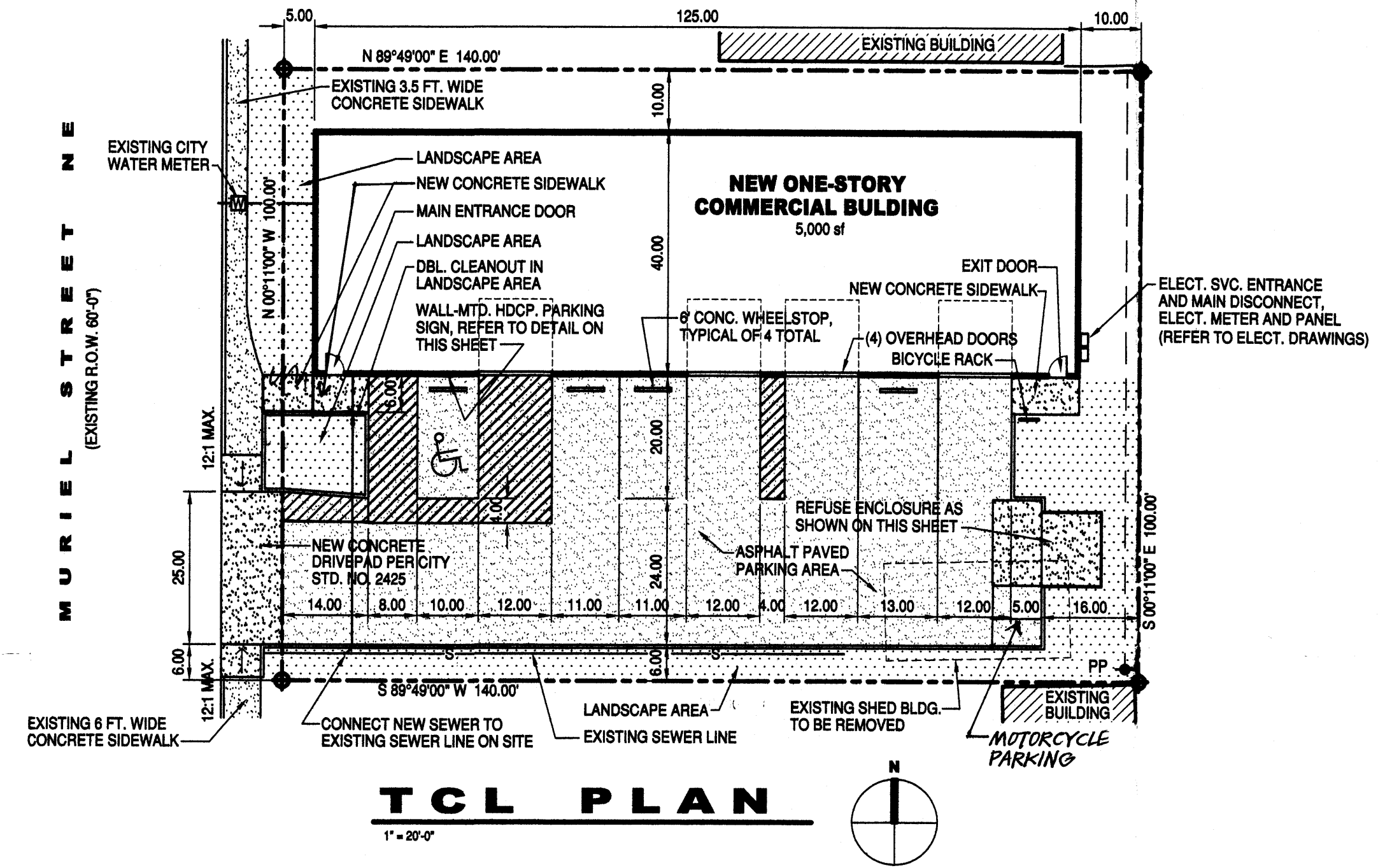


The project was built in substantial compliance with this TCL. Changes are noted in red on the plan.



PROJECT DATA

PROJECT DESCRIPTION
THIS PROJECT IS A NEW 5000 SF COMMERCIAL BUILDING, COMPLETE INCLUDING RELATED SITE IMPROVEMENTS. THE INTENDED USE FOR THE BUILDING IS: STORAGE OF BUILDING MATERIALS (NO PAINTING OR WELDING).

LEGAL DESCRIPTION OF SITE PROPERTY
LOTS 11 AND 12, BLOCK 16, EAST CENTRAL BUSINESS ADDITION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

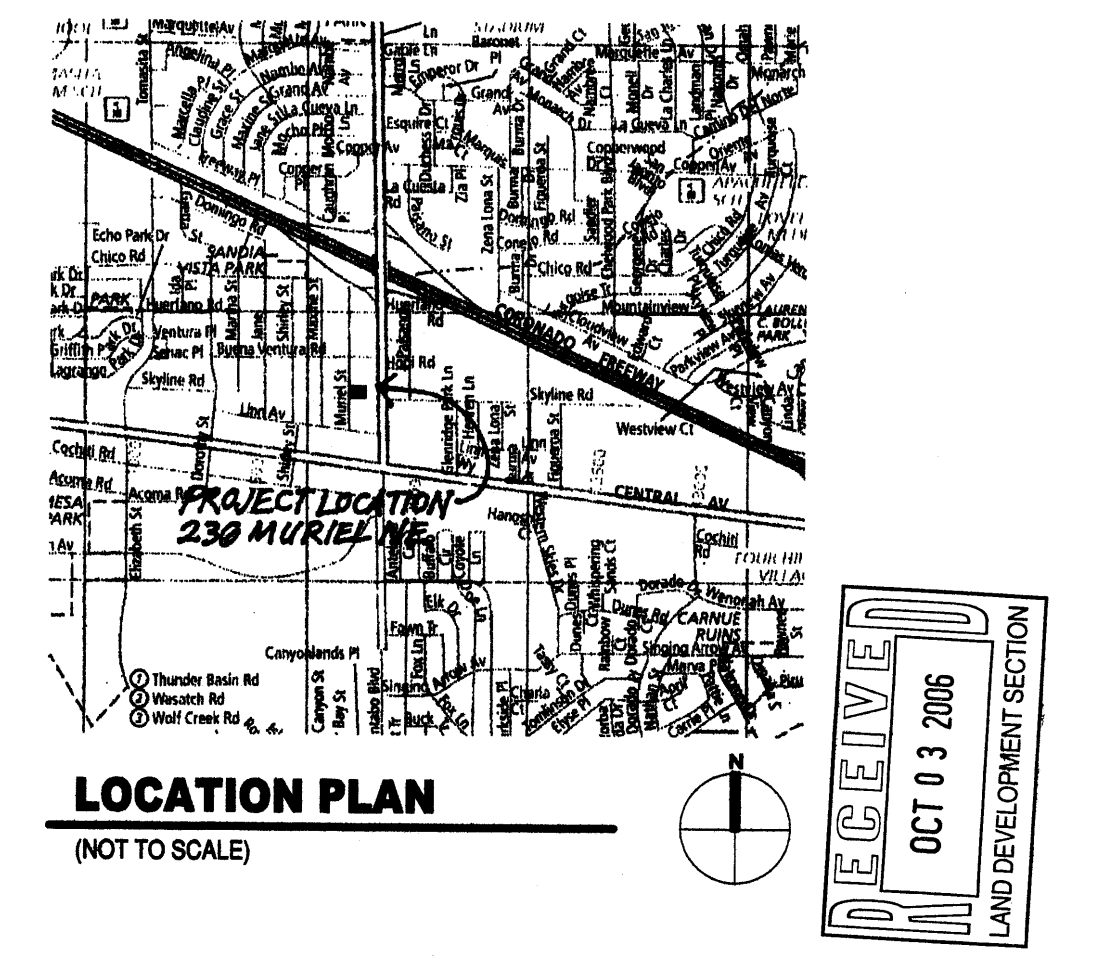
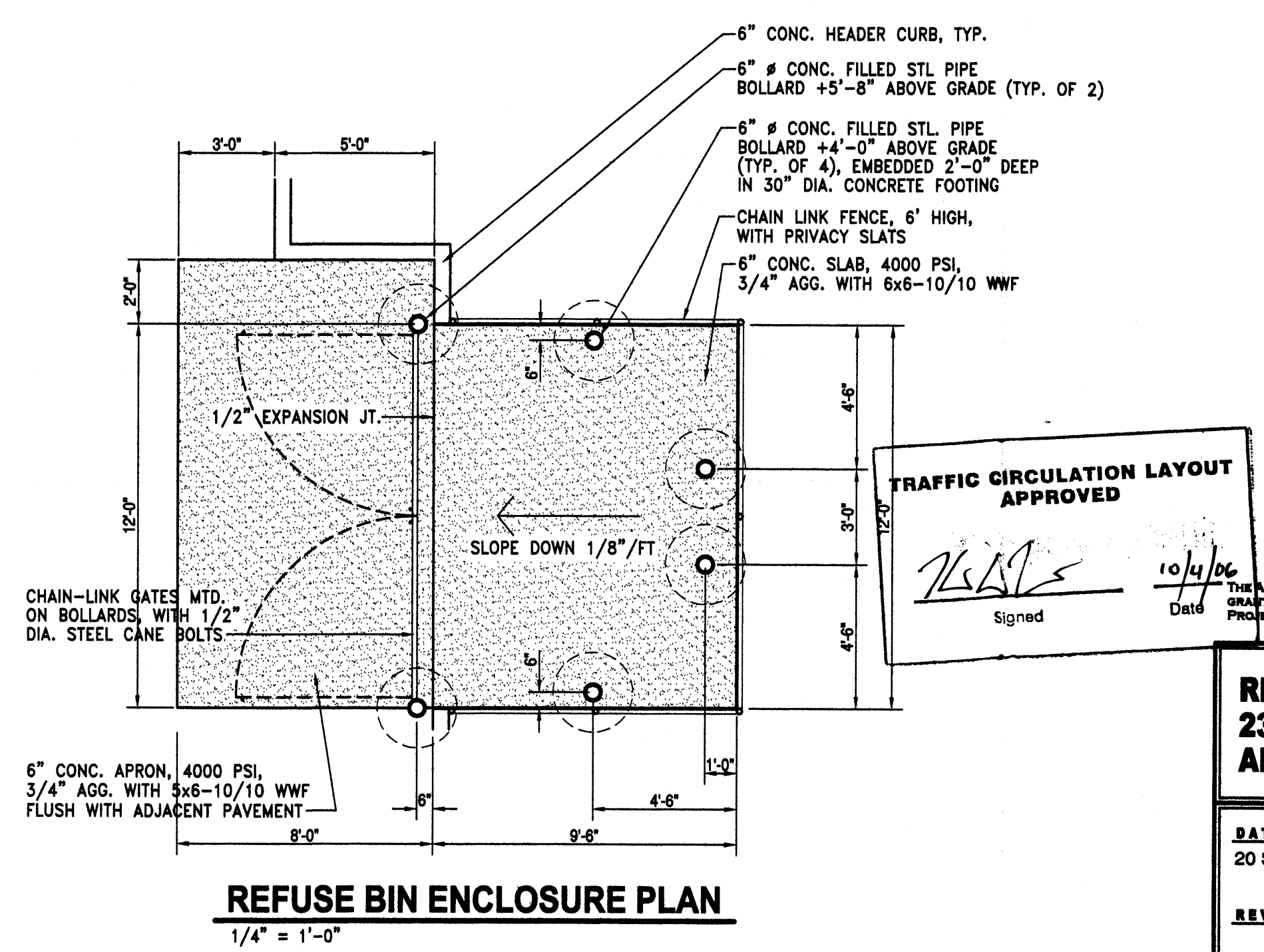
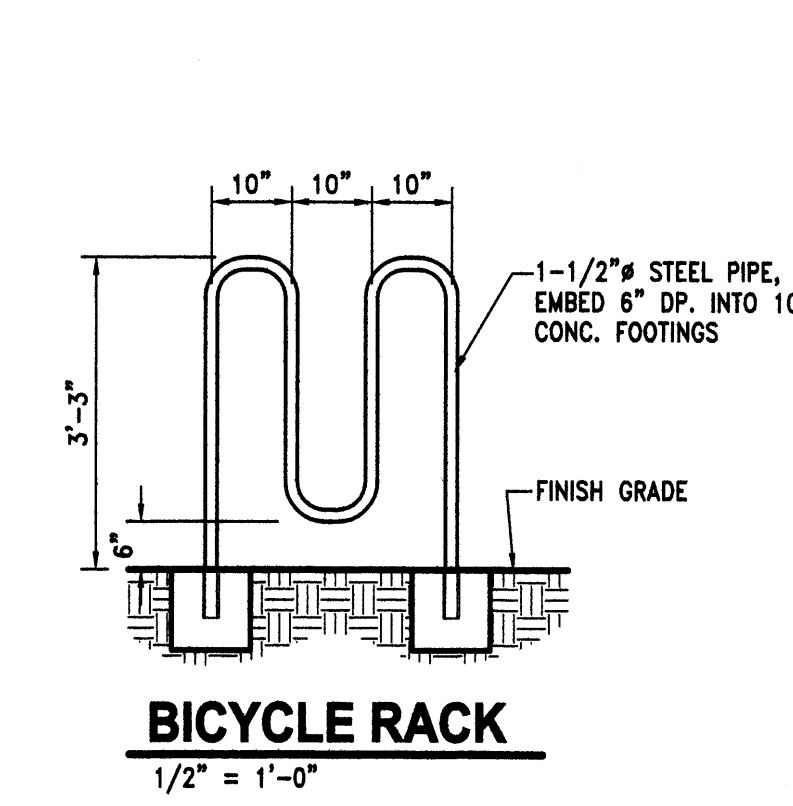
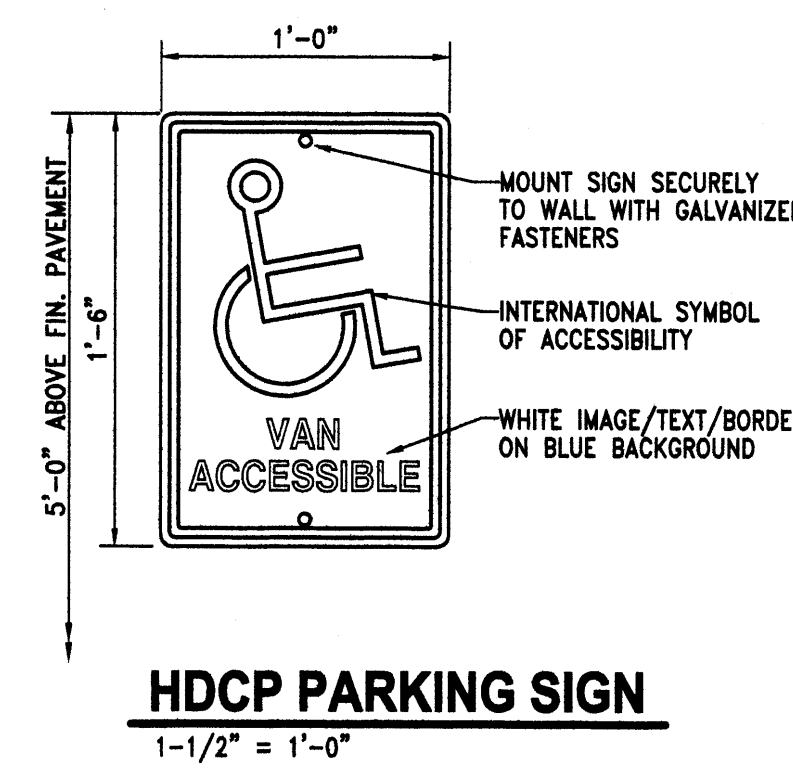
ZONING CLASSIFICATION: C-3
(ZONE ATLAS PAGE L-21-2)

OCCUPANCY GROUP CLASSIFICATION: S-1
(STORAGE OF CONSTRUCTION MATERIALS)

CONSTRUCTION TYPE: II-B

AREA CALCULATIONS

TOTAL BUILDING FLOOR AREA	5,000 sf
PARKING SPACES REQUIRED @ 1/2000sf = 2.5 (3 cars)	
TOTAL PARKING SPACES PROVIDED = 7 cars (INCL 1 HDGP SPACE)	
TOTAL LOT AREA	14,000 sf
NET LOT AREA	9,000 sf
LANDSCAPE AREA REQUIRED (15%)	1,350 sf
LANDSCAPE AREA PROVIDED	2,288 sf



TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: [Signature] Date: 10/4/06

REX LEWIS STORAGE BUILDING
236 MURIEL ST. NE
ALBUQUERQUE, NEW MEXICO

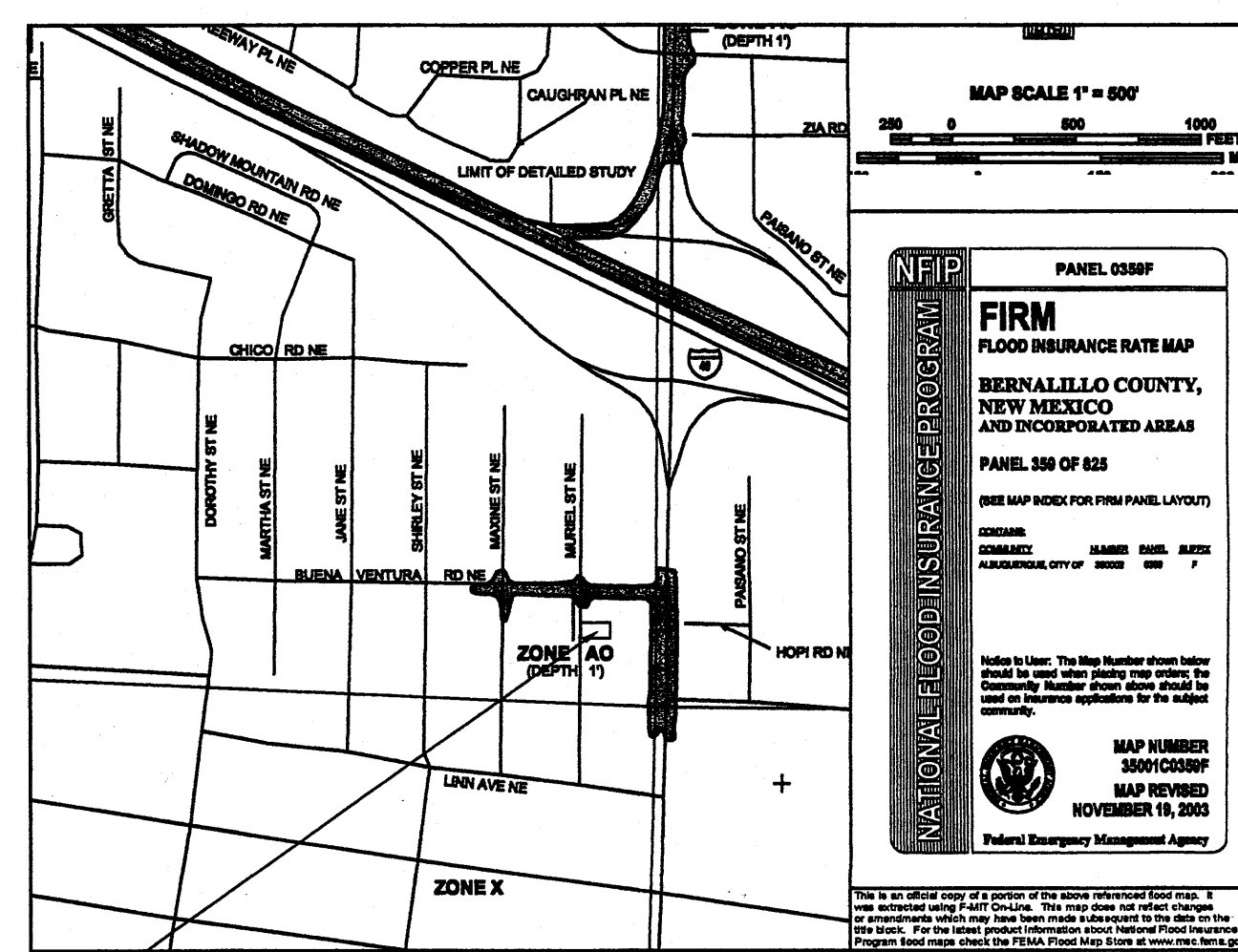
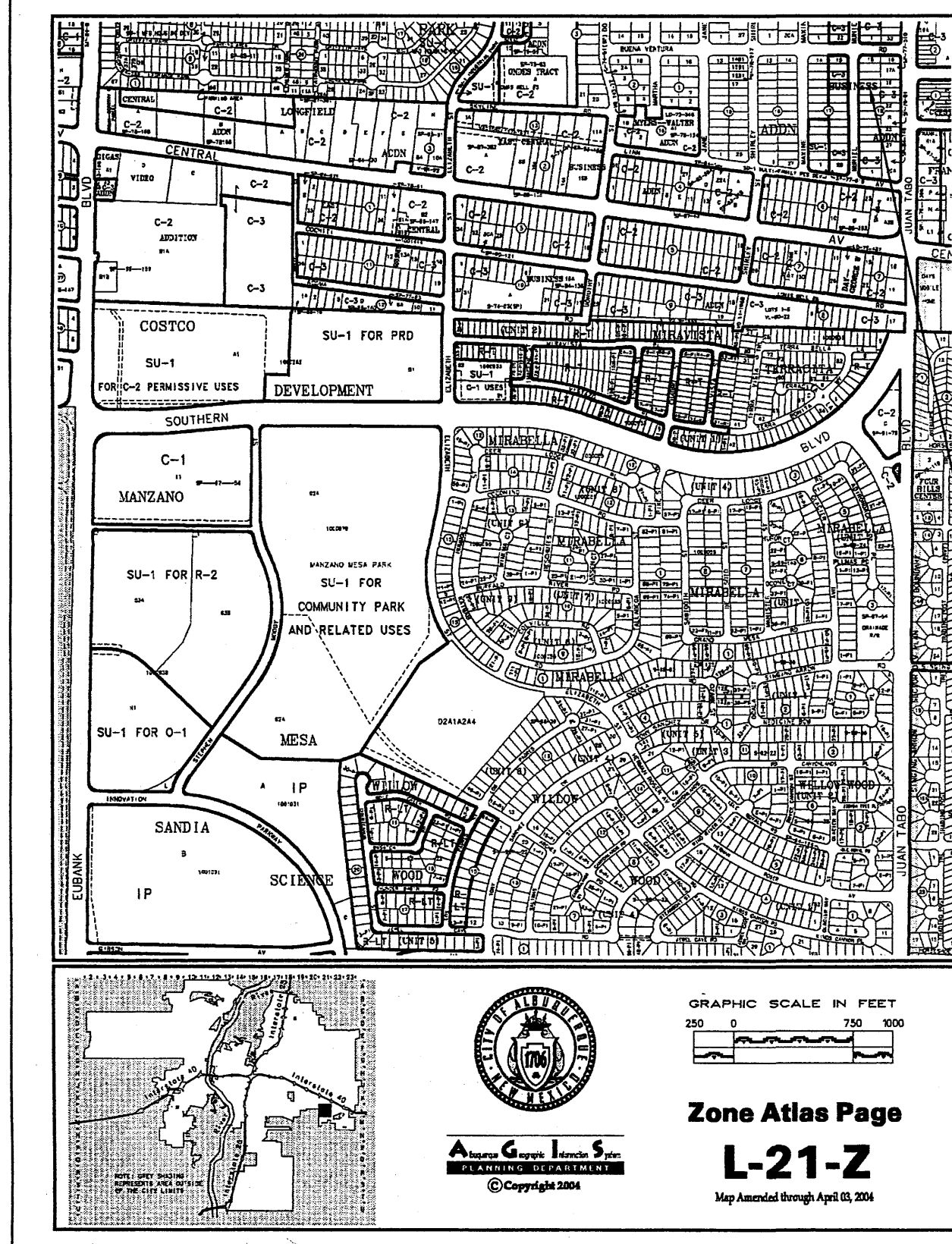
1245 PRINCETON DR. NE
ALBUQUERQUE, NM 87106
(505) 255-8046

DATE: 20 SEPT 2006
REVISIONS:

STATE OF NEW MEXICO
MARK E. WEAVER
NO. 2036
REGISTERED ARCHITECT
9-20-06

SHEET NUMBER
A1
NO. / OF

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JUN 25 2008
HYDROLOGY SECTION

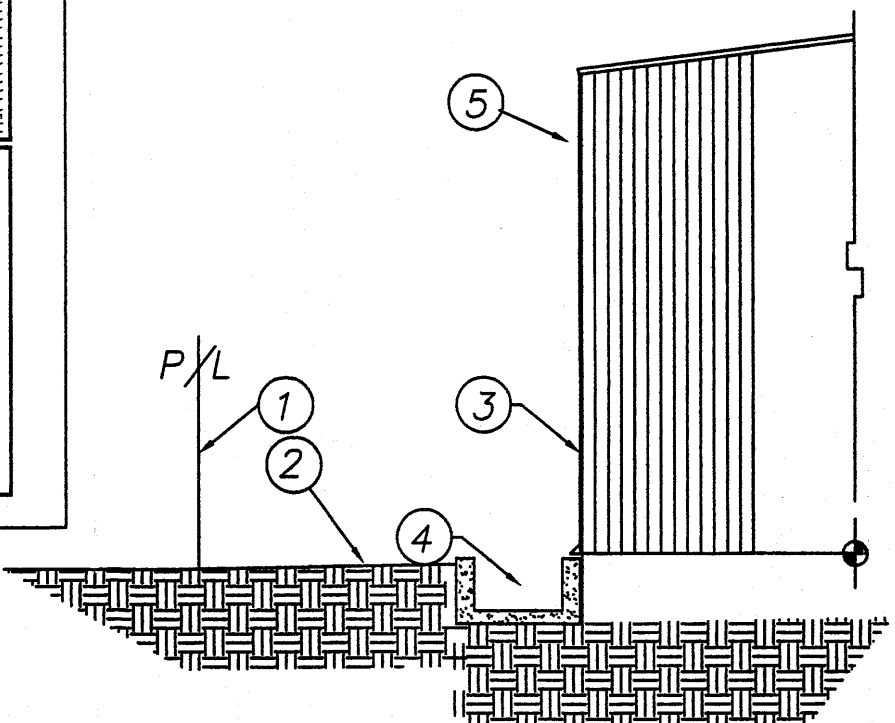


SITE LOCATION

ENGINEER CERTIFICATION FOR (K21-D32)

I, EUGRADO SEBAY, N.M.P.E. # 6790, OF THE FIRM B.M. CONSULTING, HEREBY CERTIFY THAT THE PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/05/2006. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR RELEASE OF A CERTIFICATE OF OCCUPANCY.

AS-BUILT DESIGNATION
30.82
OR
30.75



SECTION A-A

NTS

- 1 PROPERTY LINE
- 2 UNDISTURBED AREA BETWEEN NEW BUILDING AND PROPERTY LINE
- 3 NEW BUILDING
- 4 THREE FOOT CONCRETE TROUGH
- 5 ROOF DRAINS TO TROUGH AREA

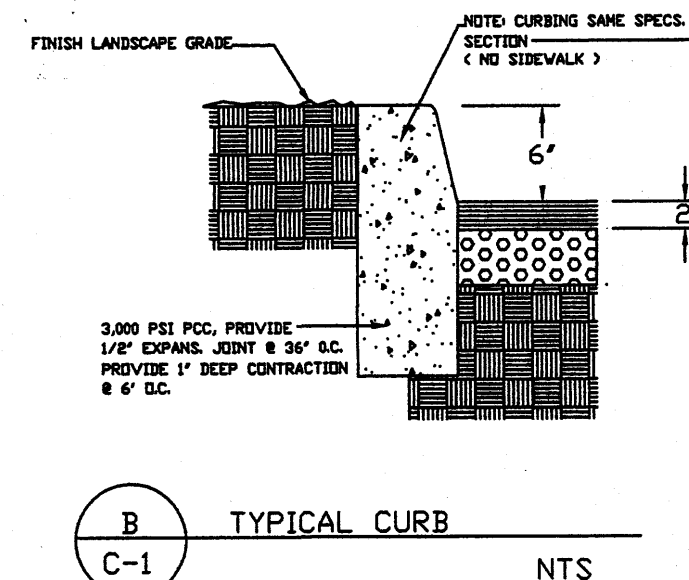
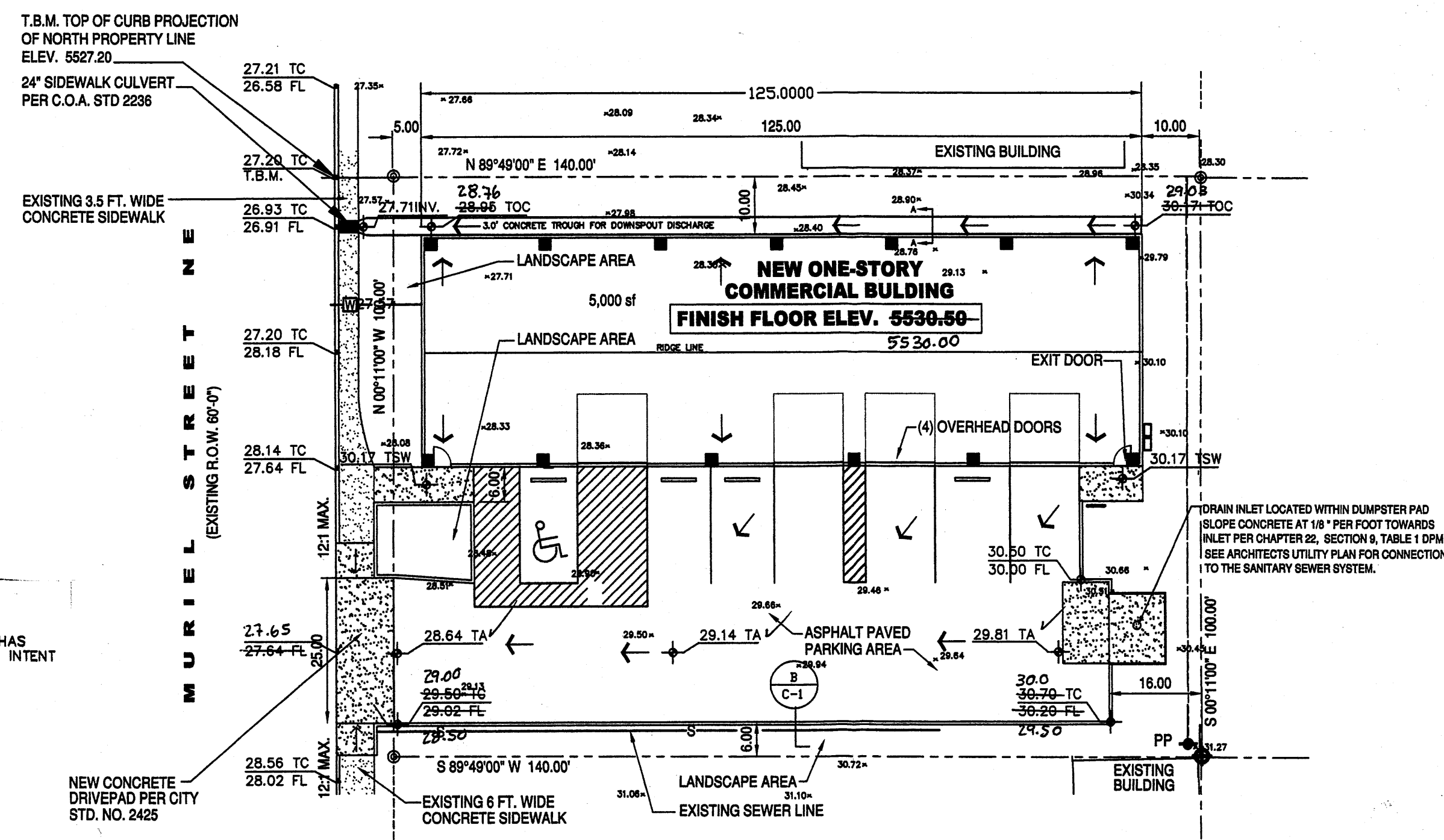
APPROVAL	NAME	DATE	TITLE
INSPECTOR			REX LEWIS OFFICE/WAREHOUSE MAP NO. L21

NOTE TO CONTRACTOR:

1. An excavation/construction permit will be required before beginning any work within the City right-of-way. Approved copy of this plan must be submitted at the time of application for permit.
2. All work detailed in this plan to be performed, except as otherwise stated or provided herein, shall be constructed in accordance with City of Albuquerque Standard Specification for Public Works Construction, 1986 edition as revised through update #7 amendment 1.
3. Two working days prior to any excavation, contractor must contact line locating Services (260-1990) for locating existing sub-surface utilities.
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all potential constructions; Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay to the subject project.
5. Backfill compaction shall be according to Traffic/Street use.
6. Maintenance of this facilities shall be the responsibility of the owner of the property it serves
7. Work on arterial streets shall be performed on a 24-hour basis.

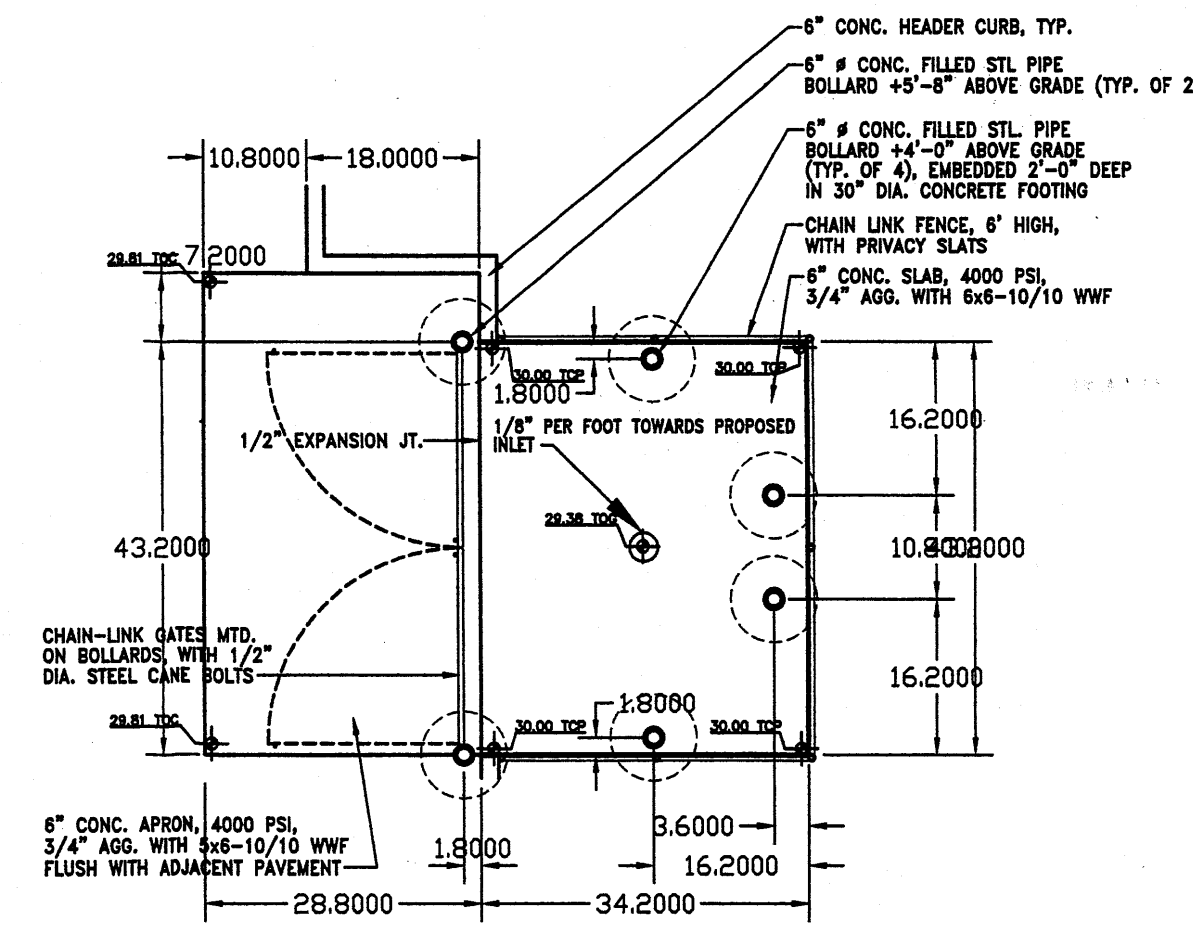
EROSION CONTROL MEASURES

1. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION, HE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE
 - A) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
 - B) ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
2. THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.



TYPICAL CURB

NTS



REFUSE BIN ENCLOSURE PLAN

NTS
CONTRACTOR SHALL COORDINATE INSPECTIONS WITH CITY SOLID WASTE DEPARTMENT AS REQUIRED.

LEGAL DESCRIPTION

LOT 11A, BLOCK 18
EAST CENTRAL BUSINESS ADDITION
CITY OF ALBUQUERQUE, BERNALILLO
COUNTY NEW MEXICO.

BENCHMARK:

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "1-L21R", HAVING AN ELEVATION OF 5537.22 NAVD 88

SYMBOL LEGEND

EXISTING CONTOUR
EXISTING SPOT ELEVATION
DESIGN CONTOUR
PROPOSED SPOT ELEVATION
PROPERTY LINE
EASEMENT LINE
FLOW DIRECTION
EXISTING SPOT ELEVATION
DOWN SPOUT

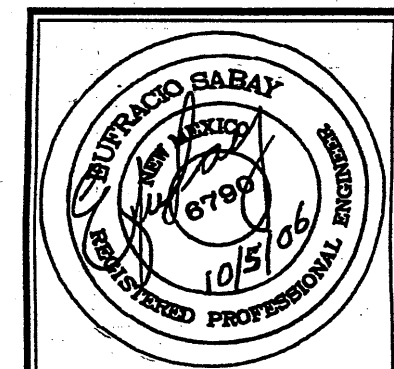
ABBREVIATION LEGEND

TOP OF CONC PAD
TOP OF CURB
TOP OF ASPHALT
TOP OF BERM
BOTTOM OF POND
FINISHED FLOOR
TOP OF CONCRETE

BDC = BACK OF CURB
BC = DRIVECUT
BI = DRAINAGE INLET
EA = EDGE OF ASPHALT
EC = EDGE OF CONCRETE
FL = FLOW LINE
FP = FENCE POST
G = GROUND
HP = HIGH POINT

GRADING & DRAINAGE PLAN

Scale 1"=20'-0"



JOB NO: XXXXXX

DATE: SEPTEMBER 2006

REVISIONS

10/05/2006

Sheet Title
GRADING & DRAINAGE PLAN

Checked By: ES

Drawn By: B.M.

Job Title
OFFICE/WAREHOUSE
236 MURIEL AVE. N.E.
ALBUQUERQUE, NEW MEXICO

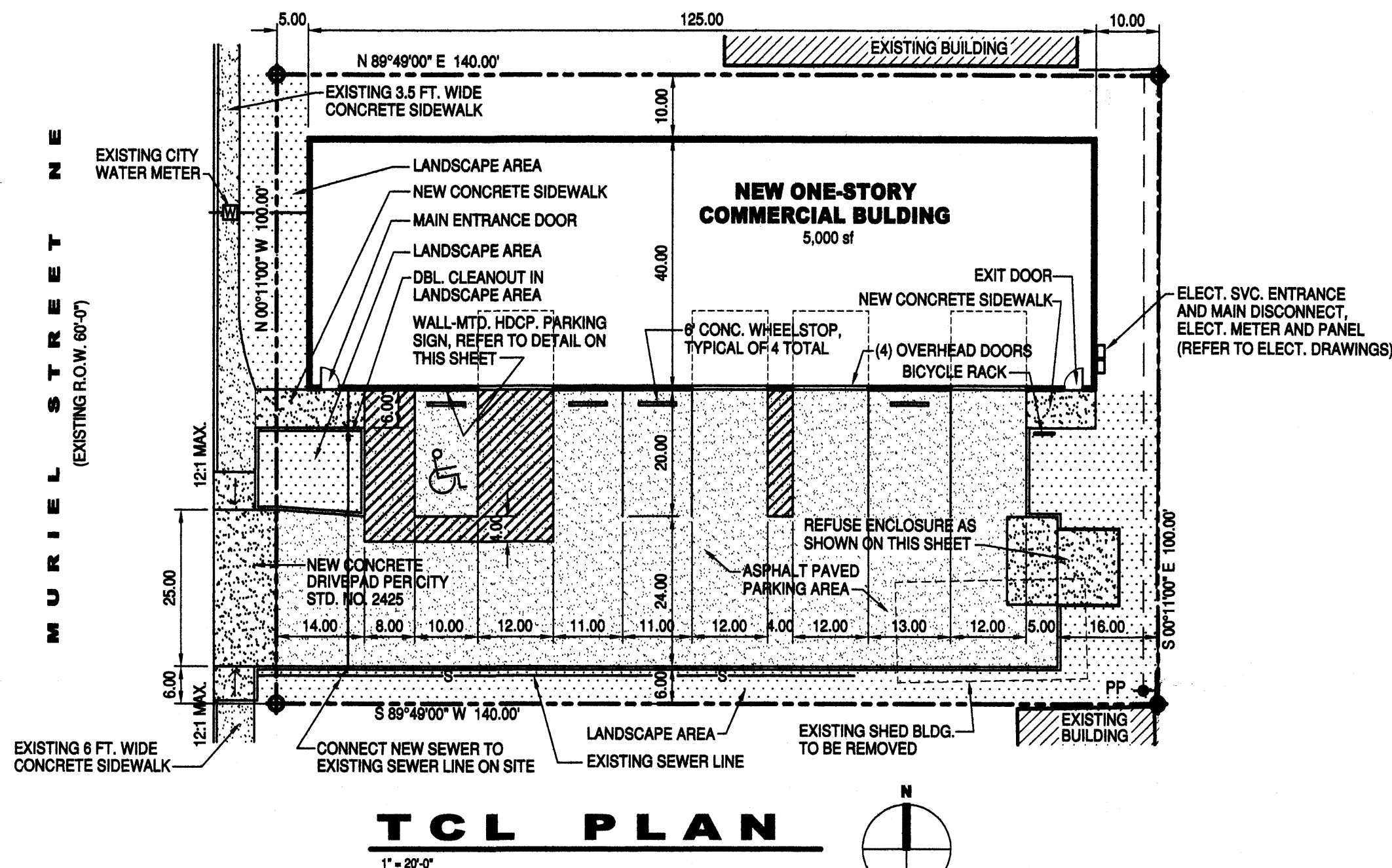
Job Title
OFFICE/WAREHOUSE
236 MURIEL AVE. N.E.
ALBUQUERQUE, NEW MEXICO

SHEET NO.

RECEIVED

APR 6 2006

HYDROLOGY
SECTION



PROJECT DATA

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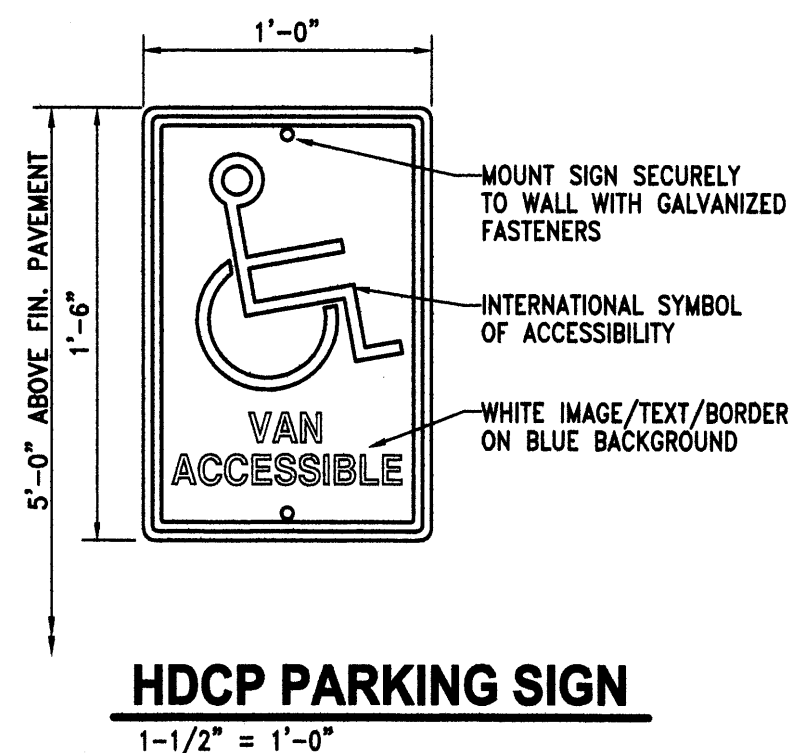
ZONING CLASSIFICATION: C-3
(ZONE ATLAS PAGE L-21-2)

OCCUPANCY GROUP CLASSIFICATION: S-1
(STORAGE OF CONSTRUCTION MATERIALS)

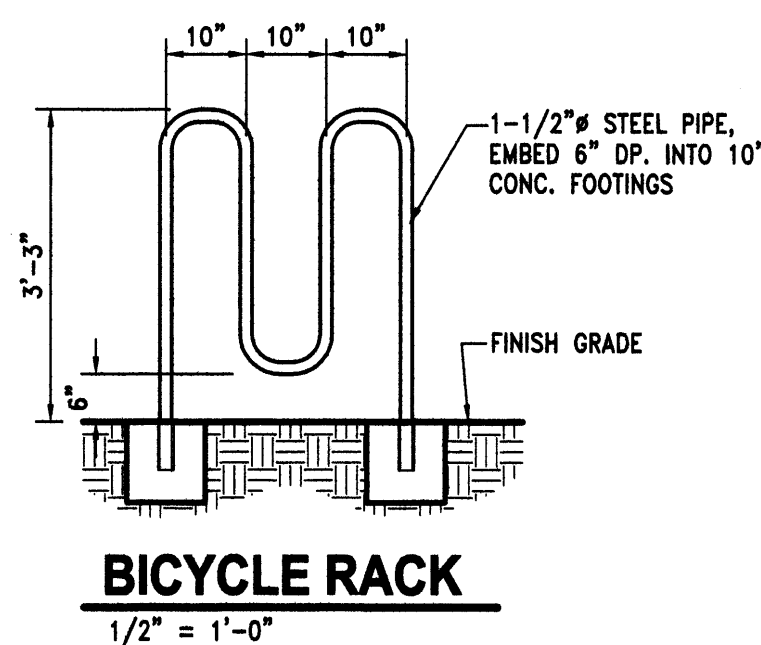
CONSTRUCTION TYPE: II-B

AREA CALCULATIONS

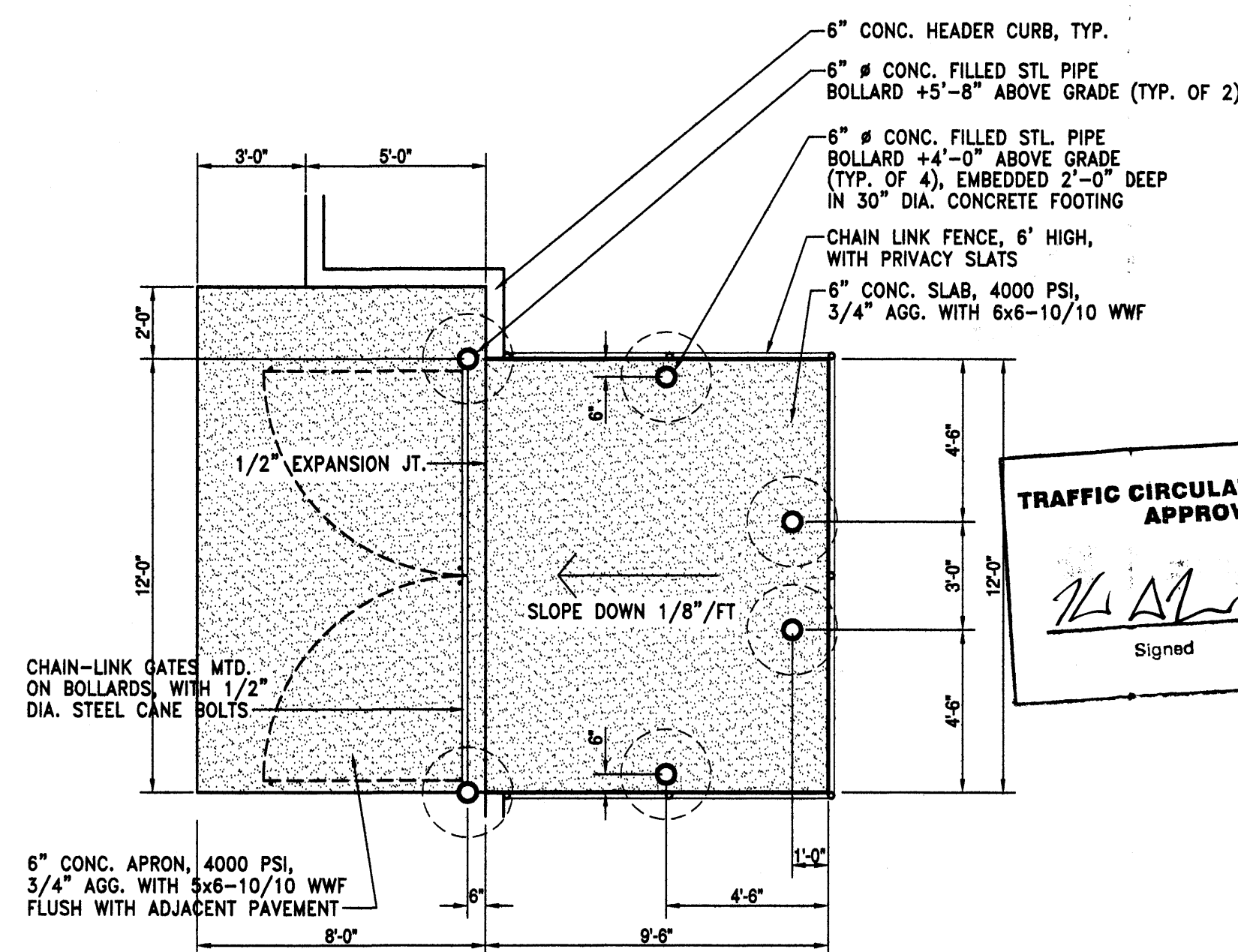
TOTAL BUILDING FLOOR AREA	5,000 sf
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TOTAL PARKING SPACES PROVIDED = 7 cars (INCL 1 HDCP SPACE)	
TOTAL LOT AREA	14,000 sf
NET LOT AREA	9,000 sf
LANDSCAPE AREA REQUIRED (15%)	1,350 sf
LANDSCAPE AREA PROVIDED	2,286 sf



HDCP PARKING SIGN
1-1/2" = 1'-0"

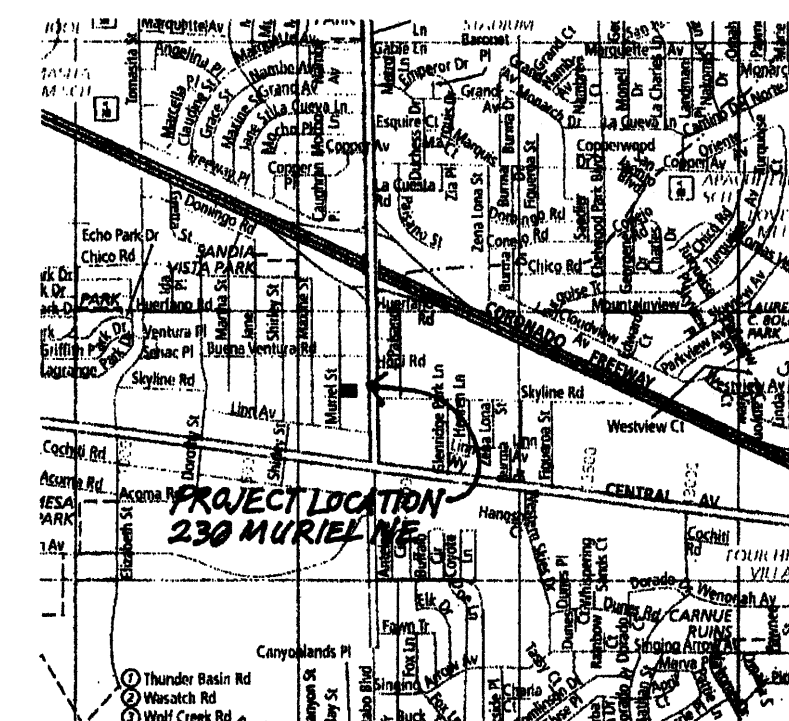


BICYCLE RACK
1/2" = 1'-0"



REFUSE BIN ENCLOSURE PLAN
1/4" = 1'-0"

CONTRACTOR SHALL COORDINATE INSPECTIONS WITH CITY SOLID WASTE DEPARTMENT AS REQUIRED.



LOCATION PLAN
(NOT TO SCALE)

TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: *[Signature]* Date: 10/4/06

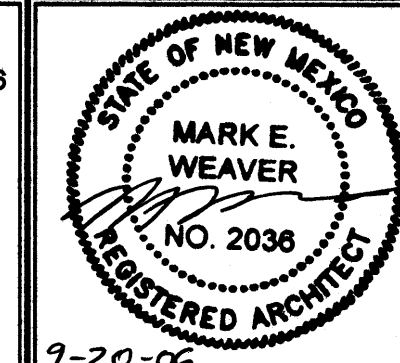
THIS ARCHITECT AND HIS CONSULTANTS RETAIN OWNERSHIP OF THESE DRAWINGS AND THE DESIGNS DEPICTED HEREIN. THE CLIENT IS GRANTED A NON-EXCLUSIVE LICENSE TO USE THESE DOCUMENTS FOR THE PURPOSE OF CONSTRUCTING, USING, AND MAINTAINING THE PROJECT. COPYING OR USING THESE DRAWINGS WITHOUT THE PERMISSION OF THE ARCHITECT IS AN INFRINGEMENT OF COPYRIGHT.

REX LEWIS STORAGE BUILDING
236 MURIEL ST. NE
ALBUQUERQUE, NEW MEXICO

1245 PRINCETON DR. NE
ALBUQUERQUE, NM 87106
(505) 255-8046

DATE:
20 SEPT 2006

REVISIONS:



SHEET NUMBER

A1

NO. / OF /



9-20-06