



PANEL 0359F ERNALILLO COUNTY NEW MEXICO WEL 359 OF 825 ENGINEER CERTIFICATION FOR (K21-D32)

T.B.M. TOP OF CURB PROJECTION OF NORTH PROPERTY LINE ELEV. 5527.20___ 24" SIDEWALK CULVERT_ PER C.O.A. STD 2236 **EXISTING BUILDING** N 89°49'00" E 140.00' CONCRETE SIDEWALK COMMERCIAL BULDING FINISH FLOOR ELEV. 5530.50 __LANDSCAPE AREA ISLOPE CONCRETE AT 1/8 " PER FOOT TOWARDS INLET PER CHAPTER 22, SECTION 9, TABLE 1 DPM SEE ARCHITECTS UTILITY PLAN FOR CONNECTION I EUFRACIO SEBAY NMPE # 6790, OF THE FIRM BJM CONSULTING HEREBY CERTIFY THAT THE PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/05/2006. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DRIVEPAD PER CITY EXISTING SEWER LINE STD. NO. 2425 CONCRETE SIDEWALK

GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING LOTS 11 AND 12, BLOCK 18, EAST CENTRAL BUSINESS ADDITION (236 MURIEL AVENUE N.E.) ARE CONTAINED

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE PROJECT CONTAINS 0.3214 ACRES MORE OR LESS, AND IS LOCATED SOUTH OF THE INTERSECTION OF BUENA VISTA ROAD N.E AND MURIEL AVENUE N.E. ON THE EAST SIDE OF MURIEL AVE. N.E.. THERE IS AN EXISTING 480 SQ. FT. SHED THAT WILL BE REMOVED. THE SITE SLOPES FROM EAST TO WEST. ACCORDING TO THE FLOOD INSURANCE RATE MAPS, PANEL 0359F, REVISED NOVEMBER 19, 2003, THIS SITE DOES NOT LOCATED WITHIN A DESIGNATED FLLOD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF A 5000 SQ. FT. BUILDING ALONG WITH ASSOCIATED PAVED PARKING AND LANDSCAPED AREAS. THE SITE IS DESIGNED TO DRAIN WEST ONTO MURIEL AVE. N.E.. THE ROOF HAS A RIDGE LINE WHICH WILL DRAIN THE NORTH PORTION ONTO A THREE FOOT CONCRETE TROUGH AND THROUGH A 2 FOOT SIDEWALK CULVERT INTO MURIEL AVE. THE SOUTH SIDE WILL DRAIN ONTO THE PAVED PARKING AREA. AND OUT TO MURIEL AVE. N.E. THIS SITE IS IN AN INFILL AREA WITH EXISTING DEVELOPMENT ALL AROUND. NO OFF-SITE FLOWS ENTER FROM ANY DIRECTION. THE CALCULATIONS CONTAINED HEREON, ANALYZE BOTH THE EXISTING AND THE DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRES AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUEL, VOLUME II. DESIGN CRITERIA DATED 1997, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME CREATED.

PROJECT AREA = 0.3214 ac. REX LEWIS OFFICE/WAREHOUSE PROJECT

PRECIPITATION:	360 = 2.60 in. 1440 = 3.1 in. 10day = 4.9 in.	
	EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A	0.66 in.	1.87 cfs/ac.
TREATMENT B	0.92 in.	2.6 cfs/ac.
TREATMENT C	1.29 in.	3.45 cfs/ac.
TREATMENT D	2.36 in.	5.02 cfs/ac.
	EXISTING CONDITIONS:	PROPOSED CONDITIONS
TREATMENT A	0 ac.	0 ac.
TREATMENT B		0.0525 ac.
TREATMENT C		0 ac.
TREATMENT D	0 ac.	0.2689 ac.

EXISTING EXCESS PRECIPITATION:

Weighted E = $(0.66) \times (0.00) + (0.92) \times (0.00) + (1.29) \times (0.32) + (2.36) \times (0.00) / 0.32$ ac. V100-360 = (1.29)x(0.32)/12 = 0.034551 ac-ft = 1505 cf

EXISTING PEAK DISCHARGE:

Q100 = (1.87)x(0.00)+(2.60)x(0.00)+(3.45)x(0.32)+(5.02)x(0.00)=1.11 CFS PROPOSED EXCESS PRECIPITATION:

Weighted E = $(0.66) \times (0.00) + (0.92) \times (0.05) + (1.29) \times (0.00) + (2.36) \times (0.27) / 0.32$ ac. V100-360 = (2.12)x(0.32)/12.0 = 0.056909 ac-ft = 2479 CF

 $V100-1440 = (0.06) + (0.27) \times (3.10 - 2.60) / 12 = 0.068113 \text{ ac-ft} = 2967 \text{ CF}$ V100-10day = (0.06)+(0.27)x(4.90-2.60)/12 = 0.108448 ac-ft = 4724 CF PROPOSED PEAK DISCHARGE:

Q100 = (1.87)x(0.00)+(2.60)x(0.05)+(3.45)x(0.00)+(5.02)x(0.27)=1.49 CFS INCREASE 1.49 CFS - 1.11 CFS = 0.38 CFS

- (1) PROPERTY LINE
- 2) UNDISTRUBED AREA BETWEEN NEW BUILDING AND PROPERTY LINE
- 3 NEW BUILDING
- (4) THREE FOOT CONCRETE TROUGH
- (5) ROOF DRAINS TO TROUGH AREA

	APPROVAL	NAME	DATE	TITLE: REX LEWIS
	INSPECTOR			OFFICE/WAREHOUSE MAP NO. L21
1 2 2 -2'-0'6'		FIN FLR		
		JONESPEC*	FLOOR D HEAVY-DUTY R - Recommender for h - Consists of a PX a Complete with a cit Buty Mocal No. 102558496 102258496 102258496	DJUSTABLE FLOOR DRAIN any vehicles or industrial applications. ASS body with steed-framedod frames. ASS body with steed-framedod frames. I bon damp col as, threety sears and heavy-day grays. Drawstars h biover host Drawstars h biover host Pol
TROUGH DETAIL NTS		CCNGCTION	## ## ## ## ## ## ## ## ## ## ## ## ##	T S

CURB AT CONCRETE WALK

NOTE TO CONTRACTOR:

DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST ON MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR RELEASE OF A CERTIFICATE OF OCCUPANCY

AS-BUILT DESIGNATION

An excavation/construction permit will be required before beginning any work within the City right—of—way. Approved copy of this plan must be submitted at the time of application for permit.

- 2. All work detailed in this plan to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Standard Specification for Public Works Construction, 1986 edition as revised through update #7 amendment 1
- 3. Two working days prior to any excavation, contractor must contact line locating Services (260—1990) for locating existing sub—surface
- 4. Prior to construction, the contractor shall excavate and verify the horizonal and vertical location of all potential constructions; Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay to the subject project.
- 5. Backfill compaction shall be according to Traffic/Street use.
- 6. Maintenance of this facilities shall be the responsibility of the owner of the property it serves
- 7. Work on arterial streets shall be performed on a 24-hour basis.

EROSION CONTROL MEASURES

- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION, HE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE
- A) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
- B) ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
- 2. THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

LEGAL DESCRIPTION

LOT 11A, BLOCK 18

NTS

NOTE: CURBING SAME SPECS. A

(NO SIDEWALK)

3,000 PSI PCC, PROVIDE

EAST CENTRAL BUSINESS ADDITION CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO.

HAVING AN ELEVATION OF 5537.22 NAVD 88

3.6000 --

16,2000

0 5' 10' 20'

-34,2000-

REFUSE BIN ENCLOSURE PLAN

CONTRACTOR SHALL COORDINATE INSPECTIONS WITH CITY SOLID WASTE DEPARTMENT AS REQUIRED.

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "1-L21R",

--|10.8000|--18.0000-

CHAIN-LINK GATES MTD.
ON BOLLARDS, WITH 1/2"
DIA. STEEL CANE BOLTS-

6" CONC. APRON, 4000 PSI, 3/4" AGG. WITH \$x6-10/10 WWF FLUSH WITH ADJACENT PAVEMENT

SYMBOL LEGEND — 😞 5520 — — — EXISTING CONTOUR

BENCHMARK:

EXISTING SPOT ELEVATION DESIGN CONTOUR PROPOSED SPOT ELEVATION PROPERTY LINE ______ EASEMENT LINE FLOW DIRECTION

DOWN SPOUT

EXISTING SPOT ELEVATION

ABBREVIATION LEGEND TOP OF CONC PAD TOP OF CURB TOP OF ASPHALT TOP OF BERM – TB BOTTOM OF POND FINISHED FLOOR – FF TOP OF CONCRETE = BACK OF CURB
= DRIVECUT
= DRAINAGE INLET
= EDGE OF ASPHALT
= EDGE OF CONCRETE
= FLOW LINE
= FENCE POST
= GROUND
= HIGH POINT

GRADING & DRAINAGE PLAN

Scale |"=20'-0"



DATE: SEPTEMBER 2006 REVISIONS 10/05/2006

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APR 64 ZUU8

HYDROLOGY **SECTION**



