 4" to 6" diameter concrete-filled bollards, if acceptable, adjacent to parking lot surface.