

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

July 3, 2014

Gordon Allan Hall, R.A.
Design 2 Function, LLC
P.O. Box 93368
Albuquerque, NM 87199

**Re: Hans Wittler Automotive, 121 Elizabeth St.
90-Day Temporary Certificate of Occupancy- Transportation Development**
Architect's Stamp dated 03-05-14 (K21-D034)
Certification dated 06-26-14

Dear Mr. Hall,

Based upon the information provided in your submittal received 07-01-14, Transportation Development has no objection to the issuance of a 90-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 90-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- As requested in your TCL approval letter, please provide a Permanent Sidewalk Easement.

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3630.

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: CO Clerk
File



DESIGN 2 FUNCTION, LLC

P. O. Box 93368, Albuquerque, N.M. 87199-3368

Info@design2functionllc.com * (505) 823-6481

June 26, 2014

*City of Albuquerque
Transportation Division*

Re: Wittler Automotive, 121 Elizabeth St. NE

*Project number: 1007974
Zone Map: L-21
UPC #: 102-105-621-852-320-521
Legal Description: Lot H, Longfield Addn*

TRAFFIC CERTIFICATION

I, Gordon Allan Hall, NMRA, of the firm Design 2 Function, LLC hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL approved plan dated 3/5/14 (approved on 4/7/14). The record information edited onto the original design document has been obtained by Tim Martinez of the firm TM Surveying Inc. on 4/9/14. I further certify that I have personally visited the project site on 6/25/14 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Final Certificate of Occupancy.

The following items have been modified:

- 1. The parking bumpers for the vehicle storage spaces have been removed.*
- 2. The interior gate at the SW corner of the New Dropoff/Pickup has been deleted. The fence and gate at the street was increased in height as per the Zoning requirement. This change was discussed with David Kirkpatrick with Zoning.*
- 3. The new Fire Hydrant shown in the SE corner of the site was not installed. This change was approved by the Fire Marshall.*

The record information presented here on is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Design 2 Function, LLC

Gordon Allan Hall





City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ EROSION & SEDIMENT CONTROL PLAN (ESC)
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ ENGINEER'S CERT (TCL)
- _____ ENGINEER'S CERT (DRB SITE PLAN)
- _____ ENGINEER'S CERT (ESC)
- _____ SO-19
- _____ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ GRADING CERTIFICATION
- _____ SO-19 APPROVAL
- _____ ESC PERMIT APPROVAL
- _____ ESC CERT. ACCEPTANCE
- _____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

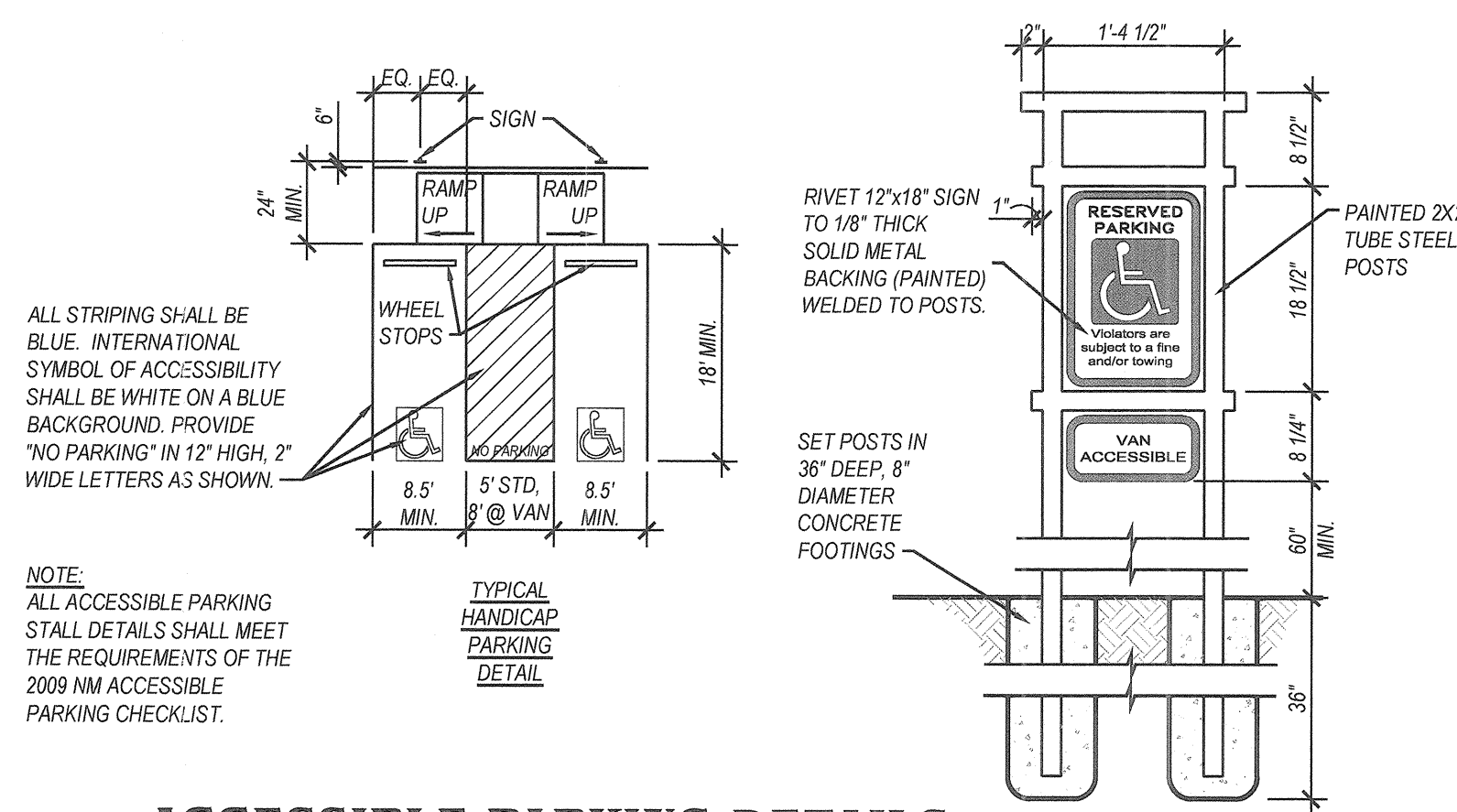
DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



AERIAL PHOTO



2 ACCESSIBLE PARKING DETAILS

SCALE: NOT TO SCALE

GENERAL SITE NOTES

- ALL EASEMENTS SHOWN ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- ALL SITE LIGHTING SHALL BE BUILDING MOUNTED FIXTURES. FIXTURES SHALL MEET NIGHT SKY ORDINANCE REQUIREMENTS.
- COORDINATE WITH ALL UTILITY COMPANIES FOR EXACT REQUIREMENTS AND INSTALLATION DETAILS FOR, AND EXTEND ALL UTILITIES TO, THE PROJECT AS REQUIRED (WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE, ETC.). VERIFY ALL SERVICES WITH OWNER PRIOR TO COMMENCING WORK.
- ALL SIDEWALKS TO BE 4" THICK MINIMUM, 4000 PSI CONCRETE, BROOM FINISH WITH 1/8" PER 1'-0" MAXIMUM CROSS SLOPE, OVER COMPACTED GRADE UNLESS NOTED OTHERWISE ON GRADING PLAN. PROVIDE EXPANSION JOINTS EVERY 4'-0" LINEAR FEET AND CONTROL JOINTS EVERY 20'-0" LINEAR FEET. TOOL EDGES WITH 1/4" Ø FINISHING TOOL. PROVIDE 6" WIDE X 12" DEEP TURN DOWN EDGE AT CURBS AND ADJACENT TO PAVING. REINFORCE TURN DOWNS WITH #4 BAR CONTINUOUS.
- ALL PAVING TO BE TYPE "C" PER C.O.A. STANDARD DRAWING #2400 AND ADDITIONALLY REFERENCED STANDARDS. PAVING IN DRIVE LANES TO BE 3" A.C. OVER 6" A.B.C. OVER 6" MINIMUM SUBGRADE PREPARATION. PAVING IN PARKING AREA CAN BE REDUCED TO 2" A.C. OVER 4" A.E.C. OVER 6" MINIMUM SUBGRADE PREPARATION.
- ALL STRIPING TO BE PER MUTCD STANDARDS FOR TRAFFIC PAINT AND SHALL BE WHITE IN COLOR UNLESS NOTED OTHERWISE. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED WHITE ON BLUE IN EACH ACCESSIBLE PARKING STALL.
- ALL HEADER CURBS, MEDIAN AND STANDARD CURB & GUTTERS TO BE CONSTRUCTED PER C.O.A. STANDARD DRAWINGS #2415A AND #2415B.
- DRIVEPAD ENTRANCES SHALL BE CONSTRUCTED PER C.O.A. STANDARD DRAWING #2425. DRIVEWAY ENTRANCES (CURB RETURNED) SHALL BE CONSTRUCTED PER C.O.A. STANDARD DRAWING #2426. ALLEY ENTRANCES SHALL BE CONSTRUCTED PER C.O.A. STANDARD DRAWING #2427.
- CONCRETE PARKING BUMPERS TO BE 7'-0" WIDE MINIMUM, SLOT BOTTOM AND REINFORCED WITH AT LEAST (2) #3 BARS TYPICAL. ANCHOR TO PAVING WITH WITH (2) 18" LONG #6 DOWELS TYPICAL. RIBBON STYLE BICYCLE RACKS TO BE 3' LONG X 42" HIGH, 2" Ø PAINTED STEEL PIPE INSET INTO 10' Ø X 16" DEEP FOOTINGS. PROVIDE 3" MINIMUM CLEARANCE FROM STEEL TO SOIL.

RADIUS LEGEND

① = 1'-0" RADIUS	② = 2'-0" RADIUS	③ = 3'-0" RADIUS
④ = 5'-0" RADIUS	⑤ = 10'-0" RADIUS	⑥ = 15'-0" RADIUS
⑦ = 20'-0" RADIUS	⑧ = 25'-0" RADIUS	⑨ = 30'-0" RADIUS
⑩ = 35'-0" RADIUS	⑪ = 38'-0" RADIUS	⑫ = 49'-0" RADIUS
⑬ = 50'-0" RADIUS	⑭ = 55'-0" RADIUS	

PARKING CALCULATIONS

OFFICE SPACE	= 1,186 S.F. NET/200	= 5.93 = 6 SPACES
SERVICE BAY'S	= 6,219 S.F. NET/1000	= 6.22 = 7 SPACES
TOTALS	= 7,405 S.F.	= 13 SPACES REQUIRED

TOTAL SPACES PROVIDED = 13 (INCLUDES 1 VAN ACCESSIBLE SPACE 1:1-25)

MOTORCYCLE SPACES REQUIRED = 1:1-25 SPACES = 1 SPACE PROVIDED.

BICYCLE SPACES REQUIRED = 1 PER 20 VEHICLE SPACES REQUIRED (2 MINIMUM) = 2 SPACES REQUIRED. 5 BICYCLE SPACES PROVIDED.

27 VEHICLE STORAGE SLOTS PROVIDED.

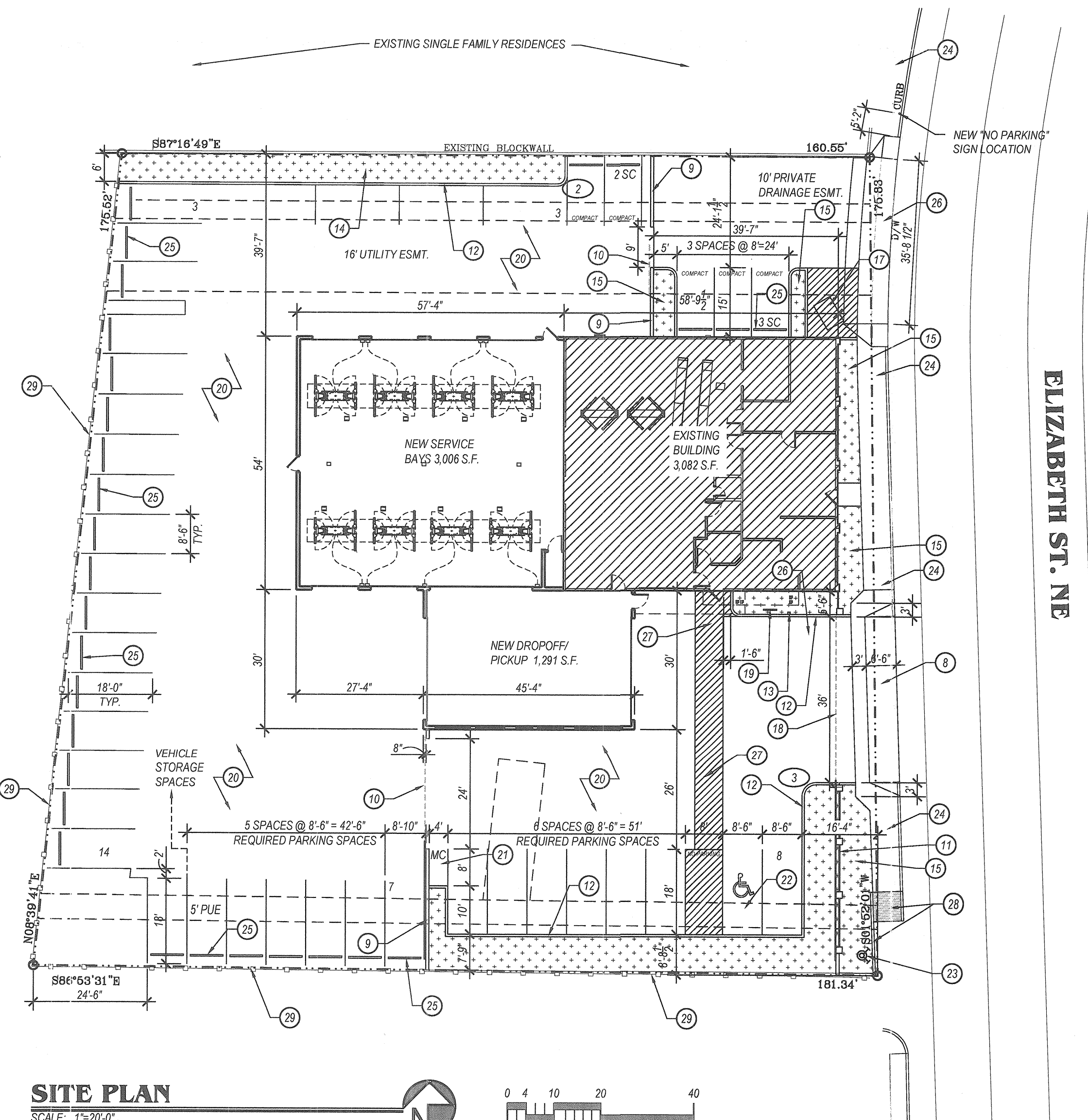
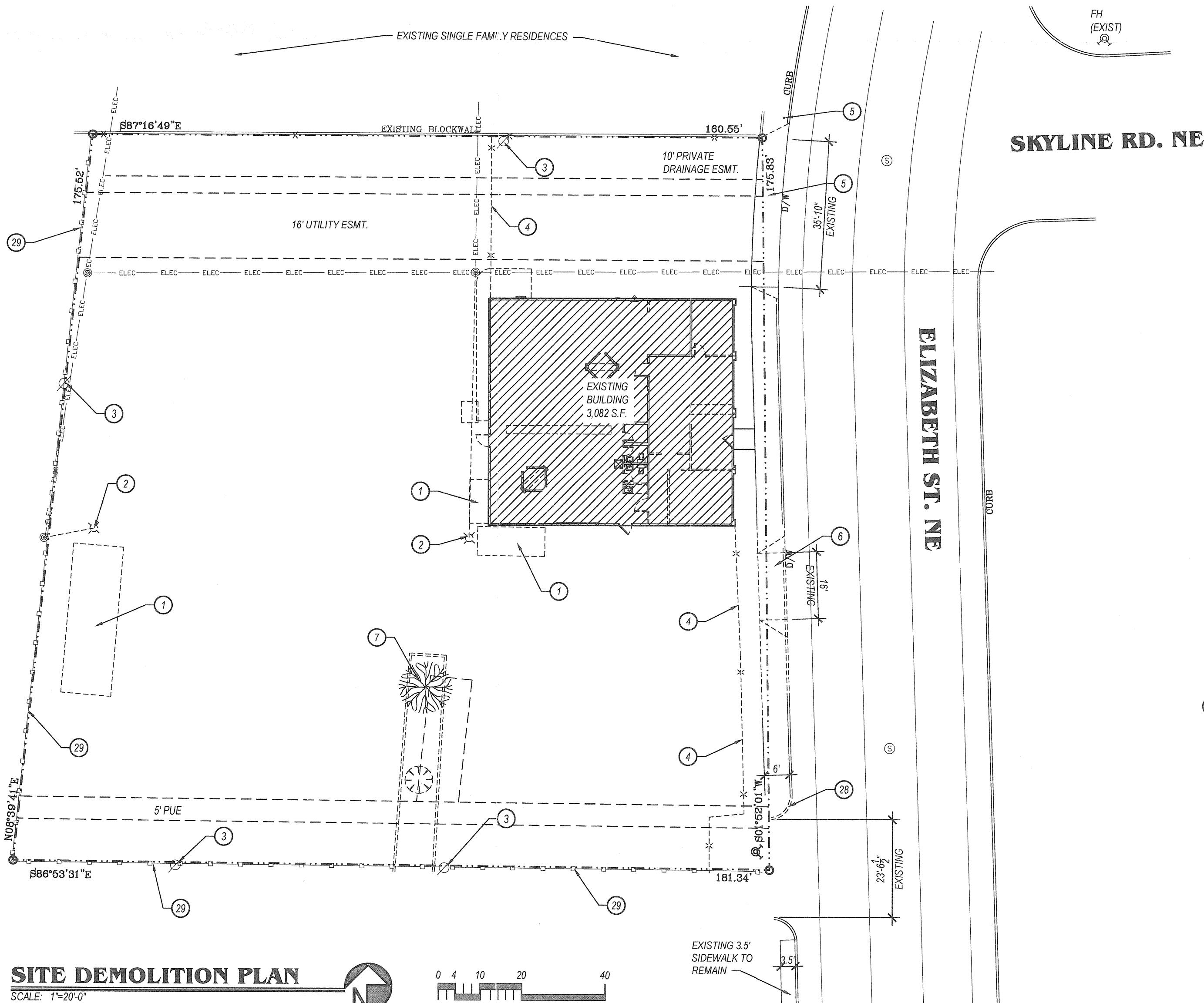
NOTE: ALL SMALL CAR SPACES SHALL BE LABELED "COMPACT" AS SHOWN.

SITE PLAN KEYED NOTES:

- REMOVE EXISTING STRUCTURES IN THEIR ENTIRETY.
- REMOVE POWER BACK TO NEAREST POLE.
- EXISTING PERIMETER ALARM POLES TO BE RELOCATED. CONTRACTOR SHALL COORDINATE WITH OWNER'S ALARM VENDOR.
- REMOVE EXISTING FENCING AND GATES AS SHOWN.
- EXISTING DRIVEWAY TO BE REBUILT. RELOCATE "NO PARKING SIGN" AS SHOWN.
- EXISTING DRIVEWAY TO BE REBUILT.
- REMOVE EXISTING LANDSCAPING AND PLANTER AS SHOWN.
- EXPAND EXISTING DRIVEWAY PER COA STANDARD DETAIL #2425 SPECIFICALLY SECTIONS A-A AND E-E. PROVIDE SIDEWALK EASEMENT AS REQUIRED.
- NEW 8" TALL OPAQUE WALL OR FENCE.
- 8" TALL OPAQUE ROLLING GATE.
- 8" TALL WROUGHT IRON FENCING WITH CMU PILASTERS AS SHOWN.
- NEW HEADER CURB OR MEDIAN CURB (CONTRACTOR OPTION) TYPICAL UNLESS NOTED OTHERWISE PER COA STANDARD DETAIL 2415B.
- KEY PAD FOR MOTORIZED ROLLING ENTRY GATE.
- 6' SIDEYARD LANDSCAPING BUFFER AS REQUIRED BY THE ZONING DEPARTMENT.
- HATCH PATTERN INDICATES EXISTING AND NEW LANDSCAPING.
- NEW CITY SIDEWALK, PER COA DETAIL #2430 AND STANDARD CURB & GUTTER PER COA DETAIL #2415A. PROVIDE SIDEWALK EASEMENT AS REQUIRED.
- EXISTING REFUSE LOCATION TO REMAIN. PROVIDE NEW 6" THINK CONCRETE PAD IN HATCHED AREA AS SHOWN.
- MOTORIZED WROUGHT IRON ROLLING SECURITY GATE.
- NEW BIKE RACK, 5 SPACES.
- ASPHALT PAVING, SEE GENERAL NOTES FOR REQUIREMENTS.
- MOTORCYCLE PARKING SPACE 5'-0" WIDE BY 8'-0" DEEP MINIMUM. PAINT PAVEMENT AS SHOWN AND PROVIDE THE WORDS "MOTOR CYCLE PARKING ONLY" ON PAVEMENT. PROVIDE A SIGN CENTERED ON THE PARKING AREA 12" WIDE BY 18" TALL, 5'-0" FROM FINISH GRADE TO THE BOTTOM OF THE SIGN THAT STATES "MOTORCYCLE PARKING ONLY". SIGN DETAILS SHALL BE SIMILAR TO HANDICAP SIGN DETAIL #3 ON THIS SHEET.
- VAN ACCESSIBLE HANDICAP PARKING SPACES WITH SIGNS CENTERED ON EACH STALL AS SHOWN. BOTTOM OF SIGNS SHALL BE AT LEAST 80" FROM FINISHED GRADE AND SHALL CONTAIN THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AS WELL AS THE DESIGNATION "VAN ACCESSIBLE". SEE DETAIL #3 ON THIS SHEET.
- PROPOSED FIRE HYDRANT LOCATION. 2 HYDRANTS (2.50 GPM) ARE REQUIRED FOR 7,405 S.F. OF TYPE V-B CONSTRUCTION PER IFC TABLES B105.1 AND C105.1. VERIFY FINAL LOCATION WITH FIRE MARSHALL.
- EXISTING 6" WIDE CITY SIDEWALK TO REMAIN. PROVIDE SIDEWALK EASEMENT AS REQUIRED.
- PROVIDE (2) 4" HIGH X 72" WIDE RECYCLED PLASTIC OR CONCRETE PARKING BUMPERS 24" FROM WALL AS SHOWN AT ALL PARKING STALLS ADJACENT TO THE PROPERTY LINE OR CMU WALLS.
- CONSTRUCT NEW DRIVEPAD AS PER COA STANDARD DETAIL #2428 ALLEY INTERSECTION WITH ADA SIDEWALK AT BACK OF CURB.
- PROVIDE 6'-0" WIDE PAINTED STRIPING PEDESTRIAN WALKWAY FROM ACCESSIBLE PARKING SPACE TO BUILDING AS SHOWN.
- REMOVE EXISTING CURB CUT AND REPLACE WITH NEW SIDEWALK RAMP. PROVIDE CURB FROM RAMP TO PROPERTY LINE AS SHOWN. PROVIDE SIDEWALK EASEMENT AS REQUIRED.
- EXISTING CHAINLINK FENCE TO REMAIN.

CITY OF ALBUQUERQUE NOTES

- "THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN"
- THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
- ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION. FOR TEMPORARY C.O., WILL BE SCHEDULED.
- ALL SIDEWALK AND C&G IN DISREPAIR WILL BE REMOVED AND REPLACED.
- CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER, OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
- CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.



DESIGN DATA:

PROJECT INFORMATION

OWNER:	HANS WITTLER AUTOMOTIVE 121 ELIZABETH ST. NE ALBUQUERQUE, NM 87123 505-294-7884
LEGAL DESCRIPTION:	LOT H LONGFIELD ADDITION
ZONING:	SU-3, EG-C
LOT AREA:	28,993 S.F.
ZONE ATLAS PAGE:	L-21
UPC:	102-105-621-852-320-521

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: *[Signature]* Date: 04-07-14

HANS WITTLER'S AUTO
ADDITION & REMODEL
121 ELIZABETH ST NE
ALBUQUERQUE, NM 87123

THIS DOCUMENT IS THE PROPERTY OF DESIGN 2 FUNCTION, LLC AND SHALL NOT BE USED OR COPIED WITHOUT EXPRESS WRITTEN CONSENT.

DUE TO VARIATIONS IN PRINTING AND COPYING TECHNIQUES, THERE MAY BE SLIGHT VARIATIONS IN THE SCALE OF THE DRAWINGS. ONLY PRINTED DIMENSIONS SHALL BE USED. CONTRACTOR TO VERIFY ALL LAYOUTS, DIMENSIONS AND OTHER RELATED INFORMATION PRIOR TO BIDDING OR CONSTRUCTION.

ERRORS MAY OCCUR IN THE TRANSMISSION OF ELECTRONIC FILES. DESIGN 2 FUNCTION, LLC IS NOT RESPONSIBLE FOR ANY CLAIMS, DAMAGES OR EXPENSES ARISING OUT OF THE UNAUTHORIZED USE OF THE INFORMATION CONTAINED IN ELECTRONIC FILES.

DRAWING ISSUE DATES:
5/30/13
8/19/13
8/12/13
9/6/13
10/15/13
3/2/14

PROJECT MANAGER:
NICK PIRKL

DRAWN BY:
NAP

SHEET TITLE:
SITE PLAN

C1.1

SHEET: OF

DESIGN 2 FUNCTION, LLC
P.O. BOX 93368
ALBUQUERQUE
NEW MEXICO 87199-3368
info@design2functionllc.com
505-623-6481, 505-934-0474 MOB
© 2013 Design 2 Function, LLC

INSIGHT
CONSTRUCTION

STATE OF NEW MEXICO
GORDON ALLAN HALL
No. 1005
3/5/14
REGISTERED ARCHITECT