

March 7, 2014

Gordon Allan Hall, R.A. C/o Nick Pirkl Design 2 Function, LLC P.O. Box 93368 Albuquerque, NM 87199

Re:

Hans Wittler Automotive, 121 Elizabeth St. NE, Traffic Circulation Layout, Architect's Stamp dated 3-5-14 (K21-D034)

Dear Mr. Pirkl,

The TCL submittal received 3-6-14 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.

PO Box 1293

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

Albuquerque

New Mexico 87103

www.cabq.gov

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

Please provide the <u>Permanent Sidewalk Easement</u> with C.O. request.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.

File

Traffic Engineer, Planning Dept. Development Review Services

C:



41

June 2, 2014

Joseph J. Casares Jr., PE JCII Group, LLC 7225 Arenoso Pl NW Albuquerque, NM 87120

Re: Wittler Auto Improvements, 121 Elizabeth St. NE

Request Permanent C.O. - Accepted

Engineer's Stamp dated: 8-28-13 (E12D003A)

Certification dated: 5-09-14

Dear Mr. Casares,

Based on the Certification received 5/29/2014, the site is acceptable for release of a Certificate of Occupancy by Hydrology.

Certificate of Occupancy by Hydrology

PO Box 1293

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records. This certification can be e-mailed to: rrael@cabq.gov.

Albuquerque

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

New Mexico 87103

www.cabq.gov

Sincerely,

Rita Harmon, P.E.

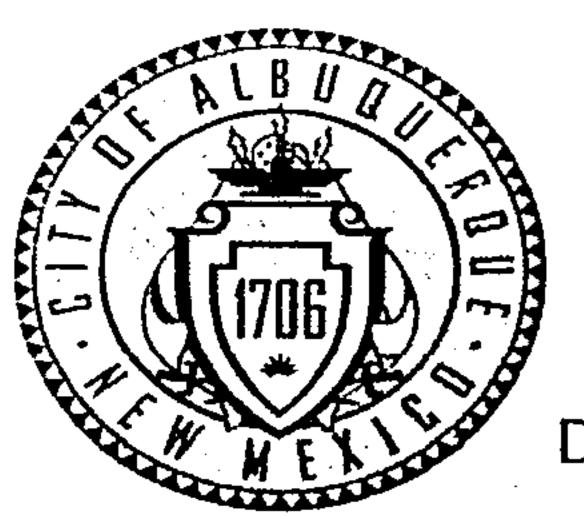
Senior Engineer, Planning Dept.

Development and Review Services

RR/RH

C: CO Clerk—Katrina Sigala

email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Hans Wittler Automotive	Building Permit #:	City Drainage #: 1420034
DRB#: EPC#:		Work Order#:
Legal Description: Lot H, Longfield Addn		
City Address: 121 Elizabeth ST NE, Albuqueruqe	e, NM 87123	
Engineering Firm: SCIT LLC		Contact: () ()
Address:		
Phone#: Fax#:		E-mail:
Owner: Hans Wittler Automotive		Contact: Roger Wittler
Address: 121 Elizabeth ST NE, Albuquerque, N	VM 87123	
Phone#: 505-294-7684 Fax#: 505	-296-2394	E-mail: rwittler@comcast.net
Architect: Design 2 Function, LLC		Contact: Nick Pirkl
Address: P.O. Box 93368, Albuquerque, NM 8	7199	
Phone#: 505-823-6481 Fax#: 505	-823-6481	E-mail: nick@d2fllc.com
Surveyor: TM Surveying, INC.		Contact: Tim Martinez
Address: 1130 La Vega Rd Bosque Farms, NM	87068	
Phone#: 505-869-0711 Fax#: 505	-869-0499	E-mail: tmsurv@aol.com
Contractor: Insight Construction		Contact: Damian Chimenti
Address: 3909 12th Street Albuquerque, NM 8'	7107	
Phone#: 505-888-7927 Fax#:		E-mail: damian@insightnm.com
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROV	AL/ACCEPTANCE SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARAN	
DRAINAGE PLAN 1st SUBMITTAL	PRELIMINARY PLAT APPI	ROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D	APPROVAL OF TOTAL
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERM	IT APPROVALLS [] [] []
GRADING PLAN	SECTOR PLAN APPROVAI	
EROSION & SEDIMENT CONTROL PLAN (ESC)	FINAL PLAT APPROVAL	MAR 0 6 2014
X ENGINEER'S CERT (HYDROLOGY)	CERTIFICATE OF OCCUPA	
CLOMR/LOMR	CERTIFICATE OF OCCUPA	11 AND 13EVELT PRAEDIL SELLICINI
TRAFFIC CIRCULATION LAYOUT (TCL)	FOUNDATION PERMIT AF	PROVAL
ENGINEER'S CERT (TCL)	BUILDING PERMIT APPRO	DVAL
ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPRO	OVAL SO-19 APPROVAL
ENGINEER'S CERT (ESC)	PAVING PERMIT APPROV	AL ESC PERMIT APPROVAL
SO-19	WORK ORDER APPROVAL	ESC CERT. ACCEPTANCE
OTHER (SPECIFY)	GRADING CERTIFICATION	N OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED:	Yes <u>X</u> No Co	opy Provided
DATE SUBMITTED: March 6, 2014	By: Nick Pirkl	· · · · · · · · · · · · · · · · · · ·

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4. Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

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Engineering Firm:		Contact:
Address:		
Phone#: Fax#:		E-mail:
Owner: Hans Wittler Automotive		Contact: Roger Wittler
Address: 121 Elizabeth ST NE, Albuquerque, N	IM 87123	
Phone#: 505-294-7684 Fax#: 505	-296-2394	E-mail: rwittler@comcast.net
Architect: Design 2 Function, LLC		Contact: Nick Pirkl
Address: P.O. Box 93368, Albuquerque, NM 8'	7199	
Phone#: 505-823-6481 Fax#: 505	<u>-823-6481</u>	E-mail: nick@d2fllc.com
Surveyor: TM Surveying, INC.		Contact: Tim Martinez
Address: 1130 La Vega Rd Bosque Farms, NM	87068	
Phone#: 505-869-0711 Fax#: 505	-869-0499	E-mail: tmsurv@aol.com
Contractor: Insight Construction		Contact: Damian Chimenti
Address: 3909 12th Street Albuquerque, NM 87	7107	
Phone#: 505-888-7927 Fax#:		E-mail: damian@insightnm.com
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROV	AL/ACCEPTANCE SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARAN	TEE RELEASE
DRAINAGE PLAN 1st SUBMITTAL	PRELIMINARY PLAT APPI	ROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D	
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMI	
GRADING PLAN	SECTOR PLAN APPROVAL	
EROSION & SEDIMENT CONTROL PLAN (ESC)	FINAL PLAT APPROVAL	MAR 0 6 2014
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ENGINEER'S CERT (TCL) ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPRO	
ENGINEER'S CERT (ESC)	PAVING PERMIT APPROV	
SO-19	WORK ORDER APPROVAL	
OTHER (SPECIFY)	GRADING CERTIFICATION	
WAS A PRE-DESIGN CONFERENCE ATTENDED:	Yes X No Co	py Provided
DATE SUBMITTED: March 6, 2014	By: Nick Pirkl	

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PLANNING DEPARTMENT - Development & Building Services



Richard J. Berry, Mayor

August 30, 2013

Joseph Casares, Jr., P.E.
JCII Group
7225 Areneso
Albuquerque, New Mexico 87120

Dear Mr. Casares:

RE: Hans-Wittler Auto Addition, 121 Elizabeth St. NE Grading and Drainage Plan for Building Permit

File <u>**K21-D034**</u> PE Stamp: 8/28/13

Dear Mr. Casares,

Based upon the information provided in your submittal received August 29, 2013, the above referenced Grading and Drainage Plan is approved for Building Permit.

PO Box 1293 Please attach a copy of this approved plan to the Building Permit, construction sets prior to requesting sign-off by Hydrology.

Prior to Certificate of Occupancy release, an Engineer's Certification of the As-Built grading and drainage at the site, will be required, per the DPM checklist (Chapter 22).

If you have questions, please contact me by email at grolson@cabq.gov, or telephone New Mexico 87103505-924-3994.

www.cabq.gov

Sincerely,

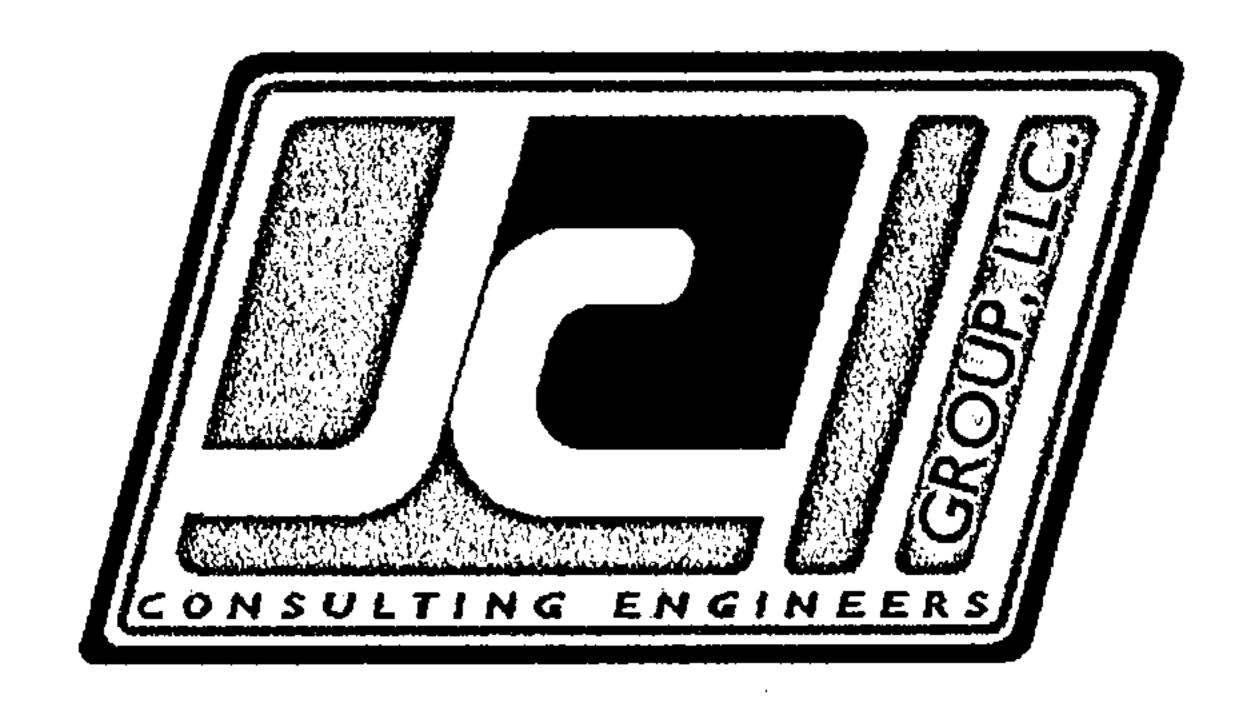
Kugay Ma 8/30/13

Gregory R. Olson, P.E.

Senior Engineer

Orig: Drainage file **K21-D034**

c.pdf Addressee via Email: JCIIGroup@gmail.com



JCII Group, LLC
Albuquerque, New Mexico
Phone: 505-264-6918
JCIIGroup@gmail.com

LETTER OF TRANSMITTAL

Specifications Spec	OA Hydr laza del s lbuquero	ology - Plar			From:	ion Chenroe	
Ibuquerque, NM 87103 Ibuquerque, NM 87103	laza del s Ibuquero		ning/DDC			JUE CASAIES	
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ARE SENDING YOU Shop drawings Prints A Plans Samples Specifications Copy of letter Change order Reports Other Opies Dated Description 8-28-13 Hans-Whittler Grading and Drainage Plan, and Hydrology Report ESE ARE TRANSMITTED as checked below: For approval Approved as submitted for distribution For your use Approved as noted Returned to Owner As requested Returned for corrections	rr nns ns						
Shop drawings Prints A Plans Samples Specifications Copy of letter Change order Reports Other	U5-9Z4-3:	987					
Copy of letter	ARE SEN	NDING YOU					
Description 8-28-13 Hans-Whittler Grading and Drainage Plan, and Hydrology Report ESE ARE TRANSMITTED as checked below. For approval	Shop draw	vings D Prints	Plans	☐ Samples	☐ Spec	cifications	
8-28-13 Hans-Whittler Grading and Drainage Plan, and Hydrology Report	Copy of le	tter	☐ Change order	□ Reports	□ Othe	};	
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		For review an	d comment	□ Other		•	
							
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EMARKS: For question please call: Joe @ 264-6918 or email JCllGroup@gmail.com				· 	 	<u>,</u>	
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Elization please tall. Too @ 204-0010 of chian objection							

Olson, Greg

From:

Olson, Greg

Sent:

Friday, August 16, 2013 4:56 PM

To:

'Joe Casares Jr'

Cc:

Olson, Greg; Biazar, Shahab

Subject: K21-D034 Hans-Wittler Automotive Addition - 6/17/13 Seal Date

Mr. Casares,

Per my phone message, this date, I have been reviewing your Grade and Drain submittal for the subject site, and have the following concerns:

- 1. The volume of the pond in Area C does not seem to total the 1,032 cf that you indicate. I get closer to 635 cf. The southern portion is only 1' deep.
- 2. Is the southeastern, 8' wrought iron, perimeter fence intended to be in the 2' deep retention pond?
- 3. Is it possible to route more of the Area B flows through curb openings to the northern swale, before discharging from the site?
- 4. Shahab Biazar indicated to me that he previously requested that you provide documentation of the discharge rights or drainage easements at the historic outfall from the NW corner of the site. This documentation was not included in this submittal. Please provide verification.

I apologize that I will be out of the office until Wednesday morning, 8/21.

Since this submittal has been in our system since early July, I will commit to responding to any resubmittal within a few days of receipt.

Please send me an email or call with any questions, and to alert me if you resubmit through normal channels.

Sincerely,

Greg Olson, P.E. Sr. Engineer, Hydrology Planning/DRS

505-924-3981

DRAINAGE AND TRANSPORTATION INFORMATION SHERT

PROJECT TITLE: Hans-With Auto DRB#: EPC#:	Addition ZONE MAP: K-21 DO34 WORK ORDER#:
LEGAL DESCRIPTION: sne Tract of law	
CITY ADDRESS:	· · · · · · · · · · · · · · · · · · ·
ENGINEERING FIRM: Z-II CIONO	CONTACT: 100 Lacares
ADDRESS: 7225 Anches	PHONE: 505-2104-1918
	87120 ZIP CODE:
OWNER: Homs - Witter	CONTACT:
ADDRESS: 121 Elizabeth	
CITY, STATE: Albuquerque	ZIP CODE:
ARCHITECT: Nick Pirkl	CONTACT: NKK Pirkl
ADDRESS: PO 33(48	PHONE: 505-823-6471
CITY, STATE:	ZIP CODE:
SURVEYOR: Martinez Survey	CONTACT: Tim Martinez
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
CONTRACTOR: Insight Construction	CONTACT: Demian Chanceti
ADDRESS: 1309 12 74 Street	PHONE: 505-506 -9144
CITY, STATE: Albuquere	
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
THE OF SUBMITIAE. **CONTINUE OF SUBMITIAE.** **CONTINUE	SIA/FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN 1 st SUBMITTAL	PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMIT APPROVAL $\Lambda D^{\prime\prime}$
GRADING PLAN	SECTOR PLAN APPROVAL
EROSION CONTROL PLAN	FINAL PLAT APPROVAL
ENGINEER'S CERT (HYDROLOGY)	FOUNDATION PERMIT APPROVAL
CLOMR/LOMR	BUILDING PERMIT APPROVAL
TRAFFIC CIRCULATION LAYOUT	CERTIFICATE OF OCCUPANCY
ENGINEER'S CERT (TCL)	GRADING PERMIT APPROVAL / \/
ENGINEER'S CERT (DRB SITE PLAN)	PAVING PERMIT APPROVAL
OTHER (SPECIFY)	WORK ORDER APPROVAL
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WAS A PRE-DESIGN CONFERENCE ATTENDED:	50- NJ W)
YES	
NO	
COPY PROVIDED	
DATE SUBMITTED: 7/5/2013	BY: Ir Casares

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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Rel Pond 99 (25×13)+ (3×5)+ (5×14/2)= 579 MODEL STREET SECTION 9B (22×8)+ 6.5×8)+ (80×1)-300 97 20×4.5

City of Albuquerque Planning Department

One Stop Shop – Development and Building Services

08/30/2013 Issued By: E08375 204860

Permit Number:

2013 060 146

Category Code 970

Application Number:

13REV-60146, Review: Drain Plan-Lomr-Traffic Impact

Address:

Location Description:

121 ELIZABETH

Project Number:

null

Applicant

Agent / Contact
JOE CASARES JR

Application Fees

REV Actions

\$50.00

TOTAL:

\$50.00

City of Albuquerque Treasury
Date:8/30/2013 Office:ANNEX
Stat ID:WS000007 Cashier:TRSDLF
Batch: 2506 Trans \$:47
Permit: 2013060146
Receipt Num 00150001
Receipt Num 00150001
Payment Total:\$50.00
909 REV Actions

\$50.00 00.00

REPLAT OF ALL OF BLOCKS 1 and 2 84 780 8 LOTS 1-7, BLOCK 3 LONGFIELD ADDITION (FILED: JUNE 18, 1953) LOT 12-A, BLOCK 1 LONGFIELD ADDITION Thus inclinated was their for record (FILED: JUNE 29, 1981) AND UNPLATTED LAND WITHIN SECTION 28, TION, R4E, N.M.PM. Ci recents of said County NOW COMPRISING Charles Contract Cont TRACTS A,B,C,D,E,F,G and H RK 1984 ALBUQUERQUE, NEW MEXICO SCALE: 1" = 60" MAY, 1984 The 10° private Droinage Easement dedicated with this plat is solely for the maintenance of historic drainage patterns and rates. SEE DETAIL UNPLATTED 38'E) 1129.39 100.38 150.46 Existing Utility Easement . 16" TRACT H 0.6870 Ac. 2 3 'y Easement -05 10' X 30' Anchor Edsement Existing Utility Ecsement 20' ALLEY VACATED 20' ALLEY VAC. ORD. 56-1970 3 N 87°16' 49"W_ (N87° 38' W) . 181.73<u>'</u>__ TRACT E TRACT F 1.0157 Ac. TRACT G 1.5105 Ac. :0 ZEL WACATED ÷Ū EAST Ť Ŧ ᄗ LONGFIELD ADDITION FILED' JUNE 18, 1953 (82-154) لنا S 07°41'10' $\mathbf{\omega}$ WALK VACATED - VAC GRO, 103-1973 5 ⋖ N G B SERVICE N82° 18' 50"W _ VAC. ORD. 150-1969 Ш 100.00 To be vocated with the filing of this plot <u>.00</u>, 100.00 SERVICE 60.00 820.78'~ ROAD LCHISELED "X" EAST CT 2 E PARK 63 16' 49"E State of New Mexico) Н County of Bernalillo) JOB NO. 31109 The foregoing instrument was acknowledged before day of May, 1984, by A. Dwain Weaver.

^

Olson, Greg

From: Olson, Greg

Sent: Friday, August 23, 2013 1:03 PM

To: 'JCII Groupl.com'

Cc: Olson, Greg

Subject: RE: K21-D034 = Hans-Wittler Automotive Addition (8/22 draft revision)

Joe,

I have reviewed your responses, and the revised plan, and have the following questions / requests:

1. Pond Volume: I have been using the average end area method, scaling areas at the 97, 98, 98.6, and 99 contours. I did another, more careful area take-off, and still only come up to 807 cf, vs. required 913 cf). A significant loss occurs where the berm cuts through the pond at elev. 98.6, coincident with the 5' utility easement. Also only 1-foot depth on the westerly portion reduces the capacity. If you can get more capacity, that would be ideal. If not, I think the routing of flows through the pond to an "emergency overflow" to Elizabeth St. (see comments 3 and 4 below) will adequately resolve this point.

More grades need to be provided at the SE corner of the pond, where the existing drive pad is proposed to be closed, including some back of sidewalk grades along the property (pond) boundary.

Will a header curb/wall be required along part of the south edge of the pond to build up the grades where the existing, adjacent pavement on the lot to the south is lower (99.17)? My specific concern is to ensure that any pond overflow goes out to Elizabeth St. and NOT onto the lot to the south.

A. Show how excess flows from the pond will overflow to the street. It looks like the existing grades near the N end of the pond may facilitate an overflow point that would allow the "Emergency Overflow" from the pond to drain down the reconstructed driveway entrance at the NE corner of the pond. To prevent street flows from backing up into the pond, it is necessary to keep that overflow grade top of curb, or at least 8" above street invert, unless you can demonstrate that street flows will be less than that depth. This may necessitate raising the top of pond elevation. The plus here will be resolution of the volume concern discussed above.

On the issue of confirmation of the drainage outfall at the NW corner, a copy of the plat language which created the outfall easement would be ideal.

Per our telephone conversation this afternoon please address these final notes on your plan and resubmit for approval for Building permit.

Thanks,

Greg Olson (505) 924-3994

From: JCII Groupl.com [mailto:jciigroup@gmail.com]

Sent: Thursday, August 22, 2013 11:06 PM

To: Olson, Greg **Cc:** 'Damian Chimenti'

Subject: RE: K21-D034 Hans-Wittler Automotive Addition - 6/17/13 Seal Date

Greg,

Below are responses to your comments. If you have time, please review the attached revised plan and let me know if you'd like to discuss additional changes.

Thanks,

Joe Casares, PE JCII Group, LLC 505-264-6918

From: Olson, Greg [mailto:grolson@cabq.gov]

Sent: Friday, August 16, 2013 4:56 PM

To: Joe Casares Jr

Cc: Olson, Greg; Biazar, Shahab

Subject: K21-D034 Hans-Wittler Automotive Addition - 6/17/13 Seal Date

Mr. Casares,

Per my phone message, this date, I have been reviewing your Grade and Drain submittal for the subject site, and have the following concerns:

1. The volume of the pond in Area C does not seem to total the 1,032 cf that you indicate. I get closer to 635 cf. The southern portion is only 1' deep.

The volume shown on the plan is derived from the Average End Area method. I've revised the calcs utilizing the Conic Approximation method. Result is slightly less at 921cf. Please let me know if there is another method you'd prefer.

- 2. Is the southeastern, 8' wrought iron, perimeter fence intended to be in the 2' deep retention pond?

 The fence has been moved back out of the pond. A portion of the block wall will be in the pond, however an opening will facilitate drainage.
- 3. Is it possible to route more of the Area B flows through curb openings to the northern swale, before discharging from the site?

Two additional curb opening have been added.

4. Shahab Biazar indicated to me that he previously requested that you provide documentation of the discharge rights or drainage easements at the historic outfall from the NW corner of the site. This documentation was not included in this submittal. Please provide verification.

We are currently looking into this and will provide appropriate documentation.

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Please send me an email or call with any questions, and to alert me if you resubmit through normal channels.

Sincerely,

Greg Olson, P.E. Sr. Engineer, Hydrology Planning/DRS

505-924-3981

Olson, Greg

From:

12

7

JCII Groupl.com [jciigroup@gmail.com]

Sent:

Thursday, August 22, 2013 11:06 PM

To:

Olson, Greg

Cc:

'Damian Chimenti'

Subject:

RE: K21-D034 Hans-Wittler Automotive Addition - 6/17/13 Seal Date

Attachments: Wittler Auto G&D revised 8-21-13.pdf

Greg,

Below are responses to your comments. If you have time, please review the attached revised plan and let me know if you'd like to discuss additional changes.

Thanks,
Joe Casares, PE
JCII Group, LLC
505-264-6918

From: Olson, Greg [mailto:grolson@cabq.gov]

Sent: Friday, August 16, 2013 4:56 PM

To: Joe Casares Jr

Cc: Olson, Greg; Biazar, Shahab

Subject: K21-D034 Hans-Wittler Automotive Addition - 6/17/13 Seal Date

Mr. Casares,

Per my phone message, this date, I have been reviewing your Grade and Drain submittal for the subject site, and have the following concerns:

1. The volume of the pond in Area C does not seem to total the 1,032 cf that you indicate. I get closer to 635 cf. The southern portion is only 1' deep.

The volume shown on the plan is derived from the Average End Area method. I've revised the calcs utilizing the Conic Approximation method. Result is slightly less at 921cf. Please let me know if there is another method you'd prefer.

- 2. Is the southeastern, 8' wrought iron, perimeter fence intended to be in the 2' deep retention pond?

 The fence has been moved back out of the pond. A portion of the block wall will be in the pond, however an opening will facilitate drainage.
- 3. Is it possible to route more of the Area B flows through curb openings to the northern swale, before discharging from the site?

Two additional curb opening have been added.

4. Shahab Biazar indicated to me that he previously requested that you provide documentation of the discharge rights or drainage easements at the historic outfall from the NW corner of the site. This documentation was not included in this submittal. Please provide verification.

We are currently looking into this and will provide appropriate documentation.

I apologize that I will be out of the office until Wednesday morning, 8/21.

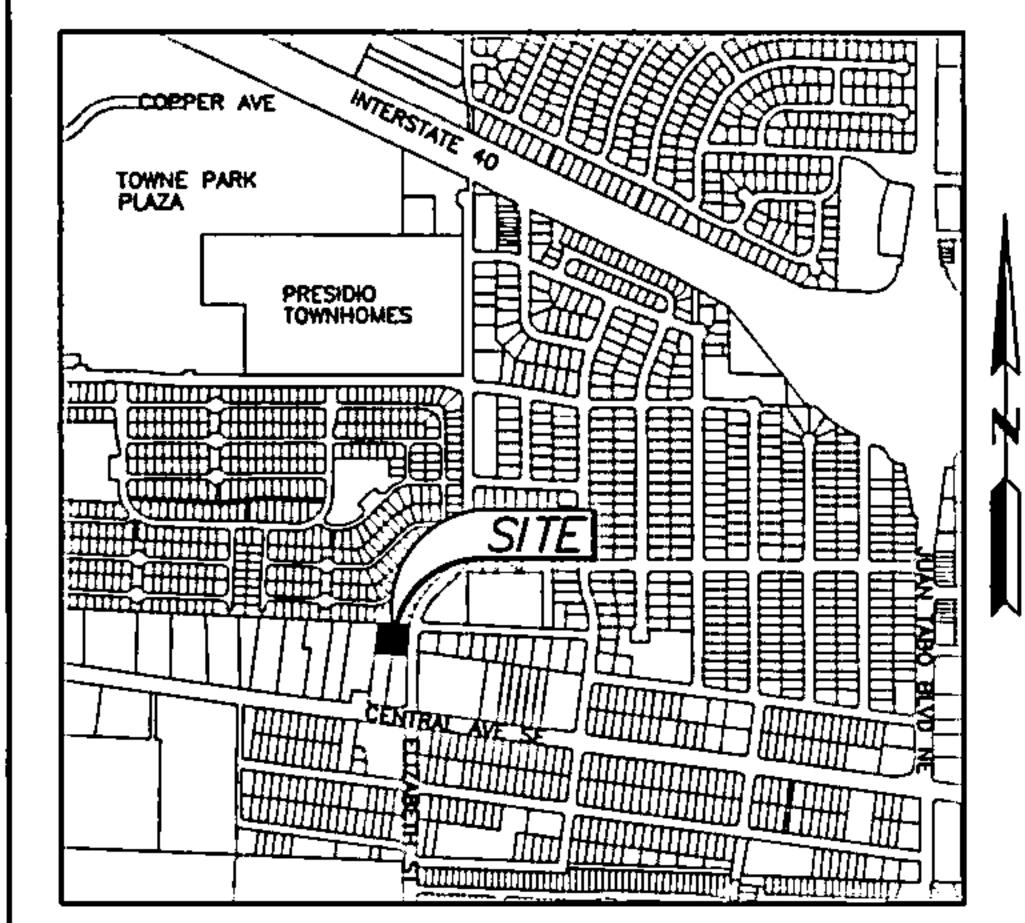
Since this submittal has been in our system since early July, I will commit to responding to any resubmittal within a few days of receipt.

Please send me an email or call with any questions, and to alert me if you resubmit through normal channels.

Sincerely,

Greg Olson, P.E. Sr. Engineer, Hydrology Planning/DRS

505-924-3981



SCALE: 1"=1000'± ZONE ATLAS MAP K-21

EXECUTIVE SUMMARY

THIS PLAN SERVES TO SUPPORT THE DEVELOPMENT OF AN ADDITION FOR HANS WITTLER AUTO. THE SITE IS LOCATED IN THE CITY OF ALBUQUERQUE AND IS KNOWN AS TRACT H OF THE LONGFIELD ADDITION THIS PARCEL IS LOCATED IN THE NORTHEAST ALONG ELIZABETH STREET. JUST NORTH OF CENTRAL AVENUE. THE SITE ADDRESS IS 121 ELIZABETH STREET NE. THE PROPOSED CONSTRUCTION CONSISTS OF NEW BUILDING, PARKING LOT IMPROVEMENTS, SITE WALLS, RETENTION BASINS. LANDSCAPE AND OTHER AMENITIES, OFF-SITE CONSTRUCTION WILL INCLUDE A DRIVE PAD AND SIDEWALK. THE SITE WILL BE DEVELOPED CONCURRENTLY AND NO PHASING IS PROPOSED, LOTS WITHIN THIS SUBDIMSION ARE FULLY DEVELOPED. ALSO, RIGHT-OF-WAY STREET PAVEMENT, CURB AND GUTTER, PUBLIC UTILITIES AND DRAINAGE STRUCTURES FOR THE LONGFIELD ADDITION ARE IN PLACE. DUE TO THESE DEVELOPMENTS, OFF-SITE STORMWATER SHOULD NOT IMPACT THIS SITE. IT IS PROPOSED THAT STORMWATER GENERATED ON-SITE WILL BE CONVEYED TO THE RIGHT-OF-WAY AND TO THE EXISTING DRAINAGE EASEMENT, FLOWS WILL NOT EXCEED HISTORIC VALUES.

PROJECT DESCRIPTION

AS SHOWN ON THE LOCATION MAP THE SITE (29,953 SF = APPROXIMATELY 0.688 ACRES) IS LOCATED IN THE CITY OF ALBUQUERQUE AT 121 ELIZABETH STREET NE. CURRENTLY THE SITE DEVELOPED. THE SITE IS PLATTED AS "ONE (1) TRACT OF LAND SITUATE WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN IN VALENCIA COUNTY, NEW MEXICO, BEING TRACT H, AS SUCH TRACT IS SHOWN ON THE REPLAT TITLED "TRACTS A. B. C. D. E. F. G. AND H. LONGFIELD ADDITION", FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON OCTOBER 12, 1984, IN PLAT CABINET C25, FOLIO 62." FURTHERMORE, THE SITE IS LOCATED IN FLOOD ZONE X AS INDICATED BY FIRM NUMBER 35001C0359G, RECORDED ON SEPTEMBER 26, 2008 BY THE FEMA.

BACKGROUND DOCUMENTS

PLAT, THE FIRM, THE COA DEVELOPMENT PROCESS MANUAL, THE SITE SURVEY, AND THE PROPOSED GRADING AND DRAINAGE PLAN WERE UTILIZED FOR THE EXECUTION OF THIS HYDROLOGY AND HYDRAULIC ANALYSIS.

EXISTING CONDITIONS

CURRENTLY THE SITE IS DEVELOPED AND CONTAINS AN EXISTING BUILDING, PAVEMENT, GRAVEL AREAS, CONCRETE AND FENCES. THERE IS VERY LITTLE VEGETATION ON THE PROJECT SITE. THE SITE NATURALL' EXIST WITH A HIGH POINT AND THEREFORE DRAINS TO THE ROW OF ELIZABETH STREET AND TO THE EXISTING DRAINAGE EASEMENT (DE). EXISTING RUN-OFF FLOW TO THE ROW IS DETERMINED TO BE 1.06 CFS. AND TO THE DE IS 2.07 CFS.

DEVELOPED CONDITIONS

THE PROPOSED ON-SITE CONSTRUCTION CONSISTS OF NEW BUILDING PARKING LOT IMPROVEMENTS, SITE WALLS, RETENTION BASINS, LANDSCAPE AND OTHER AMENITIES. OFF-SITE CONSTRUCTION WILL INCLUDE A DRIVE PAD AND SIDEWALK. STORMWATER GENERATED ON-SITE WILL BE SURFACE ROUTED AND DIRECTED TOWARDS ELIZABETH STREET (ROW) AND THE EXISTING 10' DRAINAGE EASEMENT (DE). RUN-OFF FLOW TO THE ROW AFTER DEVELOPMENT IS DETERMINED TO BE 1.05 CFS, AND TO THE DE IS 1.80 CFS. ONE ONSITE LANDSCAPED AREA WILL BE UTILIZED AS A RETENTION BASIN WITH A MAXIMUM DEPTH OF 2' AND WILL RETAIN STORMWATER RUNOFF FROM A PORTION OF THE SITE. OTHER LANDSCAPED AREAS WILL BE DEPRESSED SIX INCHES. THEREFORE PAVEMENT RUNOFF AND STORMWATER THAT FALLS IN THESE LANDSCAPED AREAS WILL SLOWLY PERCOLATE INTO THE GROUND AND SURROUNDING VEGETATION. ROOF RUN-OFF WILL BE CONVEYED UTILIZING ROOF SCUPPERS AND DOWNSPOUTS. DOWNSPOUTS WILL BE DIRECTED TOWARD PAVEMENT. THE RETENTION BASIN IS SIZED TO ACCOMMODATE THE 100-YR 24-HOUR EVENT FOR A PORTION OF THE SITE (SEE ANALYSIS).

VI. EROSION CONTROL

CURRENTLY 70% OF THE PARCEL IS HARD SURFACES (PAVEMENT ROOFTOPS AND CONCRETE). AFTER DEVELOPMENT APPROXIMATELY 92% OF THE SITE WILL BE MADE-UP OF CONCRETE, ASPHALT AND ROOFTOP. THE PROPOSED CONSTRUCTION WILL INCREASE THE AMOUNT OF IMPERVIOUS AREA BY 22%. PERMANENT EROSION CONTROL AT SURFACE FLOW CONCENTRATION POINTS WILL CONSIST OF RIPRAP.

VII. WATER QUALITY ENHANCEMENTS NO WATER QUALITY ENHANCEMENTS ARE PROPOSED.

VIII. GRADING PLAN

THE GRADING & DRAINAGE PLAN ON THIS SHEET SHOWS: . EX. SPOT ELEVATION AS TAKEN FROM RECENT TOPOGRAPHY . PROPOSED GRADES INDICATED BY SPOT ELEVATIONS 3. THE LIMITS AND CHARACTER OF THE EX. FEATURES TO REMAIN 4. THE LIMITS AND CHARACTER OF THE PROPOSED IMPROVEMENTS
5. CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES

<u> ANALYSIS</u>

THE CALCULATIONS HEREON ANALYZE THE HYDROLOGY FOR BOTH THE EXISTING AND DEVELOPED CONDITIONS (PRE AND POST) UPON A 100 YEAR, 24-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40 ACRES AND SMALLER BASINS, AS SET FORTH IN CHAPTER 22 OF THE DEVELOPMENT PROCESS MANUAL (DPM), VOLUMI 1997 REVISIONS IS USED TO QUANTIFY THE PEAK RATE OF DISCHARGE (Q) AND VOLUME (V) OF ON-SITE STORMWATER RUN-OFF. ALL DATA UTILIZED FOR ANALYSIS CAN BE FOUND BELOW UNDER SITE CHARACTERISTICS. RESULTS ARE PRESENTED BELOW.

HYDROLOGY ANALYSIS FOR PEAK RATE OF DISCHARGE (Q) AND PEAK VOLUME (V)

SITE CHARACTERISTICS:

DRAINAGE AREA = (SEE PRE AND POST-DEVELOPMENT MAP) LAND TREATMENT (DPM CH. 22, TABLE A-4) IMPERVIOUS = D

PERVIOUS = C=GRAVEL & B=LANDSCAPE PRECIPITATION ZONE = 3 (DPM CH. 22, TABLE A-1)

POST-DEVELOPMENT: PRE-DEVELOPMENT: DRAINAGE AREA "A" DRAINAGE AREA "A" 684 sf = 7.3% PERV. (C750 sf = 7.9% PERV. (B)8,730 sf = 92.1% IMPERV.8,669 sf = 92.7% IMPERVANALYSIS RESULTS ANALYSIS RESULTS Q = 1.06 cfs $Q \approx 1.05 \text{ cfs}$

DRAINAGE AREA "B" 8,401 sf = 40.8% PERV. (C)12,199 sf = 59.2% IMPERV.ANALYSIS RESULTS Q = 2.07 cfsV = 3.811 cf

V = 2.143 cf

DRAINAGE AREA "B' 566 sf = 3.6% PERV. (B)15,271 sf = 96.4% IMPERV.ANALYSIS RESULTS Q = 1.80 cfsV = 3,687 cf

V = 2.142 cf

× ± 07.23

PROVIDE THREE

12"W X 8"H

● EL=96.55±

SITE WALL PER TYP. (H)

F. R. SET

PRE-DEVELOPMENT/EX. TOPOGRAPHY

SCALE: 1"=40'

DRAINAGE AREA "C" 1,168 sf = 25.2% PERV. (B) 3.468 sf = 74.8% IMPERV.ANALYSIS RESULTS Q = 0.47 cfsV = 913 cf (RETAINED)

RETENTION BASIN DESCRIPTION AND VOLUME (V) CALCULATION: THE PROPOSED RETENTION BASIN FOR AREAS "C" IS POLYGONAL AND WILL BE 24" DEEP (SEE PLAN). THE VOLUME IS CALCULATED AS FOLLOWS;

RETENTION BASIN "C" POLYGONAL CHARACTERISTICS: TOP PERIMETER AREA = 895 SF BOTTOM PERIMETER AREA = 137 SF

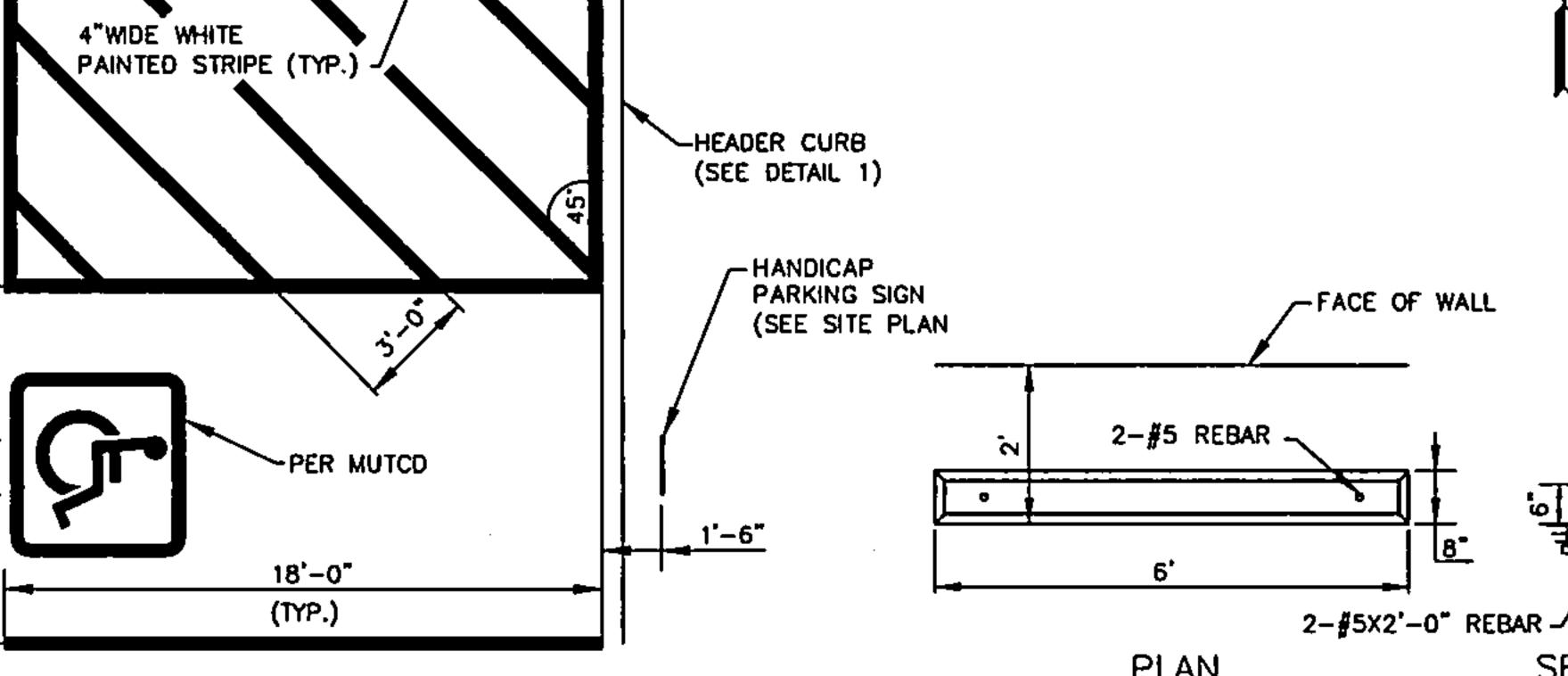
DEPTH = 2.00 FT $V = (2.00 \text{ FT/3})[895 \text{ SF} + 137 \text{ SF} + (895^{1}37)^{0.5}] = 921CF$

HE PROPOSED SITE WILL ADEQUATELY CONVEY STORMWATER GENERATED ON-SITE BY A 100 YEAR, 24-HOUR STORM EVENT IF CONSTRUCTED IN STRICT ACCORDANCE WITH THE IMPROVEMENTS SHOWN ON THIS GRADING AND DRAINAGE PLAN, FURTHERMORE, THE SITE HYDRAULICS WILL ALLOW 1.05 CFS OF STORMWATER TO RUN OFF INTO THE ROW, AND 1.80 CFS INTO THE EXISTING DRAINAGE EASEMENT. MORE SPECIFICALLY AND IN ACCORDANCE WITH THE ABOVE ANALYSIS, STORMWATER RUNOFF FROM; DRAINAGE AREA "A" WILL SHEET FLOW TO ELIZABETH STREET, DRAINAGE AREA "B" WILL SHEET FLOW TO THE EXISTING DRAINAGE EASEMENT, AND DRAINAGE AREA "C" WILL BE RETAINED ON-SITE. ALL ON-SITE STORM DRAINAGE FACILITIES WILL BE PRIVATELY OWNED, OPERATED AND

TOP OF FINISHED LANDSCAPE OR GRAVEL -HEADER CURB -SITE WALL PER (SEE DETAIL 1) - ARCHITECT (SEE DETAIL 2)

SWALE DETAIL

SCALE: 1/2"=1'-0"



3 HC PARKING SPACE DETAIL

SCALE: 1/4" = 1'-0"

<u>PLAN</u> PARKING BUMPER SCALE: 1/2"=1'

SECTION

LANDSCAPE ASPHALT #4 O 12" HORIZONTAL -2500 PSI (MIN.) CONCRETE --- PROVIDE 8" SUBGRADE PREPARATION COMPACTED TO 95% MAX DRY DENSITY AND PER ASTM D-1557 OR PER SOILS REPORT HEADER CURB

AREA "B"

RETENTION BASIN "C

POST-DEVELOPMENT

SCALE: 1"=40'

" ASPHALT CONCRETE SURFACE, COURSE SP TYPE C (PG 70-22).
INSTALLED IN TWO LIFTS 8" SUBGRADE PREPARATION COMPACTED TO 95% MAX MARSHALL DENSITY AND ▼ PER ASTM D-1557 6" AGGREGATE BASE COURSE-<u>ASPHALT</u> AROFESS ION

PAVEMENT SECTION

SCALE: 1/2"=1'

GRADING & DRAINAGE GENERAL

AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. ROW WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH COA SPECIFICATION AND DETAILS.

TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990), FOR LOCATION OF EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES AND OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR WILL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P, AND LOCAL ORDINANCES.

5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO KNOW AND COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970".

CONTRACTOR SHALL SCARIFY TO A DEPTH OF 8" AND RECOMPACT SUBGRADE TO 95% MAX. DENSITY AS DETERMINED BY ASTM D-1557 UNLESS NOTED OTHERWISE.

CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING BORROW MATERIAL OR HAULING OFF EXCESS MATERIAL

8. WHEN ABUTTING NEW CONCRETE TO EXISTING, CUT BACK EXISTING TO A NEAT STRAIGHT LINE TO REMOVE ANY BROKEN OR CRACKED CONCRETE, AND MATCH NEW TO EXISTING

9. EXERCISE CARE TO AVOID DISTURBING EXISTING UTILITIES, AND COORDINATE WITH THE UTILITY COMPANIES IN ORDER TO PREVENT ANY SERVICE DISRUPTION.

10. CONSTRUCTION AREAS SHALL BE WATERED OR OTHERWISE KEPT DUST FREE, CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND ADHERING TO AN APPROVED SWPPP IF MORE THAN ONE ACRE IS DISTURBED.

. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL DEMOLITION DEBRIS. WORK MATERIALS SHALL BE DISPOSED OF IN A CITY APPROVED WASTE AREA. IN ACCORDANCE WITH ALBUQUERQUE SPECIFICATIONS.

12. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED UTILITY LINES THAT ARE EXPOSED AS A RESULT OF CONSTRUCTION. COORDINATE WITH THE UTILITY OWNER.

13. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH "AS-BUILT" PLANS.

14. THE CONTRACTOR AGREES TO TAKE NECESSARY SAFETY PRECAUTIONS AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC IN THE CONSTRUCTION AREA, WHICH INCLUDE BUT ARE NOT LIMITED TO: MAINTAINING ADEQUATE WARNING SIGNS, BARRICADES, LIGHTS, GUARD FENCES, WALKS AND

15 CONTRACTOR SHALL ADJUST CLEANOUT RIMS, VALVE CANS, AND OTHER SURFACE UTILITIES AS NEEDED TO MATCH FINISHED ELEVATIONS.

16, ALL LANDSCAPED AREAS SHALL BE DEPRESSED 6" (MIN.) BELOW ADJACENT CONCRETE UNLESS OTHERWISE NOTED IN THESE PLANS, COORDINATE WITH LANDSCAPE PLANS.

17. A STRUCTURAL ENGINEER SHALL ANALYZE THE PROPOSED AND EXISTING BLOCK WALLS. FENCING, AND BUILDINGS FOR STABILITY UNDER SATURATED CONDITIONS.

18. COORDINATE WITH STRUCTURAL AND ARCHITECTURAL PLANS FOR ADDITIONAL DETAILS.

9. COORDINATE WITH THE CHOINEER FOR ANY CHANGES MADE TO THESE PROPOSED IMPROVEMENTS QUE TO CONFLICTS WITH OTHER ENGINEERING OR DESIGN ASPECTS.

20. PROJECT BENCHMARK & ALBUQUERQUE CITY SURVEY MONUMENT "5_K20" ELEV.=5429.99

CONSTRUCTION NOTES

A CONTRUCT 4" THICK CONCRETE (2500 PSI) WALKWAY WITH 6"X6"X#10. WIRE MESH. PROVIDE 🎳 PER 1' SLOPE (MIN.) AWAY FROM BUILDING. FINISH PER OWNER.

CONSTRUCT SWALE PER DETAIL 4, THIS SHEET, TOP OF FINISHED LANDSCAPE (OR GRAVEL) TO BE AT ELEVATION AS SHOWN ON PLAN.

C. CONSTRUCT HEADER CURB (APPROX. 267 L.F.) PER DETAIL 1, THIS SHEET.

D. CONSTRUCT CONCRETE DRIVE PAD PER COA DETAIL 2425. MAINTAIN EXISTING GUTTER FLOWLINE, COORDINATE WITH SITE PLAN FOR SIZE.

CONSTRUCT NEW ASPHALT SECTION (APPROX 1,555 S.Y.) PER DETAIL 2, THIS SHEET, COORDINATE WITH SOILS REPORT RECOMMENDATIONS.

499.22 F. CONSTRUCT 6' WIDE RIGHT-OF-WAY SIDEWALK (APPROX. 28 S.Y.) WITH CURB & GUTTER (APPROX. 42 L.F.) PER COA DETAIL 2430 AND 2415A.

> . CONSTRUCT CONCRETE PAD (APPROX. 28 S.Y.) PER SIZE AS SHOWN, PROVIDE 6" THICK CONCRETE (4000 PSI) WITH 1' TURNDOWN EDGE, OVER 4" MAT OF 3/4" BASE COURSE. PROVIDE 6"X6"X#10 GAUGEWIRE MESH REINFORCING, INSTALL BOLLARDS AS SHOWN. FILL EACH BOLLARD WITH CONCRETE. SEE SITE PLAN FOR ADDITIONAL DETAILS.

. STRIPE PARKING WITH 4" WIDE WHITE PAVEMENT PAINT, PROVIDE HANDICAP PARKING SPACE PER DETAIL 3. ADD BUMPERS TO SPOTS ADJACENT TO WALL PER DETAIL 5. PROVIDE STRIPED WALKWAY AS SHOWN.

REMOVE EXISTING OBSTRUCTION. COORDINATE WITH OWNER FOR SALVAGE. IF UTILITY, COORDINATE REMOVAL WITH APPROPRIATE UTILITY COMPANY.

PROVIDE 3' CURB OPENING TO FACILITATE DRAINAGE, AND PROVIDE 6"-8" RIPRAP AT 1' THICK (APPROX. 3 C.Y.) TO BOTTOM OF SWALE.

K. CONSTRUCT RETENTION BASIN PER CONTOUR ELEVATIONS SHOWN.

JCII GROUP, LLC. 505-264-6918 JCIIGROUP @GMAIL.COM ALBUQUERQUE, NEW MEXICO

DAMIAN CHIMENTI INSIGHT CONSTRUCTION 3909 12TH STREET ALBUQUERQUE, NM 87104

WITTLER AUTO IMPROVEMENTS GRADING AND DRAINAGE PLAN

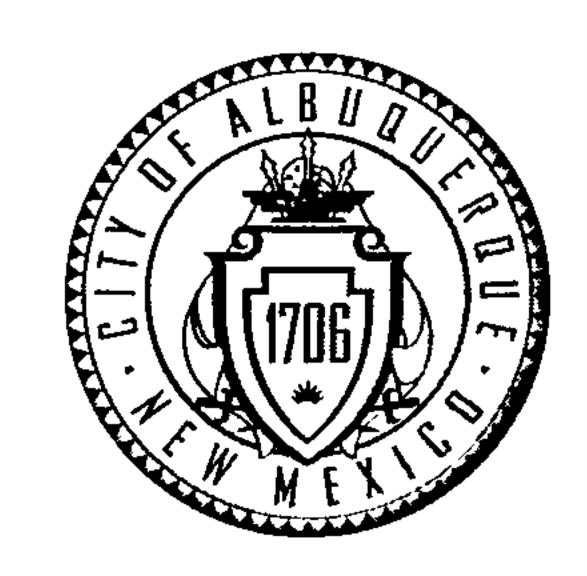
HYDROLOGIC ANALYSIS

JC 08-21-13

498.13 498.22 99.69 TA + 499.68 GRADING & DRAINAGE PLAN SCALE: 1"=20'

SCALE: 1"=1'-0"

NEW ADDITION TEE-409.60



Planning Department Transportation Development Services

July 3, 2014

Gordon Allan Hall, R.A. Design 2 Function, LLC P.O. Box 93368 Albuquerque, NM 87199

Re: Hans Wittler Automotive, 121 Elizabeth St.

90-Day Temporary Certificate of Occupancy- Transportation Development

Architect's Stamp dated 03-05-14 (K21-D034)

Certification dated 06-26-14

Dear Mr. Hall,

Based upon the information provided in your submittal received 07-01-14, Transportation Development has no objection to the issuance of a <u>90-day Temporary Certificate of Occupancy</u>. This letter serves as a "green tag" from Transportation Development for a <u>90-day Temporary Certificate of Occupancy</u> to be issued by the Building and Safety Division.

PO Box 1293

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

Albuquerque

 As requested in your TCL approval letter, please provide a Permanent Sidewalk Easement.

New Mexico 87103

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3630.

www.cabq.gov

Sincerely,

Racquel M. Michel, P.E.

Senior Engineer, Planning Dept. Development Review Services

C:

CO Clerk

File

•



City of Albuquerque

Planning Department

Development & Building Services Division

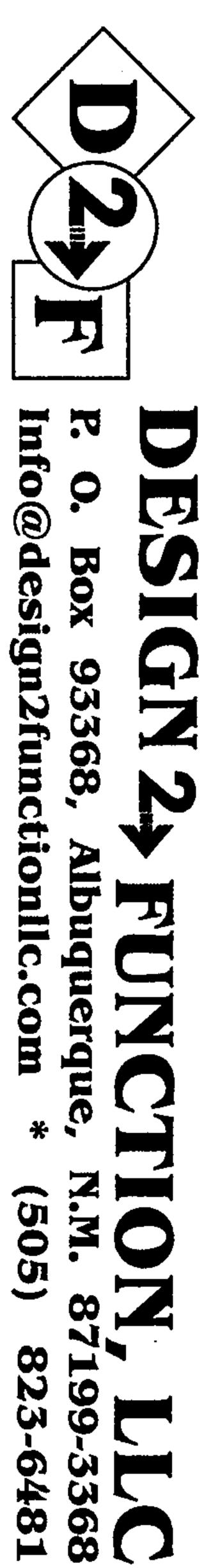
DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Hans Wittler Automotive	Building Permit #:	City Drainage #:5
DRB#: EPC#:		Work Order#:
Legal Description: Lot H, Longfield Addn		
City Address: 121 Elizabeth ST NE, Albuqueruqe.	NM 87123	······································
Engineering Firm:		Contact:
Address:		
Phone#: Fax#:	· · · · · · · · · · · · · · · · · · ·	E-mail:
Owner: Hans Wittler Automotive	N A OCT 1 OC	Contact: Roger Wittler
Address: 121 Elizabeth ST NE, Albuquerque, N		T
Phone#: 505-294-7684 Fax#: 505-	<u> 296-2394 </u>	E-mail: rwittler@comcast.net
Architect: Design 2 Function, LLC	4.00	Contact: Nick Pirkl
Address: P.O. Box 93368, Albuquerque, NM 87		- " 1.6 10.611
Phone#: 505-823-6481 Fax#: 505-	823-6481	E-mail: nick@d2fllc.com
Surveyor: TM Surveying, INC.		Contact: Tim Martinez
Address: 1130 La Vega Rd Bosque Farms, NM		
Phone#: 505-869-0711 Fax#: 505-	<u>869-0499</u>	E-mail: tmsurv@aol.com
Contractor: Insight Construction		Contact: Damian Chimenti
Address: 3909 12th Street Albuquerque, NM 87	107	
Phone#: 505-888-7927 Fax#:		E-mail: damian@insightnm.com
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROV	AL/ACCEPTANCE SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARAN	TEE RELEASE
DRAINAGE PLAN 1st SUBMITTAL	PRELIMINARY PLAT APPR	ROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D	APPROVAL
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMI	T APPROVAL
GRADING PLAN	SECTOR PLAN APPROVAL	`
EROSION & SEDIMENT CONTROL PLAN (ESC)	FINAL PLAT APPROVAL	\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \
ENGINEER'S CERT (HYDROLOGY)	X CERTIFICATE OF OCCUPA	ANCY (PERM)
CLOMR/LOMR	CERTIFICATE OF OCCUPA	ANCY (TCL TEMP)
TRAFFIC CIRCULATION LAYOUT (TCL)	FOUNDATION PERMIT AP	PROVAL
X ENGINEER'S CERT (TCL)	BUILDING PERMIT APPRO	OVAL
ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPRO	VAL SO-19 APPROVAL
ENGINEER'S CERT (ESC)	PAVING PERMIT APPROV	AL ESC PERMIT APPROVAL
SO-19	WORK ORDER APPROVAL	ESC CERT. ACCEPTANCE
OTHER (SPECIFY)	GRADING CERTIFICATION	OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED:	Yes X No Co	py Provided
DATE SUBMITTED: June 27, 2014	By: Nick Pirkl	

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4. Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



June 26, 2014

City of Albuquerque Transportation Division

Re: Wittler Automotive, 121 Elizabeth

Project number: 1007974

Zone Map:

UPC#: 102--105-621-852-320-

Legal Description: Lot H, Longfield Addn

TRAFFIC CERTIFICATION

I, Gordon Allan Hall, NMRA, of the firm Design 2 Function, LLC hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL approved plan dated 3/5/14 (approved on 4/7/14). The record information edited onto the original design document has been obtained by Tim Martinez of the firm TM Surveying Inc. on 4/9/14. I further certify that I have personally visited the project site on 6/25/14 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Final Certificate of Occupancy. survey data provided is whedre and belief. This

The following items have been modified:

been removed.

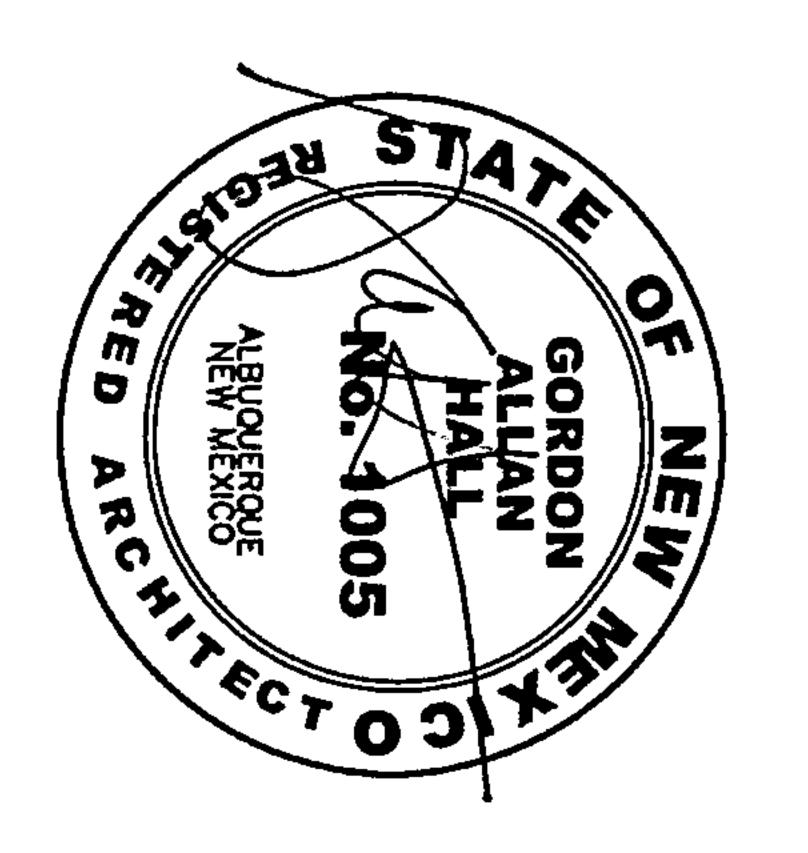
E---

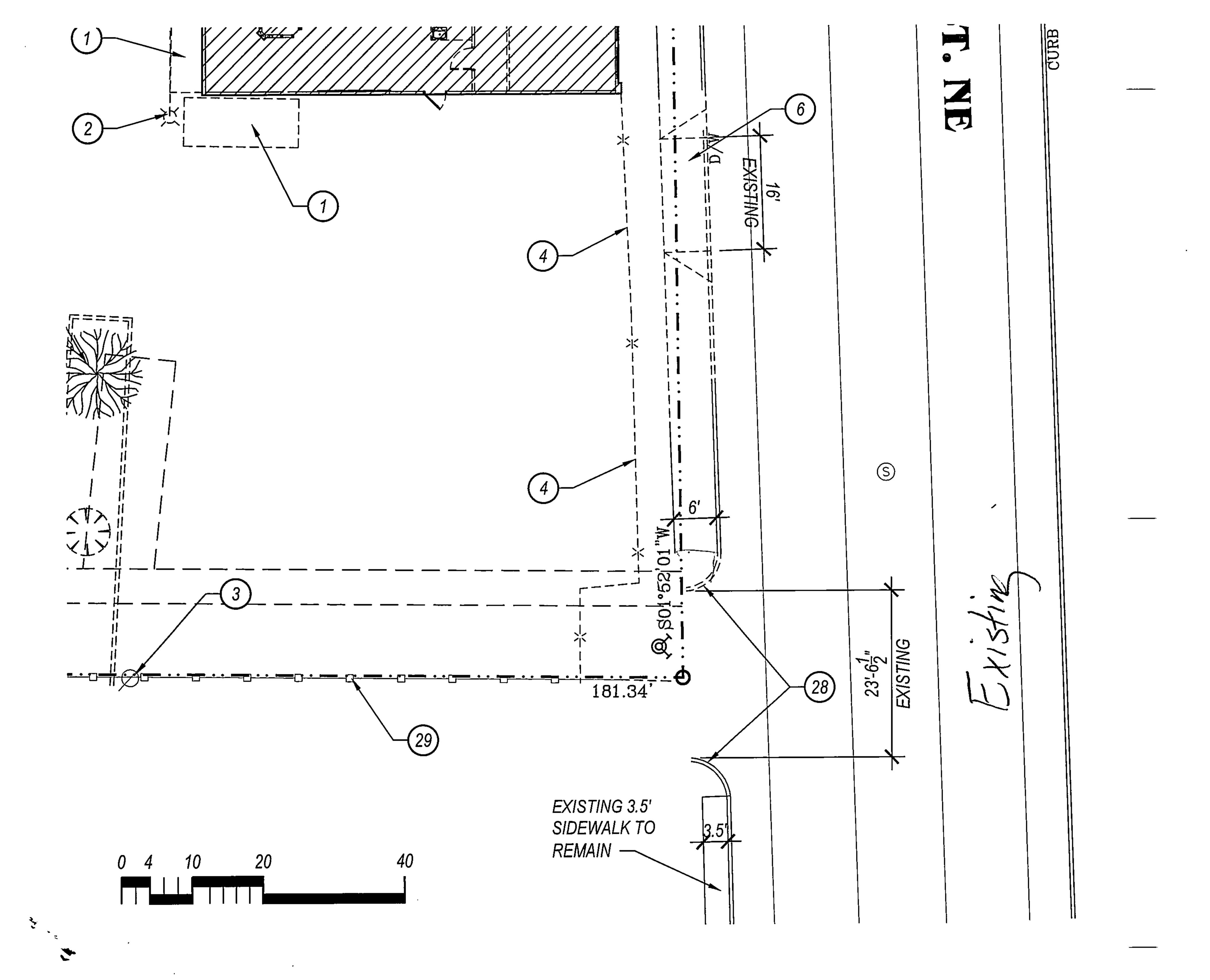
- *i*⊘ :-ine interior gate a and gate at the sti was The parking bumpers for the The interior gate at the SW c discussed with pers for the vehicle storage spaces have been at the SW comer of the New Dropoff/Pickup treet was et was increased in height as per the David Kirkpatrick with Zoning. Zoning requirement. has been deleted. This change The fence
- ဣ was approved by The new Fire Hydrant shown in the SE corner of the the Fire Marshall. site was not installed. This change

advised to obtain independent verification of its substantial compliance of the traffic The record information presented here aspects of this on is not necessarily complete accuracy before project. Those using it for any relying on the and intended only to verify other purpose. record document are

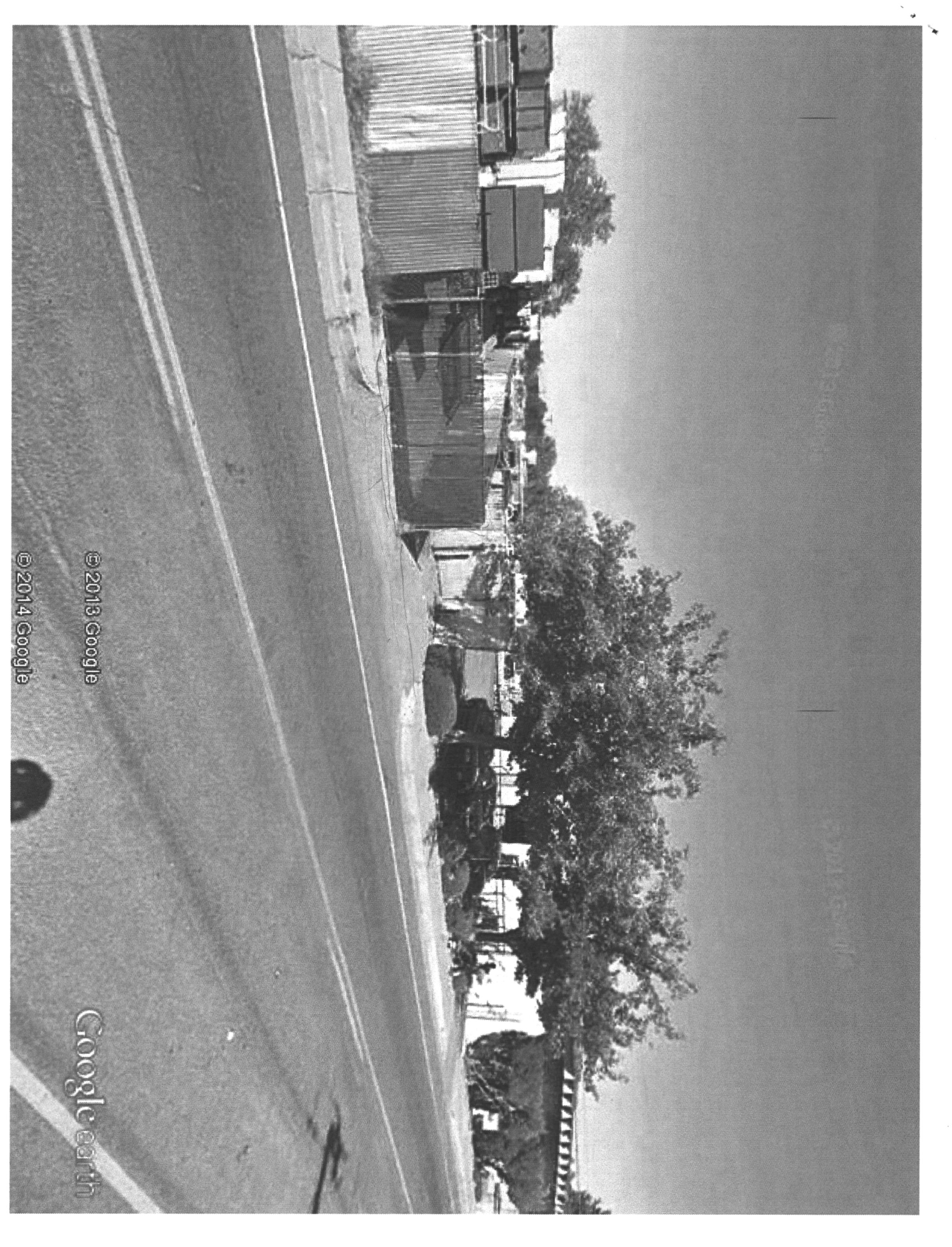
Design 2

Gordon Allan Hall





IRED PARKING SPACES 172 = "8-8" = 51" "9-'8 **1** 91 S.F.



700gle earth

meters -

9

Second Supplied Suppl

Beck, Cynthia

K21-D034

From:

Beck, Cynthia

Sent:

Friday, February 14, 2014 10:29 AM

To:

'Nick@design2functionIlc.com'

Subject: RE: Wittler Auto

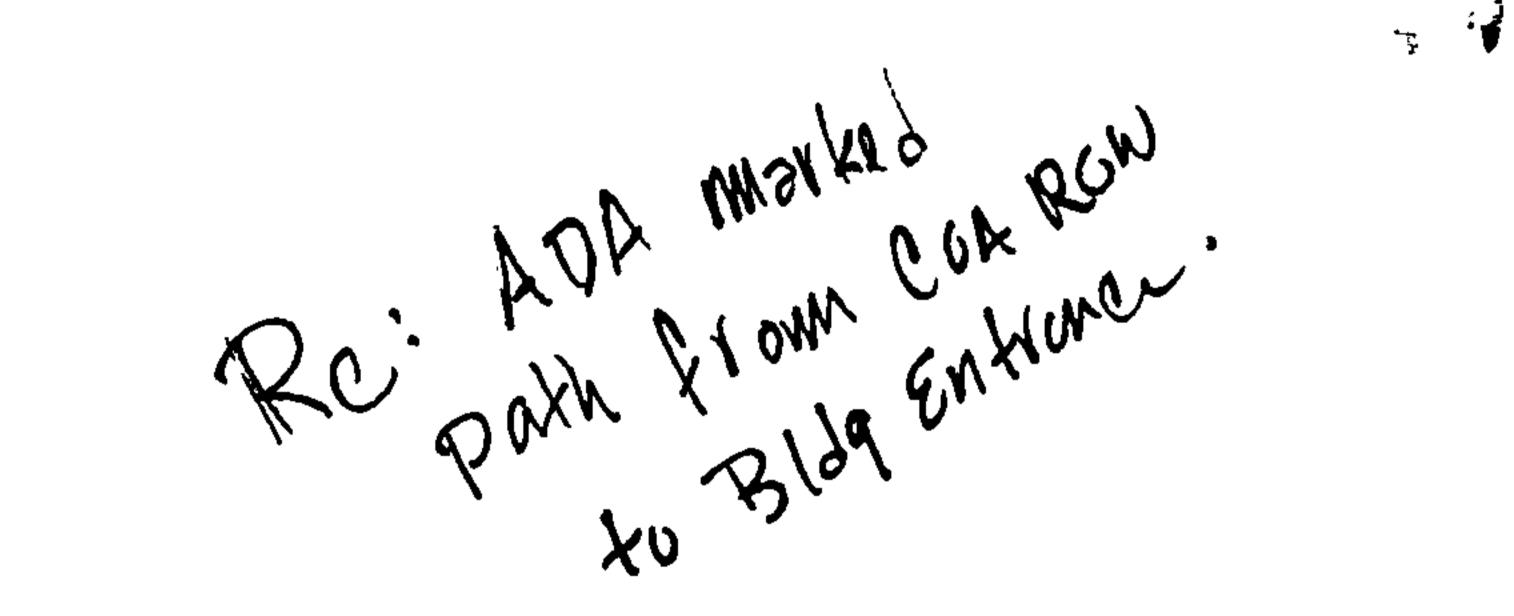
Nick,

Per our phone conversation, 2/14/14, please remove the pavement striping (Key note 26) from the TCL presented in your latest attachment. As discussed, the striping is within the vehicle driveway, running parallel to the vehicle path and is not a safe choice for a designated pedestrian path. Zoning requires an ADA accessible path from the COA ROW to the building but does not require the path to be delineated. As long as the approved TCL meets Zonings requirement for pedestrian accessibility, the DPM request for a designated path is waived for this site.

Thank you for your cooperation.

Cynthia K Beck

Associate Engineer, Planning Dept. Development & Review Services 600 2nd St. NW Suite 201 Albuquerque NM 87102 (505) 924-3924



From: Nick Pirkl - D2F [mailto:nick@design2functionllc.com]

Sent: Friday, February 14, 2014 10:02 AM

To: Beck, Cynthia

Subject: RE: Wittler Auto

Cynthia,

Please see the attached revised plan. I removed the clouding but I did make the following changes:

- 1. Revised the accessible parking details to address the accessible parking requirements.
- 2. Added a note under the parking calculations to paint "compact" at each space and have shown it on the plan.
- 3. Added the dimension for the gate.

Regarding the access from the ROW, I can't put a curb there because it will conflict with the entry into the drop off bay. At this point, I don't know how we can change it. I understand your concern, but realistically, patrons will be using the parking lot to drop off or pickup their cars. I don't think there will be very many "walk-ins".

Thanks,

Nick Pirkl
Design 2 Function, LLC
P.O. Box 93368
Albuquerque, NM 87199
Ph/Fax: 505-823-6481
nick@design2functionllc.com

From: Beck, Cynthia [mailto:cbeck@cabq.gov]
Sent: Thursday, February 13, 2014 4:12 PM

To: Nick@design2functionllc.com

Subject: RE: Wittler Auto

Nick,

Looks good...almost.

The gate opening is about 8-9 ft then? Please label.

The compact spaces need to be labeled "compact" at each stall.

Please reference attachment regarding recently revised ADA Parking requirements. The HC posted sign must say "violators will be towed" and the striping on the handicap access aisle must be blue with "No Parking" at the end of aisle.

The 6 ft ADA pedestrian path from ROW sidewalk to the building runs parallel with the vehicular pathway....a nonounless there is a barrier to prevent vehicle from crossing into the ped. path. Did we discuss this and ok because of hardship?? Is it possible for you to throw in an asphalt curb along the striped path? Pretty please.

The HC path is perpendicular to vehicular traffic so it is acceptable. Also the paths does not go behind parking stalls, another no-no...so that's a relief.

Have I made my concern clear?

Best Regards,

Cynthia K Beck

Associate Engineer, Planning Dept. Development & Review Services 600 2nd St. NW Suite 201 Albuquerque NM 87102 (505) 924-3924

From: Nick Pirkl - D2F [mailto:nick@design2functionlic.com]

Sent: Thursday, February 13, 2014 3:46 PM

To: Beck, Cynthia Subject: Wittler Auto

Cynthia,

Thanks for discussing the site plan changes with me earlier today. Please see the attached revised plan. I reworked the NE area of the site. I left the existing driveway the entire width so the Refuse truck can still access the container. I think it will work since I added some protection for the parking spaces. I did lose a couple, but still have enough to meet the parking demand and the car storage amount the Owner wanted.

I left keyed note #5 on the demolition plan since I had reworded it to indicate existing driveway to remain. Let me know if you see anything else that needs to change so I can meet with Zoning and make sure they are okay with the changes.

Thanks,

Nick Pirkl
Design 2 Function, LLC
P.O. Box 93368
Albuquerque, NM 87199
Ph/Fax: 505-823-6481
nick@design2functionIIc.com

DISCLAIMER: This e-mail, including attachments, may include confidential and/or proprietary information, and may be used only by the person or entity to which it is addressed. Any unauthorized review, use, disclosure or dissemination is strictly prohibited. If you received this e-mail in error, please notify the sender by reply e-mail and delete this e-mail immediately.

(EXIST)

- DETAILS FOR, AND EXTEND ALL UTILITIES TO, THE PROJECT AS REQUIRED (WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE, ETC.). VERIFY ALL SERVICES WITH OWNER PRIOR TO COMMENCING WORK
- ALL SIDEWALKS TO BE 4" THICK MINIMUM, 4000 PSI CONCRETE, BROOM FINISH WITH 1/8" PER 1'-0" MAXIMUM CROSS SLOPE, OVER COMPACTED GRADE UNLESS NOTED OTHERWISE ON GRADING PLAN. PROVIDE EXPANSION JOINTS EVERY 4-0" LINEAR FEET AND CONTROL JOINTS EVERY 20-0". LINEAR FEET TOOL EDGES WITH 1/4" Ø FINISHING TOOL PROVIDE 6" WIDE X 12" DEEP TURN DOWN EDGE AT CURBS AND ADJACENT TO PAVING. REINFORCE TURNDOWNS WITH #4 BAR CONTINUOUS
- ALL PAVING TO BE TYPE "C" PER C.O.A. STANDARD DRAWING #2400 AND ADDITIONALLY REFERENCED STANDARDS. PAVING IN DRIVE LANES TO BE 3" A.C. OVER 6" A.B.C. OVER 6" MINIMUM SUBGRADE PREPARATION. PAVING IN PARKING AREA CAN BE REDUCED TO 2° A C OVER
- 4" A B.C. OVER 6" MINIMUM SUBGRADE PREPARATION. ALL STRIPING TO BE PER MUTCO STANDARDS FOR TRAFFIC PAINT AND SHALL BE WHITE IN COLOR UNLESS NOTED OTHERWISE. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED.
- WHITE ON BLUE IN EACH ACCESSIBLE PARKING STALL ALL HEADER CURBS, MEDIAN AND STANDARD CURB & GUTTERS TO BE CONSTRUCTED PER C O A STANDARD DRAWINGS #2415A AND #2415B.
- DRIVEPAD ENTRANCES SHALL BE CONSTRUCTED PER C.O.A. STANDARD DRAWING #2425. DRIVEWAY ENTRANCES (CURB RETURNED) SHALL BE CONSTRUCTED PER C.O.A. STANDARD DRAWING #2426 ALLEY ENTRANCES SHALL BE CONSTRUCTED PER C.O.A. STANDARD DRAWING
- CONCRETE PARKING BUMPERS TO BE 7-0" WIDE MINIMUM, SLOT BOTTOM AND REINFORCED WITH AT LEAST (2) #3 BARS TYPICAL ANCHOR TO PAVING WITH WITH (2) 18" LONG #6 DOWELS TYPICAL
- RIBBON STYLE BICYCLE RACKS TO BE 3' LONG X 42" HIGH, 2" Ø PAINTED STEEL PIPE INSET INTO 10° Ø X 16° DEEP POOTINGS. PROVIDE 3° MINIMUM CLEARANCE FROM STEEL TO SOIL

O RADIUS LEGEND

①•	1'-0" RADIUS	② •	2'-0" RADIUS	① •	3'-0" RADIUS
⊙•	5-0" RADIUS	③ -	10'-0" RADIUS	•	15-0° RADIUS
⑦•	20'-0" RADIUS	•	25-0" RADIUS	•	30°-0° RADIUS
•	35'-0" RADIUS	<u> </u>	39'-0" RADIUS	12 •	49'-0" RADIUS
① *	50'-0" RADIUS	€.	55'-0" RADIUS		

PARKING CALCULATIONS

OFFICE SPACE	= 1,186 S.F. NET/200	= 593 = 6 SPACES
SERVICE BAYS	<u> </u>	= 622 = 7 SPACES
TOTALS	■ 7,405 S.F	=13 SPACES REQUIRED

TOTAL SPACES PROVIDED = 13 (INCLUDES 1 VAN ACCESSIBLE SPACE 1 1-25)

MOTORCYCLE SPACES REQUIRED = 1 1-25 SPACES = 1 SPACE PROVIDED

BICYCLE SPACES REQUIRED = 1 PER 20 VEHICLE SPACES REQUIRED (2 MINIMUM) = 2 SPACES REQUIRED 5 BICYCLE SPACES PROVIDED.

27 VEHICLE STORAGE SLOTS PROVIDED

NOTE. ALL SMALL CAR SPACES SHALL BE LABELED "COMPACT" AS SHOWN

- REMOVE EXISTING FENCING AND GATES AS SHOWN.
- EXISTING DRIVEWAY TO REMAIN. EXISTING DRIVEWAY TO BE REBUILT
- REMOVE EXISTING LANDSCAPING AND PLANTER AS SHOWN
- EXPAND EXISTING DRIVEWAY PER COA STANDARD DETAIL #2425 SPECIFICALLY SECTIONS A-A AND E-E. PROVIDE SIDEWALK EASEMENT AS REQUIRED.
- NEW 8' TALL CAPU WALL
- 8' TALL OPAQUÉ ROLLING GATE
- 8' TALL WROUGHT IRON FENCING WITH CMU PILASTERS AS SHOWN.
- NEW HEADER CURBOR MEDIAN CURB (CONTRACTOR OPTION) TYPICAL UNLESS NOTED
- OTHERWISE PER COA STANDARD DETAIL 2415B KEY PAD FOR MOTORIZED ROLLING ENTRY GATE
- 6' SIDEYARD LANDSCAPING BUFFER AS REQUIRED BY THE ZONING DEPARTMENT HATCH PATTERN INDICATES EXISTING AND NEW LANDSCAPING.
- NEW CITY SIDEWALK, PER COA DETAIL#2430 AND STANDARD CURB & GUTTER PER COA DETAIL #2415A PROVIDE SIDEWALK EASEMENT AS REQUIRED
- EXISTING REFUSE LOCATION TO REMAIN.
- MOTORIZED WROUGHT IRON ROLLING SECURITY GATE
- NEW BIKE RACK, 5 SPACES.
- ASPHALT PAVING, SEE GENERAL NOTES FOR REQUIREMENTS.
- MOTORCYCLE PARKING SPACE 4"-0" WIDE BY 8"-0" DEEP MINIMUM. PAINT PAVEMENT AS SHOWN AND PROVIDE THE WORDS 'MOTOR CYCLE PARKING ONLY' ON PAVEMENT. PROVIDE A SIGN. CENTERED ON THE PARKING AREA 12 WIDE BY 18" TALL, 5"-0" FROM FINISH GRADE TO THE BOTTOM OF THE SIGN THAT STATES "MOTORCYCLE PARKING ONLY" SIGN DETAILS SHALL BE SIMILAR TO HANDICAP SIGN DETAIL #3 ON THIS SHEET
- VAN ACCESSIBLE HANDICAP PARKING SPACES WITH SIGNS CENTERED ON EACH STALL AS SHOWN. BOTTOM OF SIGNS SHALL BE AT LEAST 60° FROM FINISHED GRADE AND SHALL CONTAIN THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AS WELL AS THE DESIGNATION "VAN ACCESSIBLE' SEE DETAIL#3 ON THIS SHEET
- PROPOSED FIRE HYDRANT LOCATION 2 HYDRANTS (2.250 GPM) ARE REQUIRED FOR 7,405 S F OF TYPE V-B CONSTRUCTION PER IFC TABLES B105 1 AND C105.1 VERIFY FINAL LOCATION WITH FIRË MARSHALL
- EXISTING 6' WIDE CITY SIDEWALK TO REMAIN. PROVIDE SIDEWALK EASEMENT AS REQUIRED. PROVIDE (28) 4" HIGH X 72" WIDE RECYCLED PLASTIC OR CONCRETE PARKING BUMPERS 24" FROM WALL AS SHOWN AT ALL PARKING STALLS ADJACENT TO THE PROPERTY LINE OR CMU
- PROVIDE 6'-0" WIDE PAINTED STRIPING PEDESTRIAN WALKWAY FROM CITY SIDEWALK TO MAIN
- ENTRANCE AS SHOWN. PROVIDE 6'-0" WIDE PAINTED STRIPING PEDESTRIAN WALKWAY FROM ACCESSIBLE PARKING SPACE TO PEDESTRIAN WALKWAY (NOTE #26) AS SHOWN.
- REMOVE EXISTING CURB CUT AND REPLACE WITH NEW CITY SIDEWALK, PER COA DETAIL#2430 AND STANDARD CURB & GUTTER PER COA DETAIL #2415A. PROVIDE SIDEWALK EASEMENT AS REQUIRED.
- EXISTING CHAINLINK FENCE TO REMAIN.

CITY OF ALBUQUERQUE NOTES

- THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN*
- THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR <u>TEMPORARY</u> CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
- ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL. INSPECTION, FOR TEMPORARY CO., WILL BE SCHEDULED.
- ALL SIDEWALK AND C&G IN DISREPAIR WILL BE REMOVED AND REPLACED.
- CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER, OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
- CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.



SKYLINE RD. NE

DESIGN DATA:

PROJECT INFORMATION

OWNER

HANS WITTLER AUTOMOTIVE 121 EUZABETH ST NE ALBUQUERQUE, NM 87123 505-294-7684

LEGAL DESCRIPTION: ZONING: LOT AREA ZONE ATLAS PAGE

LOT H, LONGFIELD ADDITION SU-3, EG-C 29,953 S.F. L-21

102-105-621-852-320-521



DESIGN 2 FUNCTION, I

P.O. BOX 93368 **ALBUQUERQUE**

NEW MEXICO 87189-3361

Info@design2function#c.com

505-823-8481, 505-934-04741

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10/15/13 2/14/14

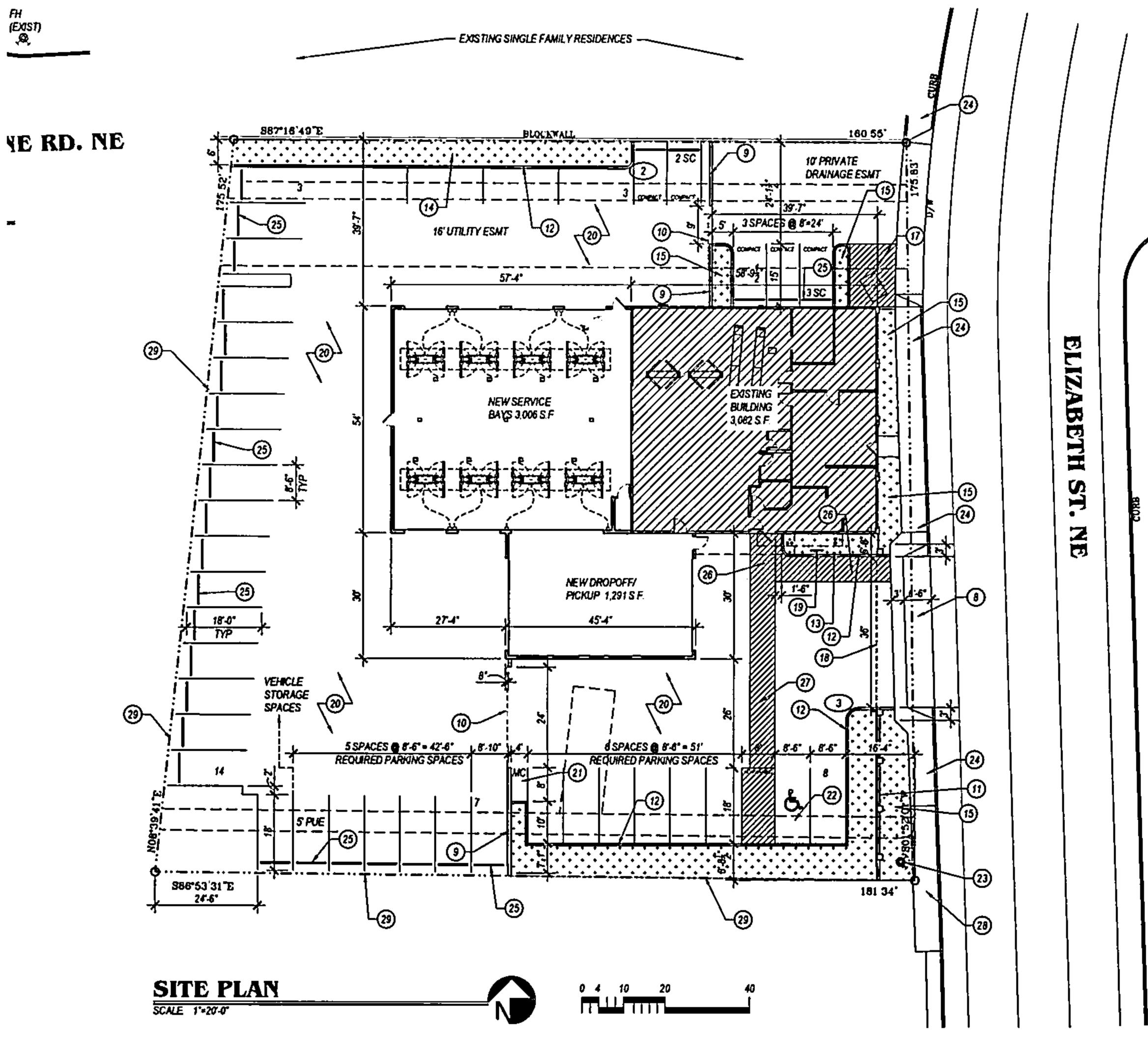
PROJECT MANAGER: NICK PIRKL

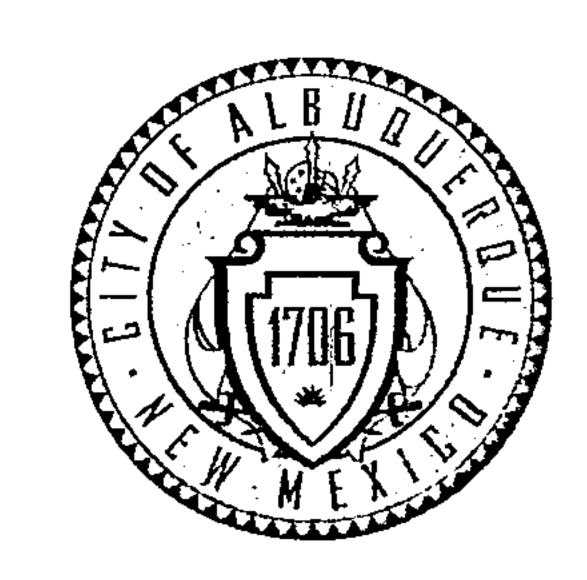
DRAWN BY

SHEET TITLE SITE PLAN

C1.1

SHEET:





February 21, 2014

Gordon Allan Hall, R.A. C/o Nick Pirkl Design 2 Function, LLC P.O. Box 93368 Albuquerque, NM 87199

Re: Hans Wittler Automotive, 121 Elizabeth St. NE, Traffic Circulation Layout, Architect's Stamp dated 2-14-14 (K21-D034)

Dear Mr. Pirkl,

Based upon the information provided in your submittal received 2-20-14, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 1. The development of this site must be in compliance with current DPM and ADA standards and regulations
- 2. The demolition plan indicates a shared driveway on the adjacent lot to the south to be removed and replaced with new sidewalk, standard curb & gutter.
 - Is neighbor using this drivepad for vehicle access?
 - Is there an agreement with neighbor to close drivepad?
 - Please label width of existing driveway to be demo'd.
- 3. The demolition plan indicates existing driveway to the north to remain. Please provide existing details and dimensions.
 - Drivepad does not appear to be compliant with current DPM and ADA standards.
 - Drivepad appears to be asphalt with an inverted crown, and no ADA pedestrian sidewalk.
 - Drivepad is proposed to be the access for Refuse, and therefore drivepad/sidewalk must be reinforced concrete, 6inch thick. Please provide details or reference COA Std. Dwg #2428 for Alley Intersection.
- 4. Please label existing drivepad width proposed to be "expanded" to 36 ft wide.

For further inquires, please contact me.

Cynthia K Beck Associate Engineer, Planning Department Development & Review Services (505) 924-3924

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

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Albuquerque - Making History 1706-2006

Google earth

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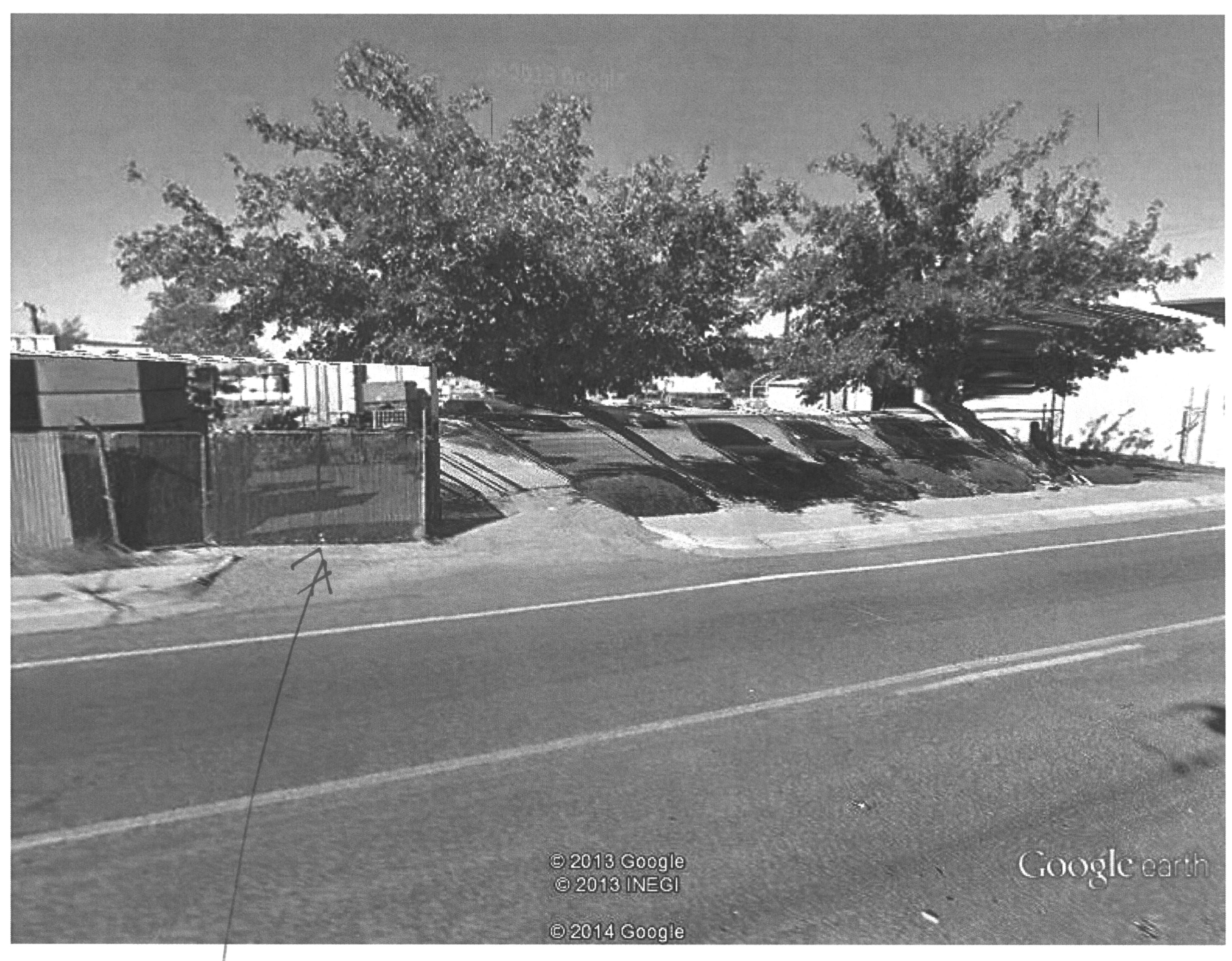
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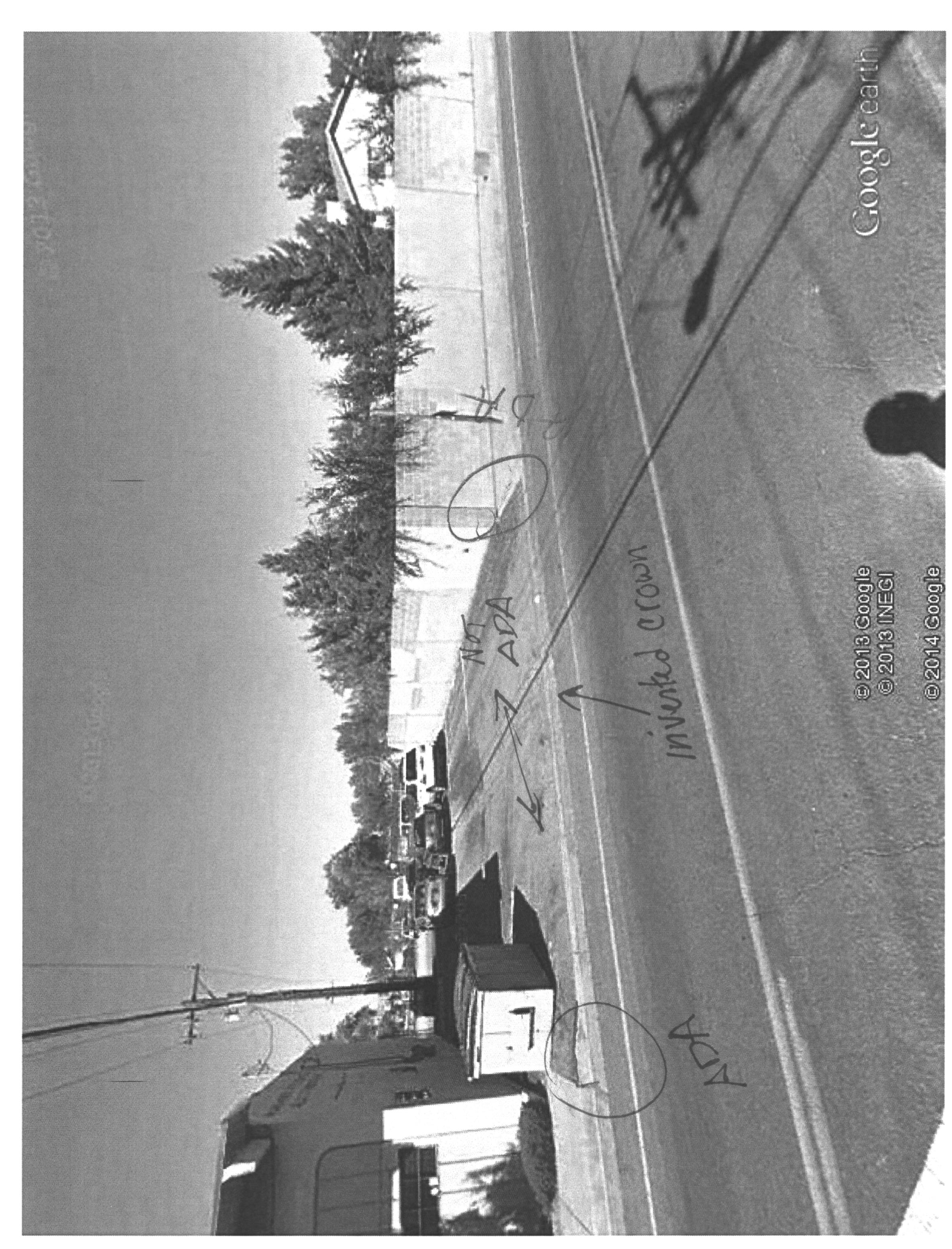
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121 Elizabeth NE

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Shoud drive." 1/18 2.21.14

F.12 K21-D034



Google earth

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121 Elizabeth NE.
NORTHERN DRIMBOUGH

12 be Replaced of AZAZ

Ally Drivis/SidowM # ZAZ

File K21-D034



Beck, Cynthia

From:

Beck, Cynthia

Sent:

Tuesday, June 11, 2013 10:09 AM

To:

'Nick Pirkl'

Subject:

FW: easement

Attachments: Easement.doc

Nick,

Regarding the TCL approval for Hans Wittler's Auto:

Sidewalk easement: see attachment for paper easement. Your surveyor must submit to COA Planning prior to Certificate of Occupancy.

The width of the public sidewalk must follow city requirements based on the classifications of the roadway and any reigning sector plans for the area. If there is sufficient COA ROW available to provide 4 the required width of sidewalk then it is not the owners obligation to place sidewalk within the private property simply to maintain the width of the existing sidewalk. Currently, you reported the existing sidewalk is 6 feet. Please research what is required and follow that design. If it turns out that only 4 feet of sidewalk is required and the COA ROW provides 4 ft, then that is the width required by the owner of the frontage property. If the owner desires to provide a wider sidewalk for continuity, access, or such, and it crosses property lines, then a sidewalk easement is required. Please call me if I have not made myself clear.

Shared Curb Cut/ Driveway at north-end of property: prior to any work, CMU wall, wrought iron fence, landscaping and new fire hydrant, your surveyor needs to confirm that there is no access agreement in place between properties. Once this has been established, the abandoned driveway must be replaced with sidewalk, curb and gutter per DPM standards.

hope this is helpful.

Cynthia K. Beck Associate Engineer, COA Planning and Transportation **Development Review Services**

From: Woodall, Stephen P.

Sent: Tuesday, June 11, 2013 9:33 AM

To: Beck, Cynthia **Subject:** easement

Stephen Woodall PRC Chairman 924~3993

June 6, 2013, 2013

Gordon Allan Hall, R.A. C/o Nick Pirkl Design 2 Function, LLC P.O. Box 93368 Albuquerque, NM 87199

Re: Hans Wittler Automotive, 121 Elizabeth St. NE, Traffic Circulation Layout, Architect's Stamp dated 5-30-13 (K21-D034)

Dear Mr. Pirkl,

Based upon the information provided in your submittal received 5-31-13, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 1. Define width of the existing sidewalk. Note #24 added, 6' wide
- 2. Keyed note #16, new city sidewalk, needs to include new curb and gutter per COA detail #2415A. Modified note to include standard C&G.
- 3. Does the COA sidewalk encroach onto private property? If so, a Sidewalk Easement will need to be obtained. Yes. Easement note added to #24.
- 4. Show a detail of the wheelchair ramps located at the proposed driveway, or refer to the appropriate city standard. Note #8 refers to 2425.
- 5. The site plan indicates an existing curb cut between site and adjacent property to the north. This curb cut must be removed and replaced with sidewalk, curb and gutter per COA standards. Existing note #5 modified to reference #16.
- 6. Parking areas shall have barriers which prevent vehicle encroachment and which shall be located two feet from any abutting lot, wall or fence. New note #25 added.
- 7. Pedestrian walkway shall be provided from street sidewalk to the principal customer entrance. It shall be a minimum of six feet in width, unobstructed, clearly demarcated, and ADA accessible. New note #26 added.
- 8. Pedestrian walkways shall be provided from handicap parking access aisle to the principal customer entrance. It shall be a minimum of six feet in width, unobstructed and clearly demarcated, and ADA accessible. New note #27 added.
- 9. General site note F should read "per MUTCD standards" not NMSHTD. Existing note changed to reference MUTCD.

If you have any questions, you can contact me at 924-3924.

Sincerely,

Cynthia K. Beck Associate Engineer, Planning Dept. Development Review Services

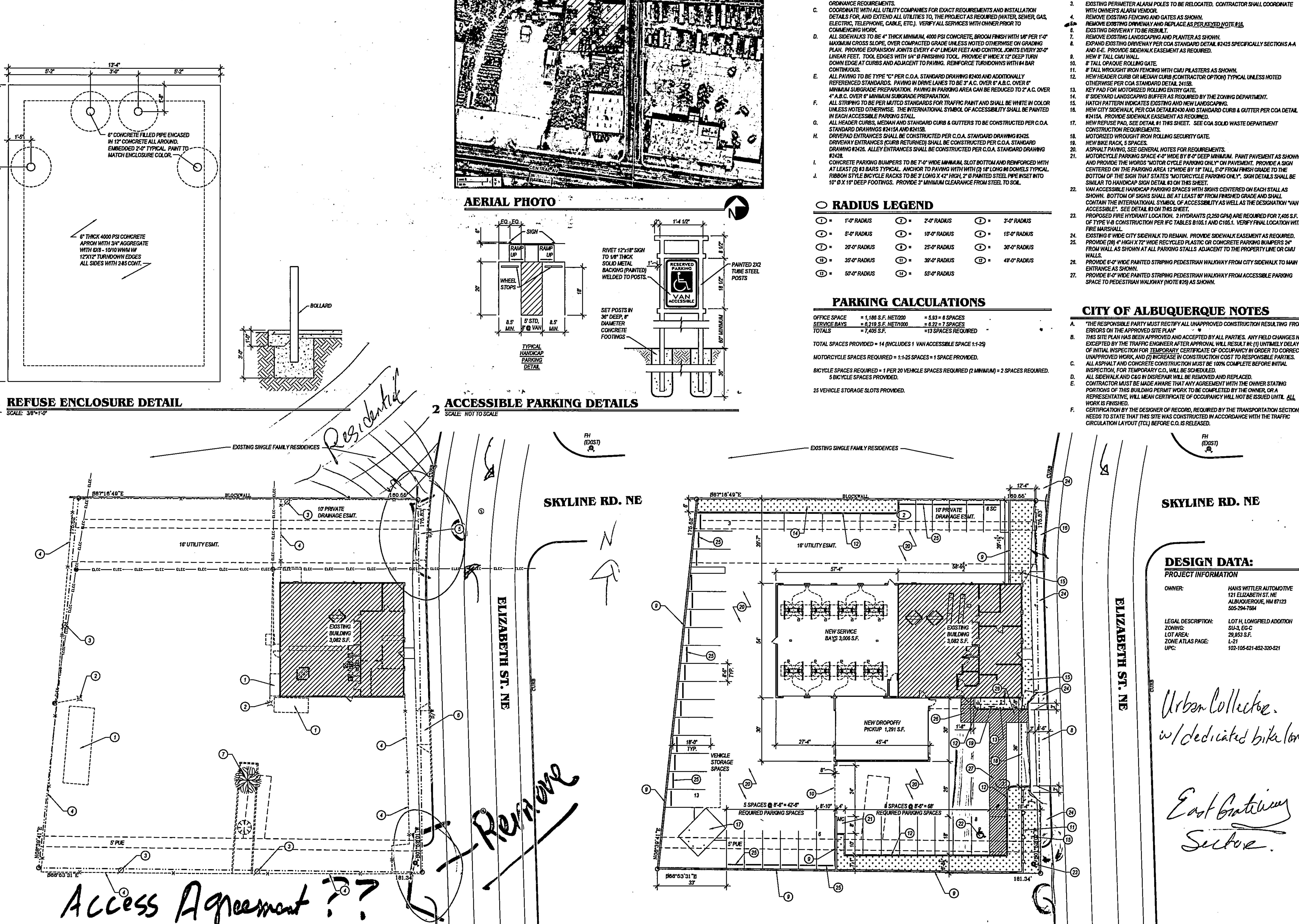
C: File

PO Box 1293

Albuquerque

New Mexico 87103

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EXISTING PERIMETER ALARM POLES TO BE RELOCATED. CONTRACTOR SHALL COORDINATE

WITH OWNER'S ALARM VENDOR. REMOVE EXISTING FENCING AND GATES AS SHOWN.

REMOVE EXISTING DRIVEWAY AND REPLACE AS PER KEYED NOTE #16.

EXISTING DRIVEWAY TO BE REBUILT.

REMOVE EXISTING LANDSCAPING AND PLANTER AS SHOWN.

EXPAND EXISTING DRIVEWAY PER COA STANDARD DETAIL #2425 SPECIFICALLY SECTIONS A-A AND E-E. PROVIDE SIDEWALK EASEMENT AS REQUIRED.

10. 8' TALL OPAQUE ROLLING GATE.

MLL SHE LIGHTING SHALL BE BUILDING MOUNTED FIXTURES. FIXTURES SHALL MEET MIGHT SKI

11. B' TALL WROUGHT IRON FENCING WITH CMU PILASTERS AS SHOWN.

12. NEW HEADER CURB OR MEDIAN CURB (CONTRACTOR OPTION) TYPICAL UNLESS NOTED OTHERWISE PER COA STANDARD DETAIL 2415B.

14. 6' SIDEYARD LANDSCAPING BUFFER AS REQUIRED BY THE ZONING DEPARTMENT. HATCH PATTERN INDICATES EXISTING AND NEW LANDSCAPING.

NEW CITY SIDEWALK, PER COA DETAIL#2430 AND STANDARD CURB & GUTTER PER COA DETAIL #2415A. PROVIDE SIDEWALK EASEMENT AS REQUIRED.

NEW REFUSE PAD, SEE DETAIL #1 THIS SHEET. SEE COA SOLID WASTE DEPARTMENT

MOTORIZED WROUGHT IRON ROLLING SECURITY GATE.

19. NEW BIKE RACK, 5 SPACES.

ASPHALT PAVING, SEE GENERAL NOTES FOR REQUIREMENTS.

MOTORCYCLE PARKING SPACE 4'-0" WIDE BY 8'-0" DEEP MINIMUM. PAINT PAVEMENT AS SHOWN AND PROVIDE THE WORDS "MOTOR CYCLE PARKING ONLY" ON PAVEMENT, PROVIDE A SIGN CENTERED ON THE PARKING AREA 12 WIDE BY 18" TALL, 5-0" FROM FINISH GRADE TO THE BOTTOM OF THE SIGN THAT STATES "MOTORCYCLE PARKING ONLY". SIGN DETAILS SHALL BE SIMILAR TO HANDICAP SIGN DETAIL #3 ON THIS SHEET.

22. VAN ACCESSIBLE HANDICAP PARKING SPACES WITH SIGNS CENTERED ON EACH STALL AS SHOWN. BOTTOM OF SIGNS SHALL BE AT LEAST 80" FROM FINISHED GRADE AND SHALL CONTAIN THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AS WELL AS THE DESIGNATION "VAN

ACCESSIBLE". SEE DETAIL #3 ON THIS SHEET. 23. PROPOSED FIRE HYDRANT LOCATION. 2 HYDRANTS (2,250 GPM) ARE REQUIRED FOR 7,405 S.F. OF TYPE V-B CONSTRUCTION PER IFC TABLES B105.1 AND C105.1. VERIFY FINAL LOCATION WITH

24. EXISTING 6' WIDE CITY SIDEWALK TO REMAIN. PROVIDE SIDEWALK EASEMENT AS REQUIRED. 25. PROVIDE (28) 4" HIGH X 72" WIDE RECYCLED PLASTIC OR CONCRETE PARKING BUIMPERS 24"

28. PROVIDE 6'-0' WIDE PAINTED STRIPING PEDESTRIAN WALKWAY FROM CITY SIDEWALK TO MAIN

ENTRANCE AS SHOWN.

27. PROVIDE 8'-0" WIDE PAINTED STRIPING PEDESTRIAN WALKWAY FROM ACCESSIBLE PARKING

CITY OF ALBUQUERQUE NOTES

"THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN* * *

THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR <u>TEMPORARY</u> CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.

ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION, FOR TEMPORARY C.O., WILL BE SCHEDULED. ALL SIDEWALK AND CAG IN DISREPAIR WILL BE REMOVED AND REPLACED.

CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER, OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL

CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.

SKYLINE RD. NE

DESIGN DATA:

PROJECT INFORMATION

HANS WITTLER AUTOMOTIVE 121 ELIZABETH ST. NE

ALBUQUERQUE, NM 87123

102-105-621-852-320-521

NEW MEXICO 87199 info@design2function(505-823-6481, 505-934-0 C 2013 Design 2 Functi INSIG

DESIGN 2> FUNCTIO P.O. BOX 9336E

ALBUQUERQUE

HEN VEROCE



June 26, 2013, 2013

Gordon Allan Hall, R.A.

C/o Nick Pirkl

Design 2 Function, LLC

P.O. Box 93368

Albuquerque, NM 87199

Re: Hans Wittler Automotive, 121 Elizabeth St. NE, Traffic Circulation Layout, Architect's Stamp dated 6-18-13 (K21-D034)

Dear Mr. Pirkl,

The TCL submittal received 6-26-13 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.

PO Box 1293

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

New Mexico 87103

Albuquerque

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely

Cynthia K. Beck

Associate Engineer, Planning Dept.

Development Review Services

C:File



DATE SUBMITTED:

OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

June 26, 2013

City of Albuquerque

Planning Department

LAND DEVELOPMENT SECTION Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMA (REV 02/2013)		TION SHEET K21-D
Project Title: Hans Wittler Automotive	Building Permit #:	City Drainage #:
DRB#: EPC#:		Work Order#:
Legal Description: Lot H, Longfield Addn		
City Address: 121 Elizabeth ST NE, Albuqueruqe	e, NM 87123	
Engineering Firm:		Contact:
Address:		
Phone#: Fax#:	<u>.</u>	E-mail:
Owner: Hans Wittler Automotive	· <u></u>	Contact: Roger Wittler
Address: 121 Elizabeth ST NE, Albuquerque, N	VM 87123	
Phone#: 505-294-7684 Fax#: 505	-296-2394	E-mail: rwittler@comcast.net
Architect: Design 2 Function, LLC		Contact: Nick Pirkl
Address: P.O. Box 93368, Albuquerque, NM 8'	7199	
Phone#: 505-823-6481 Fax#: 505		
Surveyor: TM Surveying, INC.		Contact: Tim Martinez
Address: 1130 La Vega Rd Bosque Farms, NM	87068	· · · · · · · · · · · · · · · · · · ·
e#: 505-869-0711 Fax#: 505-869-0499		E-mail: tmsurv@aol.com
Contractor: Insight Construction		Contact: Damian Chimenti
Address: 3909 12th Street Albuquerque, NM 87	7107	
Phone#: 505-888-7927 Fax#:		E-mail: damian@insightnm.com
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROV	AL/ACCEPTANCE SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARAN	TEE RELEASE
DRAINAGE PLAN 1st SUBMITTAL PRELIMINARY PLAT API		ROVAL
DRAINAGE PLAN RESUBMITTAL S. DEV. PLAN FOR SUB'D		APPROVAL
CONCEPTUAL G & D PLAN S. DEV. FOR BLDG. PERM		IT APPROVAL
GRADING PLAN APPROVA		L
EROSION & SEDIMENT CONTROL PLAN (ESC) FINAL PLAT APPROVAL		
ENGINEER'S CERT (HYDROLOGY) CERTIFICATE OF OCCUP		ANCY (PERM)
CLOMR/LOMR CERTIFICATE OF OCCUPA		ANCY (TCL TEMP)
X TRAFFIC CIRCULATION LAYOUT (TCL)	FOUNDATION PERMIT AF	PROVAL
ENGINEER'S CERT (TCL)	X BUILDING PERMIT APPRO	OVAL
ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPRO	OVAL SO-19 APPROVAL
ENGINEER'S CERT (ESC)	PAVING PERMIT APPROV	AL ESC PERMIT APPROVAL
SO-19	WORK ORDER APPROVA	L ESC CERT. ACCEPTANCE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the followin

By: Nick Pirkl

Yes X No

GRADING CERTIFICATION

Copy Provided

- Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

5 Gets letter. Response Cub.

OTHER (SPECIFY)



Design 2 Function comments/responses are in RED.

June 6, 2013, 2013

Gordon Allan Hall, R.A. C/o Nick Pirkl Design 2 Function, LLC P.O. Box 93368 Albuquerque, NM 87199

Re: Hans Wittler Automotive, 121 Elizabeth St. NE, Traffic Circulation Layout, Architect's Stamp dated 5-30-13 (K21-D034)

Dear Mr. Pirkl,

Based upon the information provided in your submittal received 5-31-13, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 1. Define width of the existing sidewalk. Note #24 added, 6' wide
- 2. Keyed note #16, new city sidewalk, needs to include new curb and gutter per COA detail #2415A. Modified note to include standard C&G.
- 3. Does the COA sidewalk encroach onto private property? If so, a Sidewalk Easement will need to be obtained. Yes. Easement note added to #24.
- 4. Show a detail of the wheelchair ramps located at the proposed driveway, or refer to the appropriate city standard. Note #8 refers to 2425.
- 5. The site plan indicates an existing curb cut between site and adjacent property to the north. This curb cut must be removed and replaced with sidewalk, curb and gutter per COA standards. Existing note #5 modified to reference #16.
- 6. Parking areas shall have barriers which prevent vehicle encroachment and which shall be located two feet from any abutting lot, wall or fence. New note #25 added.
- 7. Pedestrian walkway shall be provided from street sidewalk to the principal customer entrance. It shall be a minimum of six feet in width, unobstructed, clearly demarcated, and ADA accessible. New note #26 added.
- 8. Pedestrian walkways shall be provided from handicap parking access aisle to the principal customer entrance. It shall be a minimum of six feet in width, unobstructed and clearly demarcated, and ADA accessible. New note #27 added.
- General site note F should read "per MUTCD standards" not NMSHTD.
 Existing note changed to reference MUTCD.

If you have any questions, you can contact me at 924-3924.

Sincerely,

Cynthia K. Beck Associate Engineer, Planning Dept. Development Review Services

LAND DEVELOPMENT SECTION there is no existing easement

P.S. As requested in your email on 6/11/13, we have confirmed that there is no existing easement for the current curb cut/driveway on the south east corner of the property. This driveway will be abandoned and replaced with sidewalk, curb and gutter per DPM Standards (see note #28).

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov