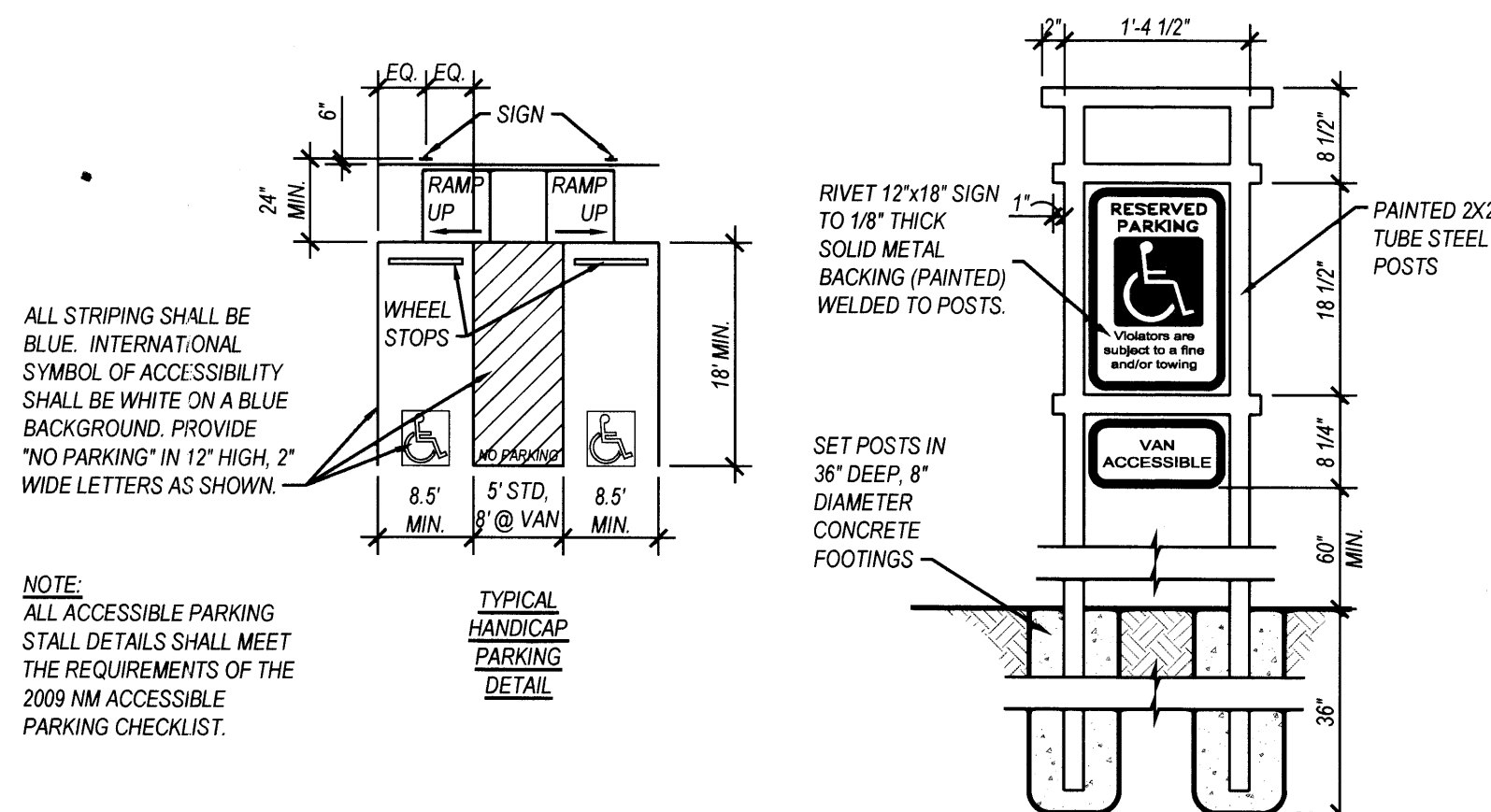
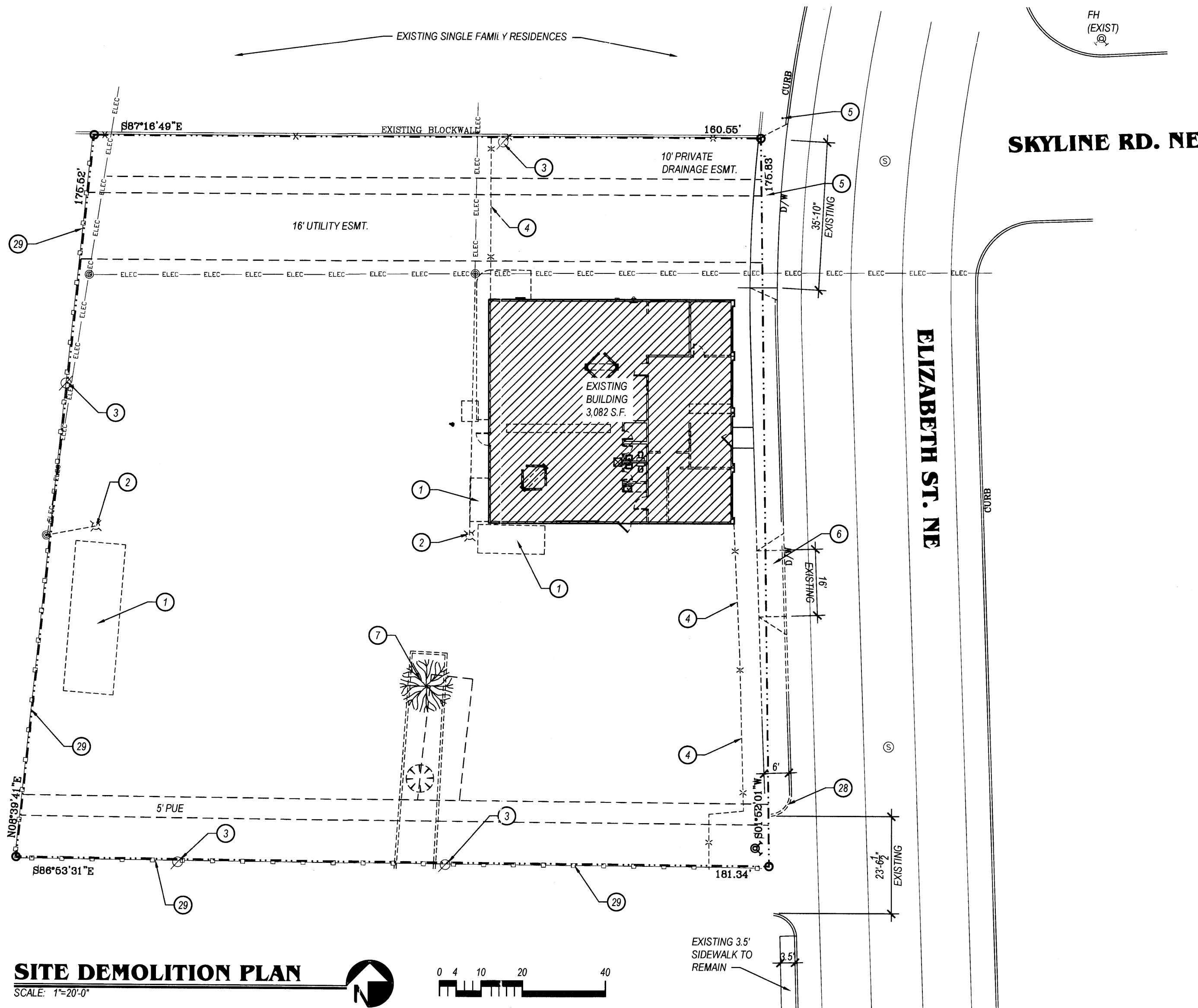


AERIAL PHOTO



2 ACCESSIBLE PARKING DETAILS

SCALE: NOT TO SCALE



SITE DEMOLITION PLAN

SCALE: 1\"/>

GENERAL SITE NOTES

- ALL EASEMENTS SHOWN ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- ALL SITE LIGHTING SHALL BE BUILDING MOUNTED FIXTURES. FIXTURES SHALL MEET NIGHT SKY ORDINANCE REQUIREMENTS.
- COORDINATE WITH ALL UTILITY COMPANIES FOR EXACT REQUIREMENTS AND INSTALLATION DETAILS FOR, AND EXTEND ALL UTILITIES TO, THE PROJECT AS REQUIRED (WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE, ETC.). VERIFY ALL SERVICES WITH OWNER PRIOR TO COMMENCING WORK.
- ALL SIDEWALKS TO BE 4\"/>

RADIUS LEGEND

| |
|--------------|
| 1 = 1'-0\"/> |
|--------------|

PARKING CALCULATIONS

| | | |
|--------------|-----------------------|-------------------------|
| OFFICE SPACE | = 1,186 S.F. NET/200 | = 5.93 = 6 SPACES |
| SERVICE BAYS | = 6,219 S.F. NET/1000 | = 6.22 = 7 SPACES |
| TOTALS | = 7,405 S.F. | = 12.15 SPACES REQUIRED |

TOTAL SPACES PROVIDED = 13 (INCLUDES 1 VAN ACCESSIBLE SPACE 1.1-25)

MOTORCYCLE SPACES REQUIRED = 1.1-25 SPACES = 1 SPACE PROVIDED

BICYCLE SPACES REQUIRED = 1 PER 20 VEHICLE SPACES REQUIRED (2 MINIMUM) = 2 SPACES REQUIRED.
5 BICYCLE SPACES PROVIDED

27 VEHICLE STORAGE SLOTS PROVIDED

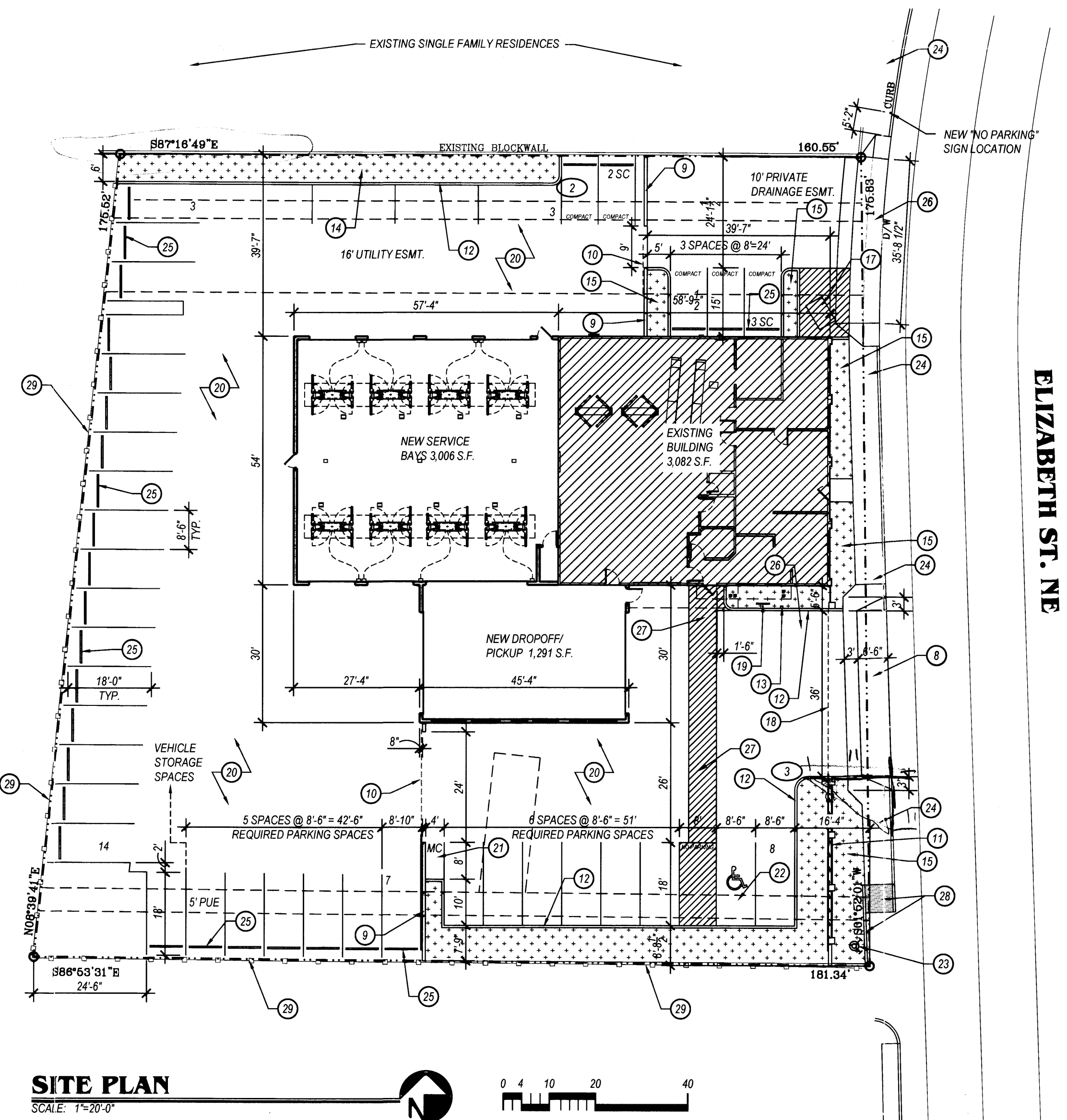
NOTE: ALL SMALL CAR SPACES SHALL BE LABELED "COMPACT" AS SHOWN.

SITE PLAN KEYED NOTES:

- REMOVE EXISTING STRUCTURES IN THEIR ENTIRETY.
- REMOVE POWER BACK TO NEAREST POLE.
- EXISTING PERIMETER ALARM POLES TO BE RELOCATED. CONTRACTOR SHALL COORDINATE WITH OWNER'S ALARM VENDOR.
- REMOVE EXISTING FENCING AND GATES AS SHOWN.
- EXISTING DRIVEWAY TO BE REBUILT. RELOCATE "NO PARKING SIGN" AS SHOWN.
- EXISTING DRIVEWAY TO BE REBUILT.
- REMOVE EXISTING LANDSCAPING AND PLANTER AS SHOWN.
- EXPAND EXISTING DRIVEWAY PER COA STANDARD DETAIL #2425 SPECIFICALLY SECTIONS A-A AND E-E. PROVIDE SIDEWALK EASEMENT AS REQUIRED.
- NEW 8\"/>

CITY OF ALBUQUERQUE NOTES

- "THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN"
- THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK; AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
- ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION. FOR TEMPORARY C.O., WILL BE SCHEDULED.
- ALL SIDEWALK AND C&G IN DISREPAIR WILL BE REMOVED AND REPLACED.
- CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS PROJECT PERMIT WORK TO BE COMPLETED BY THE OWNER, OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
- CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.



SITE PLAN

SCALE: 1\"/>

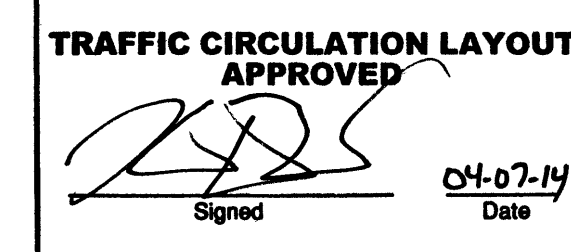
DESIGN DATA:

PROJECT INFORMATION

| | |
|--------------------|---------------------------|
| OWNER: | HANS WITTLER AUTOMOTIVE |
| LEGAL DESCRIPTION: | 121 ELIZABETH ST. NE |
| ZONING: | ALBUQUERQUE, NM 87123 |
| LOT AREA: | 505-294-7684 |
| ZONE ATLAS PAGE: | LOT H, LONGFIELD ADDITION |
| UPC: | SU-3, EG-C |
| | 29,953 S.F. |
| | L-21 |
| | 102-105-621-852-320-521 |

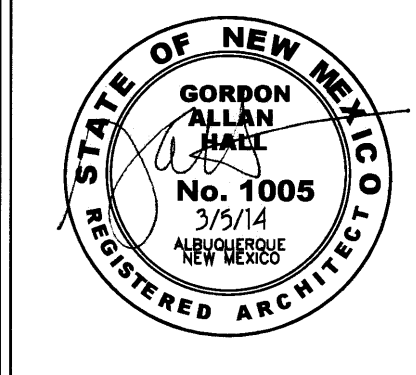
ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.



* Permanent Sidewalk Easement Rel. o C.O.

File K21-Do34



HANS WITTLER'S AUTO
ADDITION & REMODEL
121 ELIZABETH ST NE
ALBUQUERQUE, NM 87123

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DRAWING ISSUE DATES:
5/30/13
8/12/13
9/6/13
10/15/13
3/5/14

PROJECT MANAGER:

NICK PERKINS

DRAWN BY:

NAP

SHEET TITLE:

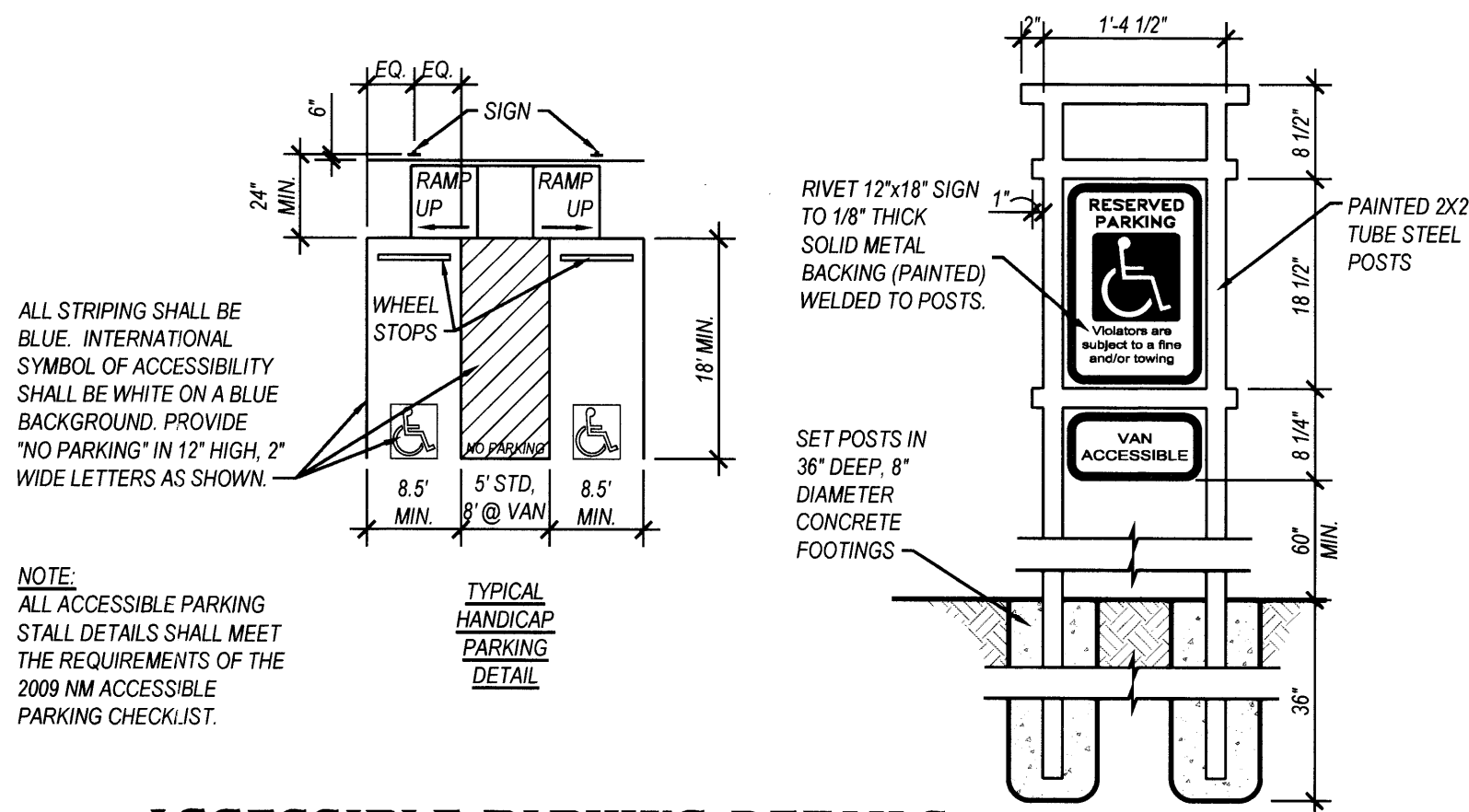
SITE PLAN

C1.1

SHEET: OF



AERIAL PHOTO



GENERAL SITE NOTES

- ALL EASEMENTS SHOWN ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- ALL SITE LIGHTING SHALL BE BUILDING MOUNTED FIXTURES. FIXTURES SHALL MEET NIGHT SKY ORDINANCE REQUIREMENTS.
- COORDINATE WITH ALL UTILITY COMPANIES FOR EXACT REQUIREMENTS AND INSTALLATION DETAILS FOR, AND EXTEND ALL UTILITIES TO, THE PROJECT AS REQUIRED (WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE, ETC.). VERIFY ALL SERVICES WITH OWNER PRIOR TO COMMENCING WORK.
- ALL SIDEWALKS TO BE 4" THICK MINIMUM, 4000 PSI CONCRETE, BROOM FINISH WITH 18" PER 1' 0" MAXIMUM CROSS SLOPE, OVER COMPACTED GRADE UNLESS NOTED OTHERWISE ON GRADING PLAN. PROVIDE EXPANSION JOINTS EVERY 4'-0" LINEAR FEET AND CONTROL JOINTS EVERY 20'-0" LINEAR FEET. TOOL EDGES WITH 1/4" Ø FINISHING TOOL. PROVIDE 6" WIDE X 12" DEEP TURN DOWN EDGE AT CURBS AND ADJACENT TO PAVING. REINFORCE TURNDOWNS WITH #4 BAR CONTINUOUS.
- ALL PAVING TO BE TYPE "C" PER C.O.A. STANDARD DRAWING #2400 AND ADDITIONALLY REFERENCED STANDARDS. PAVING IN DRIVE LANES TO BE 3" A.C. OVER 6" A.B.C. OVER 8" MINIMUM SUBGRADE PREPARATION. PAVING IN PARKING AREA CAN BE REDUCED TO 2" A.C. OVER 4" A.B.C. OVER 6" MINIMUM SUBGRADE PREPARATION.
- ALL STRIPING TO BE PER MUTCD STANDARDS FOR TRAFFIC PAINT AND SHALL BE WHITE IN COLOR UNLESS NOTED OTHERWISE. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED WHITE ON BLUE IN EACH ACCESSIBLE PARKING STALL.
- ALL HEADER CURBS, MEDIAN AND STANDARD CURB & GUTTERS TO BE CONSTRUCTED PER C.O.A. STANDARD DRAWINGS #2415A AND #2415B.
- DRIVEPAD ENTRANCES SHALL BE CONSTRUCTED PER C.O.A. STANDARD DRAWING #2425. DRIVEWAY ENTRANCES (CURB RETURNED) SHALL BE CONSTRUCTED PER C.O.A. STANDARD DRAWING #2426. ALLEY ENTRANCES SHALL BE CONSTRUCTED PER C.O.A. STANDARD DRAWING #2428.
- CONCRETE PARKING BUMPERS TO BE 7'-0" WIDE MINIMUM, SLOT BOTTOM AND REINFORCED WITH AT LEAST (2) #3 BARS TYPICAL. ANCHOR TO PAVING WITH WITH (2) 18" LONG #6 DOWELS TYPICAL. RIBBON STYLE BICYCLE RACKS TO BE 3' LONG X 42" HIGH, 2" Ø PAINTED STEEL PIPE INSET INTO 10' Ø X 16" DEEP FOOTINGS. PROVIDE 3" MINIMUM CLEARANCE FROM STEEL TO SOIL.

RADIUS LEGEND

| | | |
|-------------------|-------------------|-------------------|
| ① = 1'-0" RADIUS | ② = 2'-0" RADIUS | ③ = 3'-0" RADIUS |
| ④ = 5'-0" RADIUS | ⑤ = 10'-0" RADIUS | ⑥ = 15'-0" RADIUS |
| ⑦ = 20'-0" RADIUS | ⑧ = 25'-0" RADIUS | ⑨ = 30'-0" RADIUS |
| ⑩ = 35'-0" RADIUS | ⑪ = 39'-0" RADIUS | ⑫ = 49'-0" RADIUS |
| ⑬ = 50'-0" RADIUS | ⑭ = 55'-0" RADIUS | |

PARKING CALCULATIONS

| | | |
|--------------|-----------------------|----------------------|
| OFFICE SPACE | = 1,186 S.F. NET/200 | = 5.93 = 6 SPACES |
| SERVICE BAYS | = 6,219 S.F. NET/1000 | = 6.22 = 7 SPACES |
| TOTALS | = 7,405 S.F. | = 13 SPACES REQUIRED |

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BICYCLE SPACES REQUIRED = 1 PER 20 VEHICLE SPACES REQUIRED (2 MINIMUM) = 2 SPACES REQUIRED.
5 BICYCLE SPACES PROVIDED.

27 VEHICLE STORAGE SLOTS PROVIDED.

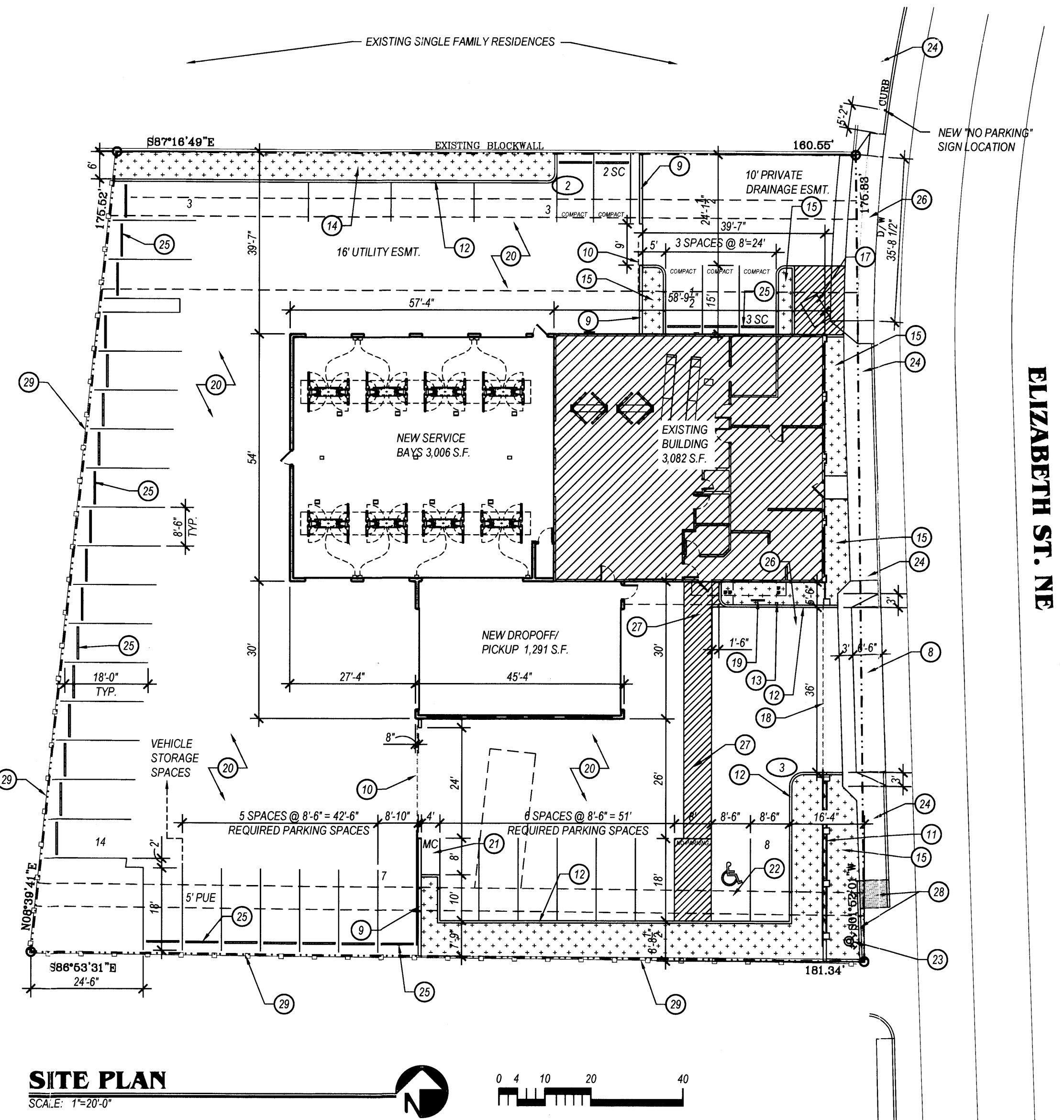
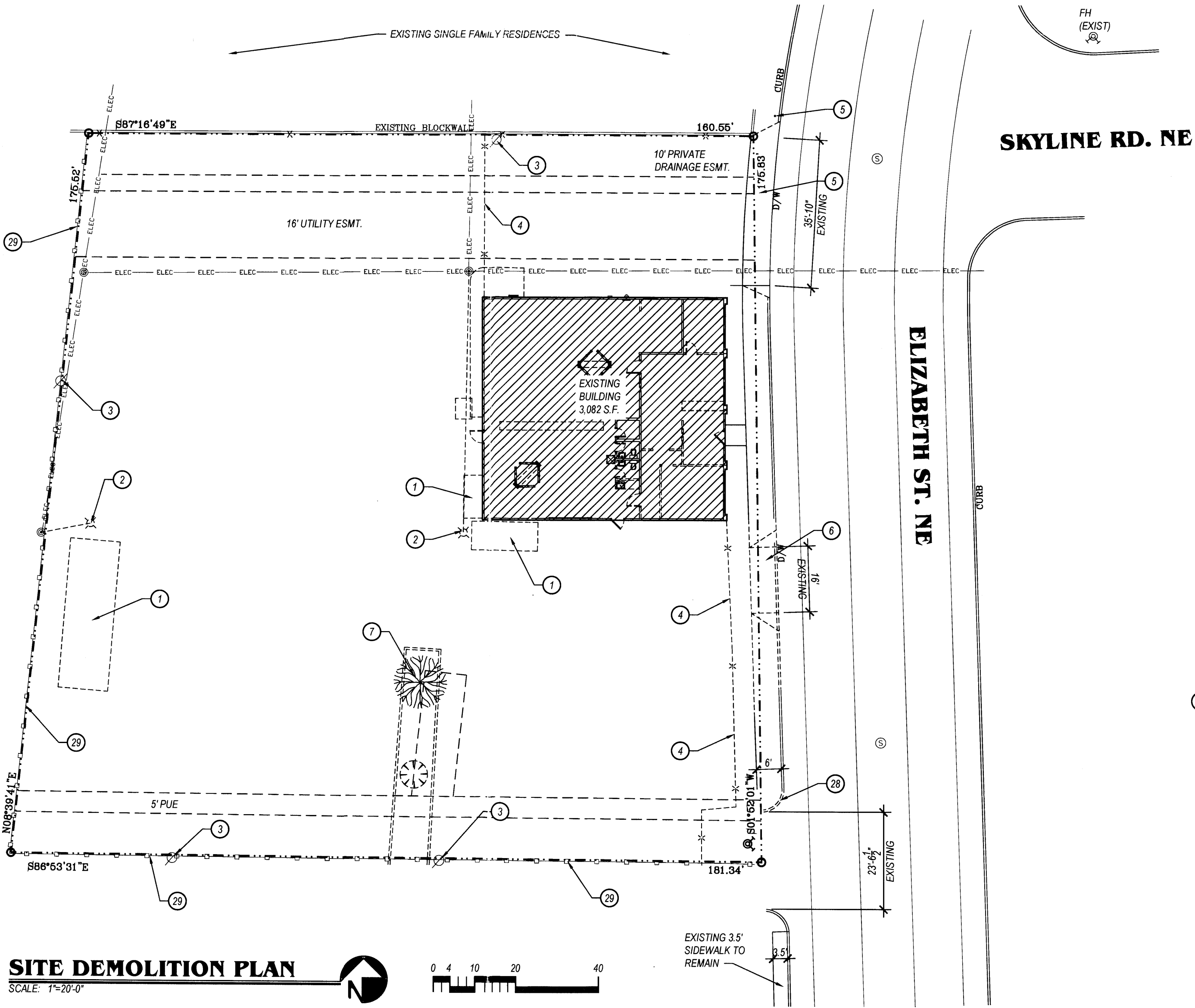
NOTE: ALL SMALL CAR SPACES SHALL BE LABELED "COMPACT" AS SHOWN.

SITE PLAN KEYED NOTES:

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- REMOVE EXISTING FENCING AND GATES AS SHOWN.
- EXISTING DRIVEWAY TO BE REBUILT. RELOCATE "NO PARKING SIGN" AS SHOWN.
- EXISTING DRIVEWAY TO BE REBUILT.
- REMOVE EXISTING LANDSCAPING AND PLANTER AS SHOWN.
- EXPAND EXISTING DRIVEWAY PER COA STANDARD DETAIL #2425 SPECIFICALLY SECTIONS A-A AND E-E. PROVIDE SIDEWALK EASEMENT AS REQUIRED.
- NEW 8' TALL OPAQUE WALL OR FENCE.
- 8' TALL OPAQUE ROLLING GATE.
- 8' TALL WROUGHT IRON FENCING WITH CMU PLASTERS AS SHOWN.
- NEW HEADER CURB OR MEDIAN CURB (CONTRACTOR OF TOWN) TYPICAL UNLESS NOTED OTHERWISE PER COA STANDARD DETAIL #2415B.
- KEY PAD FOR MOTORIZED ROLLING ENTRY GATE.
- 6' SIDEYARD LANDSCAPING BUFFER AS REQUIRED BY THE ZONING DEPARTMENT.
- HATCH PATTERN INDICATES EXISTING AND NEW LANDSCAPING.
- NEW CITY SIDEWALK, PER COA DETAIL #2430 AND STANDARD CURB & GUTTER PER COA DETAIL #2415A. PROVIDE SIDEWALK EASEMENT AS REQUIRED.
- EXISTING REFUSE LOCATION TO REMAIN. PROVIDE NEW 8' THINK CONCRETE PAD IN HATCHED AREA AS SHOWN.
- MOTORIZED WROUGHT IRON ROLLING SECURITY GATE.
- NEW BIKE RACK, 5 SPACES.
- ASPHALT PAVING. SEE GENERAL NOTES FOR REQUIREMENTS.
- MOTORCYCLE PARKING SPACE 4'-0" WIDE BY 8'-0" DEEP MINIMUM. PAINT PAVEMENT AS SHOWN AND PROVIDE THE WORDS "MOTOR CYCLE PARKING ONLY" ON PAVEMENT. PROVIDE A SIGN CENTERED ON THE PARKING AREA 12" WIDE BY 18" TALL, 5'-0" FROM FINISH GRADE TO THE BOTTOM OF THE SIGN THAT STATES "MOTORCYCLE PARKING ONLY". SIGN DETAILS SHALL BE SIMILAR TO HANDICAP SIGN DETAIL #3 ON THIS SHEET.
- VAN ACCESSIBLE HANDICAP PARKING SPACES WITH SIGNS CENTERED ON EACH STALL AS SHOWN. BOTTOM OF SIGNS SHALL BE AT LEAST 60" FROM FINISHED GRADE AND SHALL CONTAIN THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AS WELL AS THE DESIGNATION "VAN ACCESSIBLE". SEE DETAIL #3 ON THIS SHEET.
- PROPOSED FIRE HYDRANT LOCATION. 2 HYDRANTS (2.50 GPM) ARE REQUIRED FOR 7,405 S.F. OF TYPE A-B CONSTRUCTION PER IFC TABLES B105.1 AND C105.1. VERIFY FINAL LOCATION WITH FIRE MARSHALL.
- EXISTING 6' WIDE CITY SIDEWALK TO REMAIN. PROVIDE SIDEWALK EASEMENT AS REQUIRED. PROVIDE (29) 4" HIGH X 72" WIDE RECYCLED PLASTIC OR CONCRETE PARKING BUMPERS 24" FROM WALL AS SHOWN AT ALL PARKING STALLS ADJACENT TO THE PROPERTY LINE OR CMU WALLS.
- CONSTRUCT NEW DRIVEPAD AS PER COA STANDARD DETAIL #2428 ALLEY INTERSECTION WITH ADA SIDEWALK AT BACK OF CURB.
- PROVIDE 6'-0" WIDE PAINTED STRIPING PEDESTRIAN WALKWAY FROM ACCESSIBLE PARKING SPACE TO BUILDING AS SHOWN.
- REMOVE EXISTING CURB CUT AND REPLACE WITH NEW SIDEWALK RAMP. PROVIDE CURB FROM RAMP TO PROPERTY LINE AS SHOWN. PROVIDE SIDEWALK EASEMENT AS REQUIRED.
- EXISTING CHAINLINK FENCE TO REMAIN.

CITY OF ALBUQUERQUE NOTES

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- THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
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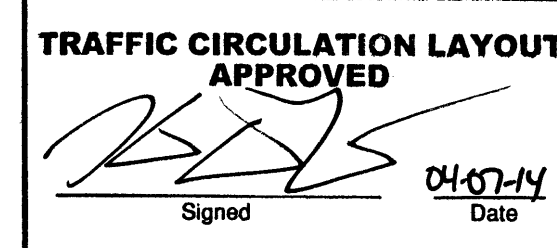


DESIGN DATA:

| | |
|----------------------------|------------------------------------------------------------------------------------------|
| PROJECT INFORMATION | |
| OWNER: | HANS WITTLER AUTOMOTIVE 121 ELIZABETH ST. NE ALBUQUERQUE, NM 87123 505-294-7684 |
| LEGAL DESCRIPTION: | LOT H, LONGFIELD ADDITION |
| ZONING: | SU-3, EG-C |
| LOT AREA: | 29,933 S.F. |
| ZONE ATLAS PAGE: | L-21 |
| UPC: | 102-105-621-852-320-521 |

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.



**HANS WITTLER'S AUTO
ADDITION & REMODEL
121 ELIZABETH ST NE
ALBUQUERQUE, NM 87123**

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DUE TO VARIATIONS IN PRINTING AND COPYING TECHNIQUES, THERE MAY BE SLIGHT VARIATIONS IN THE SCALE OF THE DRAWINGS. ONLY PRINTED DIMENSIONS SHALL BE USED. CONTRACTOR TO VERIFY ALL LAYOUTS, DIMENSIONS AND OTHER RELATED INFORMATION PRIOR TO BEGINNING OF CONSTRUCTION.

ERRORS MAY OCCUR IN THE TRANSMISSION OF ELECTRONIC FILES. DESIGN 2 FUNCTION, LLC IS NOT RESPONSIBLE FOR ANY CLAIMS, DAMAGES OR EXPENSES ARISING OUT OF THE UNAUTHORIZED USE OF THE INFORMATION CONTAINED IN ELECTRONIC FILES.

DRAWING ISSUE DATES:
3/30/13
8/18/13
8/12/13
9/6/13
10/15/13
3/2/14

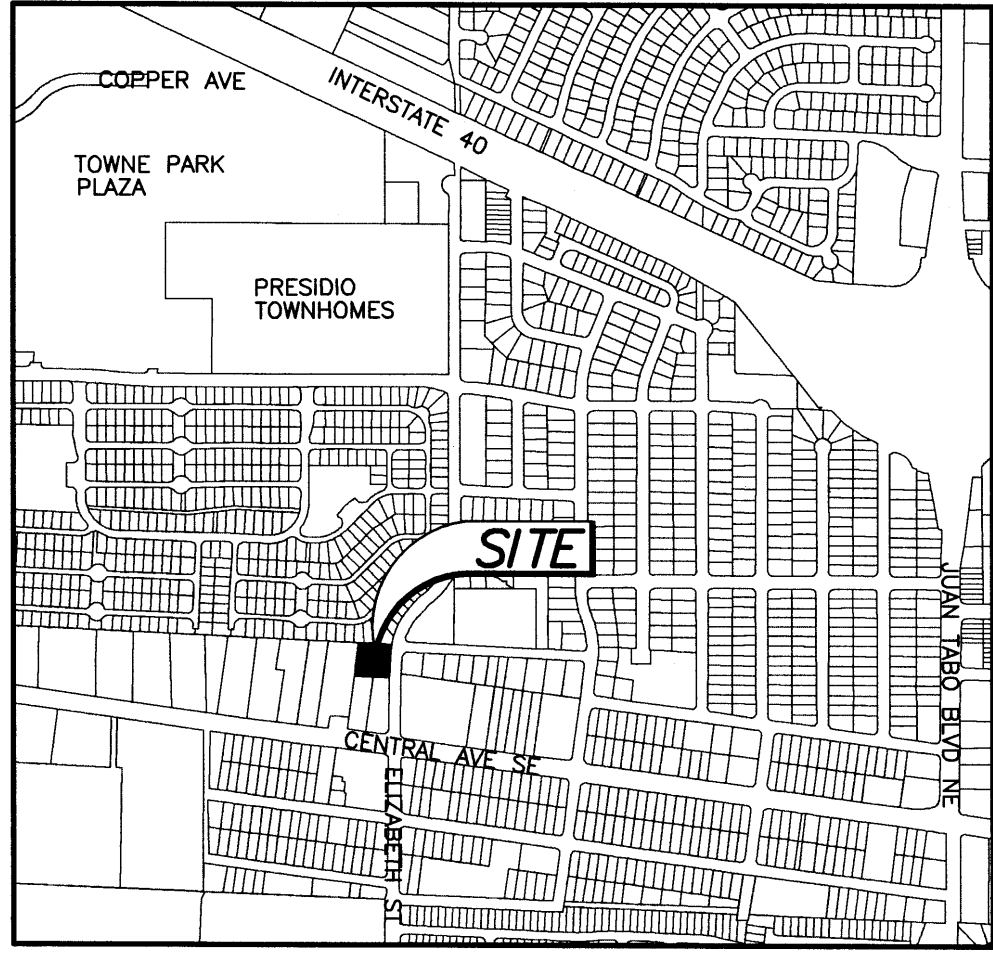
PROJECT MANAGER:
NICK PIRKL

DRAWN BY:
NAP

SHEET TITLE:
SITE PLAN

C1.1

SHEET: OF



LOCATION MAP
SCALE: 1"=1000'±
ZONE ATLAS MAP K-21

I. EXECUTIVE SUMMARY

THIS PLAN SERVES TO SUPPORT THE DEVELOPMENT OF AN ADDITION FOR HANS WITTLER AUTO. THE SITE IS LOCATED IN THE CITY OF ALBUQUERQUE AND IS KNOWN AS TRACT H OF THE LONGFIELD ADDITION. THIS PARCEL IS LOCATED IN THE NORTHEAST ALONG ELIZABETH STREET, JUST NORTH OF CENTRAL AVENUE. THE SITE ADDRESS IS 121 ELIZABETH STREET NE. THE PROPOSED CONSTRUCTION CONSISTS OF NEW BUILDING, PARKING LOT IMPROVEMENTS, SITE WALLS, RETENTION BASINS, LANDSCAPE AND OTHER AMENITIES. OFF-SITE CONSTRUCTION WILL INCLUDE A DRIVE PAD AND SIDEWALK. THE SITE WILL BE DEVELOPED CONCURRENTLY AND NO PHASING IS PROPOSED. LOTS WITHIN THIS SUBDIVISION ARE FULLY DEVELOPED. ALSO, RIGHT-OF-WAY STREET PAVEMENT, CURB AND GUTTER, PUBLIC UTILITIES AND DRAINAGE STRUCTURES FOR THE LONGFIELD ADDITION ARE IN PLACE. DUE TO THESE DEVELOPMENTS, OFF-SITE STORMWATER SHOULD NOT IMPACT THIS SITE. IT IS PROPOSED THAT STORMWATER GENERATED ON-SITE WILL BE CONVEYED TO THE RIGHT-OF-WAY AND TO THE EXISTING DRAINAGE EASEMENT. FLOWS WILL NOT EXCEED HISTORIC VALUES.

II. PROJECT DESCRIPTION

AS SHOWN ON THE LOCATION MAP THE SITE (29,953 SF = APPROXIMATELY 0.688 ACRES) IS LOCATED IN THE CITY OF ALBUQUERQUE AT 121 ELIZABETH STREET NE. CURRENTLY THE SITE IS DEVELOPED. THE SITE IS PLATTED AS "ONE (1) TRACT OF LAND SITUATE WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN IN VALENCIA COUNTY, NEW MEXICO, BEING TRACT A, B, C, D, E, F, G, AND H, LONGFIELD ADDITION", FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON OCTOBER 12, 1984, IN PLAT CABINET C25, FOLIO 62." FURTHERMORE, THE SITE IS LOCATED IN FLOOD ZONE X AS INDICATED BY FIRM NUMBER 35001C0359G, RECORDED ON SEPTEMBER 26, 2008 BY THE FEMA.

III. BACKGROUND DOCUMENTS

THERE IS NO KNOWN DRAINAGE REPORT FOR THIS SUBDIVISION. THE PLAT, THE FIRM, THE COA DEVELOPMENT PROCESS MANUAL, THE SITE SURVEY, AND THE PROPOSED GRADING AND DRAINAGE PLAN WERE UTILIZED FOR THE EXECUTION OF THIS HYDROLOGY AND HYDRAULIC ANALYSIS.

IV. EXISTING CONDITIONS

CURRENTLY THE SITE IS DEVELOPED AND CONTAINS AN EXISTING BUILDING, PAVEMENT, GRAVEL AREAS, CONCRETE AND FENCES. THERE IS VERY LITTLE VEGETATION ON THE PROJECT SITE. THE SITE NATURALLY EXIST WITH A HIGH POINT AND THEREFORE DRAINS TO THE ROW OF ELIZABETH STREET AND TO THE EXISTING DRAINAGE EASEMENT (DE). EXISTING RUN-OFF FLOW TO THE ROW IS DETERMINED TO BE 1.06 CFS, AND TO THE DE IS 2.07 CFS.

V. DEVELOPED CONDITIONS

THE PROPOSED ON-SITE CONSTRUCTION CONSISTS OF NEW BUILDING, PARKING LOT IMPROVEMENTS, SITE WALLS, RETENTION BASINS, LANDSCAPE AND OTHER AMENITIES. OFF-SITE CONSTRUCTION WILL INCLUDE A DRIVE PAD AND SIDEWALK. STORMWATER GENERATED ON-SITE WILL BE SURFACE ROUTED AND DIRECTED TOWARDS ELIZABETH STREET (ROW) AND THE EXISTING 10' DRAINAGE EASEMENT (DE). RUN-OFF FLOW TO THE ROW AFTER DEVELOPMENT IS DETERMINED TO BE 1.05 CFS, AND TO THE DE IS 1.80 CFS. ONE ONSITE LANDSCAPED AREA WILL BE UTILIZED AS A RETENTION BASIN WITH A MAXIMUM DEPTH OF 2' AND WILL RETAIN STORMWATER RUNOFF FROM A PORTION OF THE SITE. OTHER LANDSCAPED AREAS WILL BE DEPRESSED SIX INCHES. THEREFORE, PAVEMENT RUNOFF AND STORMWATER THAT FALLS IN THESE LANDSCAPED AREAS WILL SLOWLY PERCOLATE INTO THE GROUND AND SURROUNDING VEGETATION. ROOF RUN-OFF WILL BE CONVEYED UTILIZING ROOF SCUPPERS AND DOWNSPOUTS. DOWNSPOUTS WILL BE DIRECTED TOWARD PAVEMENT. THE RETENTION BASIN IS SIZED TO ACCOMMODATE THE 100-YR 24-HOUR EVENT FOR A PORTION OF THE SITE (SEE ANALYSIS).

VI. EROSION CONTROL

CURRENTLY 70% OF THE PARCEL IS HARD SURFACES (PAVEMENT, ROOFTOPS AND CONCRETE). AFTER DEVELOPMENT APPROXIMATELY 92% OF THE SITE WILL BE MADE-UP OF CONCRETE, ASPHALT AND ROOFTOP. THE PROPOSED CONSTRUCTION WILL INCREASE THE AMOUNT OF IMPERVIOUS AREA BY 22%. PERMANENT EROSION CONTROL AT SURFACE FLOW CONCENTRATION POINTS WILL CONSIST OF RIPRAP.

VII. WATER QUALITY ENHANCEMENTS

NO WATER QUALITY ENHANCEMENTS ARE PROPOSED.

VIII. GRADING PLAN

THE GRADING & DRAINAGE PLAN ON THIS SHEET SHOWS:
1. EX. SPOT ELEVATION AS TAKEN FROM RECENT TOPOGRAPHY
2. PROPOSED GRADES INDICATED BY SPOT ELEVATIONS
3. THE LIMITS AND CHARACTER OF THE EX. FEATURES TO REMAIN
4. THE LIMITS AND CHARACTER OF THE PROPOSED IMPROVEMENTS
5. CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES

IX. ANALYSIS

THE CALCULATIONS HEREON ANALYZE THE HYDROLOGY FOR BOTH THE EXISTING AND DEVELOPED CONDITIONS (PRE AND POST) UPON A 100 YEAR, 24-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40 ACRES AND SMALLER BASINS, AS SET FORTH IN CHAPTER 22 OF THE DEVELOPMENT PROCESS MANUAL (DPM), VOLUME 1, 1997 REVISIONS IS USED TO QUANTIFY THE PEAK RATE OF DISCHARGE (Q) AND VOLUME (V) OF ON-SITE STORMWATER RUN-OFF. ALL DATA UTILIZED FOR ANALYSIS CAN BE FOUND BELOW UNDER SITE CHARACTERISTICS. RESULTS ARE PRESENTED BELOW.

HYDROLOGY ANALYSIS FOR PEAK RATE OF DISCHARGE (Q) AND PEAK VOLUME (V)

SITE CHARACTERISTICS:

DRAINAGE AREA = (SEE PRE AND POST-DEVELOPMENT MAP)
LAND TREATMENT (DPM CH. 22, TABLE A-4)
IMPERVIOUS = D
PERVIOUS = C=GRAVEL & B=LANDSCAPE
PRECIPITATION ZONE = 3 (DPM CH. 22, TABLE A-1)

PRE-DEVELOPMENT:

DRAINAGE AREA "A"
684 sf = 7.3% PERV. (C)
8,669 sf = 92.7% IMPERV.
ANALYSIS RESULTS
Q = 1.06 cfs
V = 2,143 cf

POST-DEVELOPMENT:

DRAINAGE AREA "A"
750 sf = 7.9% PERV. (B)
8,730 sf = 92.1% IMPERV.
ANALYSIS RESULTS
Q = 1.05 cfs
V = 2,142 cf

DRAINAGE AREA "B"
8,401 sf = 40.8% PERV. (C)
12,199 sf = 59.2% IMPERV.
ANALYSIS RESULTS
Q = 2.07 cfs
V = 3,811 cf

DRAINAGE AREA "B"
566 sf = 3.6% PERV. (B)
15,271 sf = 96.4% IMPERV.
ANALYSIS RESULTS
Q = 1.80 cfs
V = 3,687 cf

DRAINAGE AREA "C"
1,168 sf = 25.2% PERV. (B)
3,468 sf = 74.8% IMPERV.
ANALYSIS RESULTS
Q = 0.47 cfs
V = 913 cf (RETAINED)

RETENTION BASIN DESCRIPTION AND VOLUME (V) CALCULATION:
THE PROPOSED RETENTION BASIN FOR AREAS "C" IS POLYGONAL AND WILL BE 24" DEEP (SEE PLAN). THE VOLUME IS CALCULATED AS FOLLOWS:

RETENTION BASIN "C"

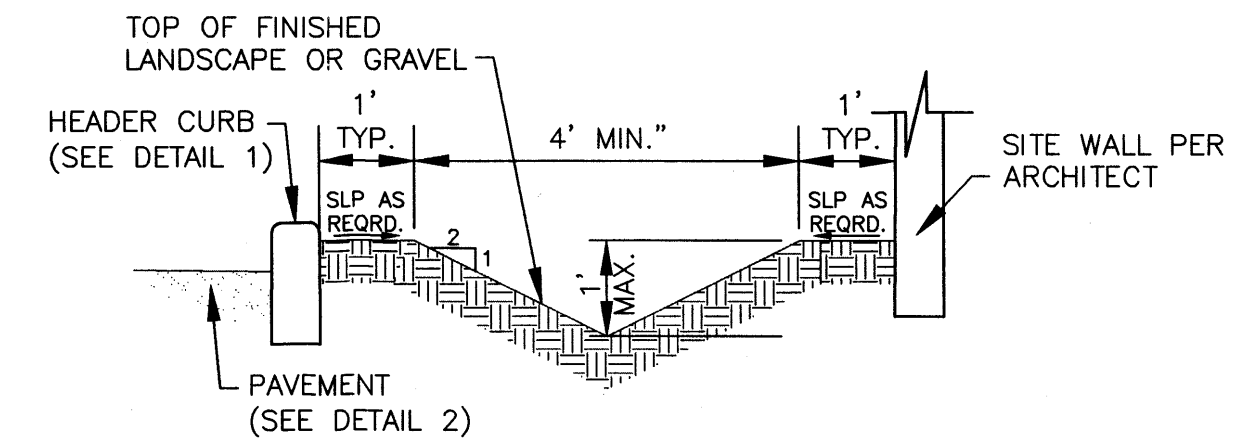
POLYGONAL CHARACTERISTICS:

TOP PERIMETER AREA = 854 SF
BOTTOM PERIMETER AREA = 228 SF
DEPTH = 1.70 FT

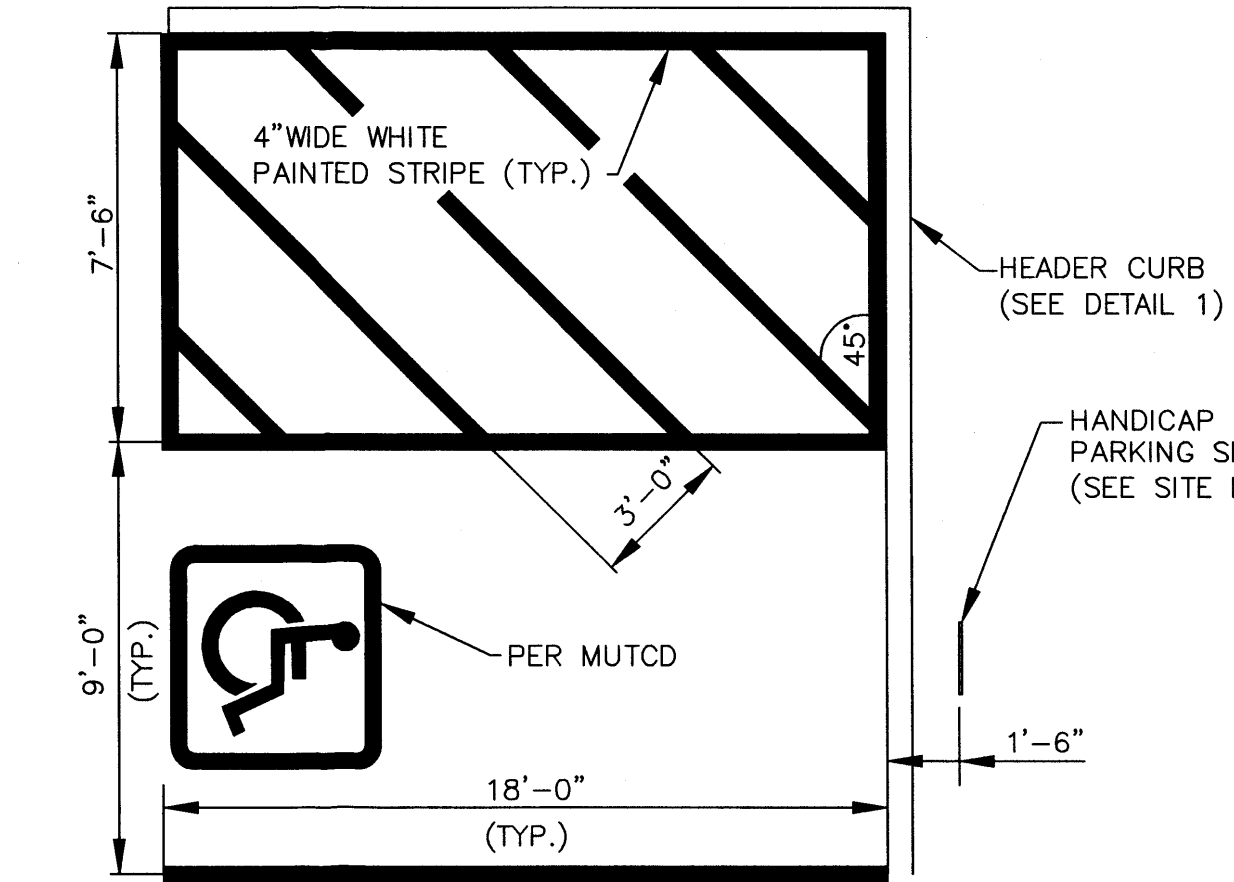
$V = (1/2)(854 \text{ SF} + 228 \text{ SF})(1.7 \text{ FT}) = 920 \text{ CF}$

X. CONCLUSION

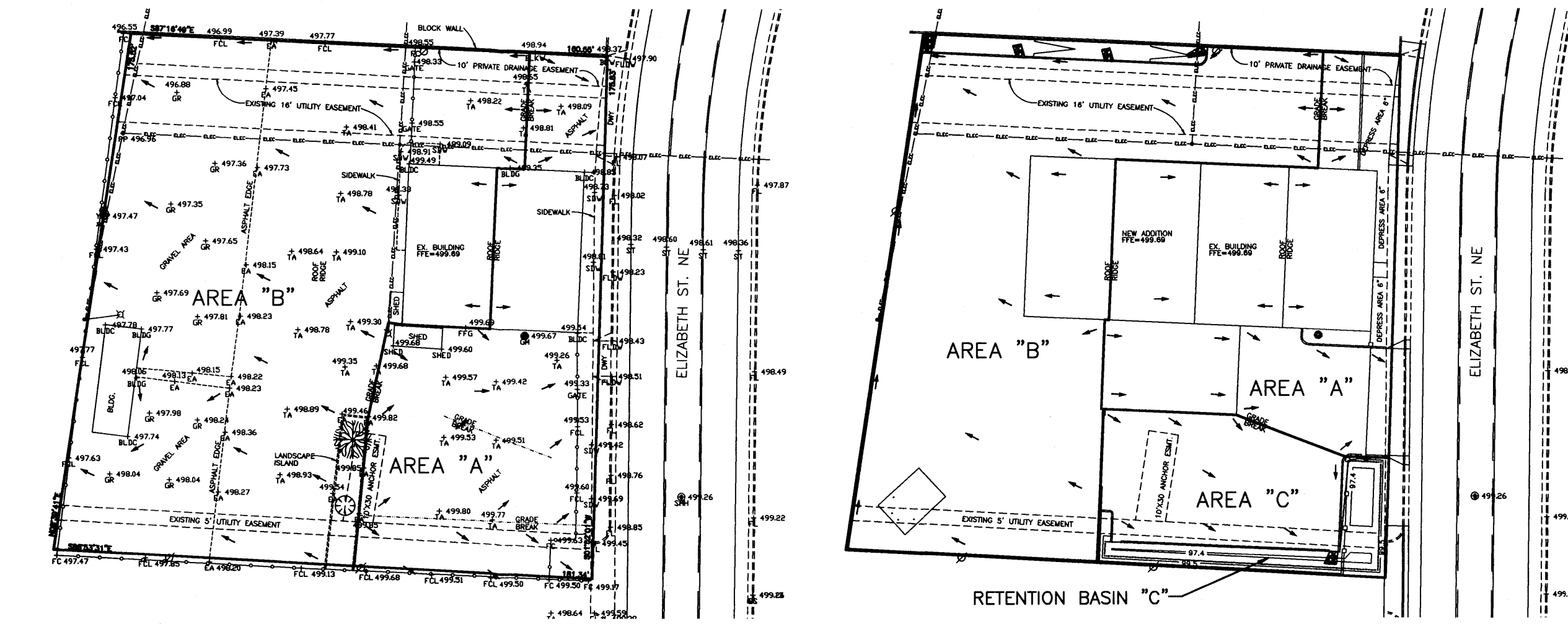
THE PROPOSED SITE WILL ADEQUATELY CONVEY STORMWATER GENERATED ON-SITE BY A 100 YEAR, 24-HOUR STORM EVENT IF CONSTRUCTED IN STRICT ACCORDANCE WITH THE IMPROVEMENTS SHOWN ON THIS GRADING AND DRAINAGE PLAN. FURTHERMORE, THE SITE HYDRAULICS WILL ALLOW 1.05 CFS OF STORMWATER TO RUN OFF INTO THE ROW, AND 1.80 CFS INTO THE EXISTING DRAINAGE EASEMENT. MORE SPECIFICALLY AND IN ACCORDANCE WITH THE ABOVE ANALYSIS, STORMWATER RUNOFF FROM: DRAINAGE AREA "A" WILL SHEET FLOW TO ELIZABETH STREET, DRAINAGE AREA "B" WILL SHEET FLOW TO THE EXISTING DRAINAGE EASEMENT, AND DRAINAGE AREA "C" WILL BE RETAINED ON-SITE. ALL ON-SITE STORM DRAINAGE FACILITIES WILL BE PRIVATELY OWNED, OPERATED AND MAINTAINED.



4 SWALE DETAIL
SCALE: 1/2"=1'-0"

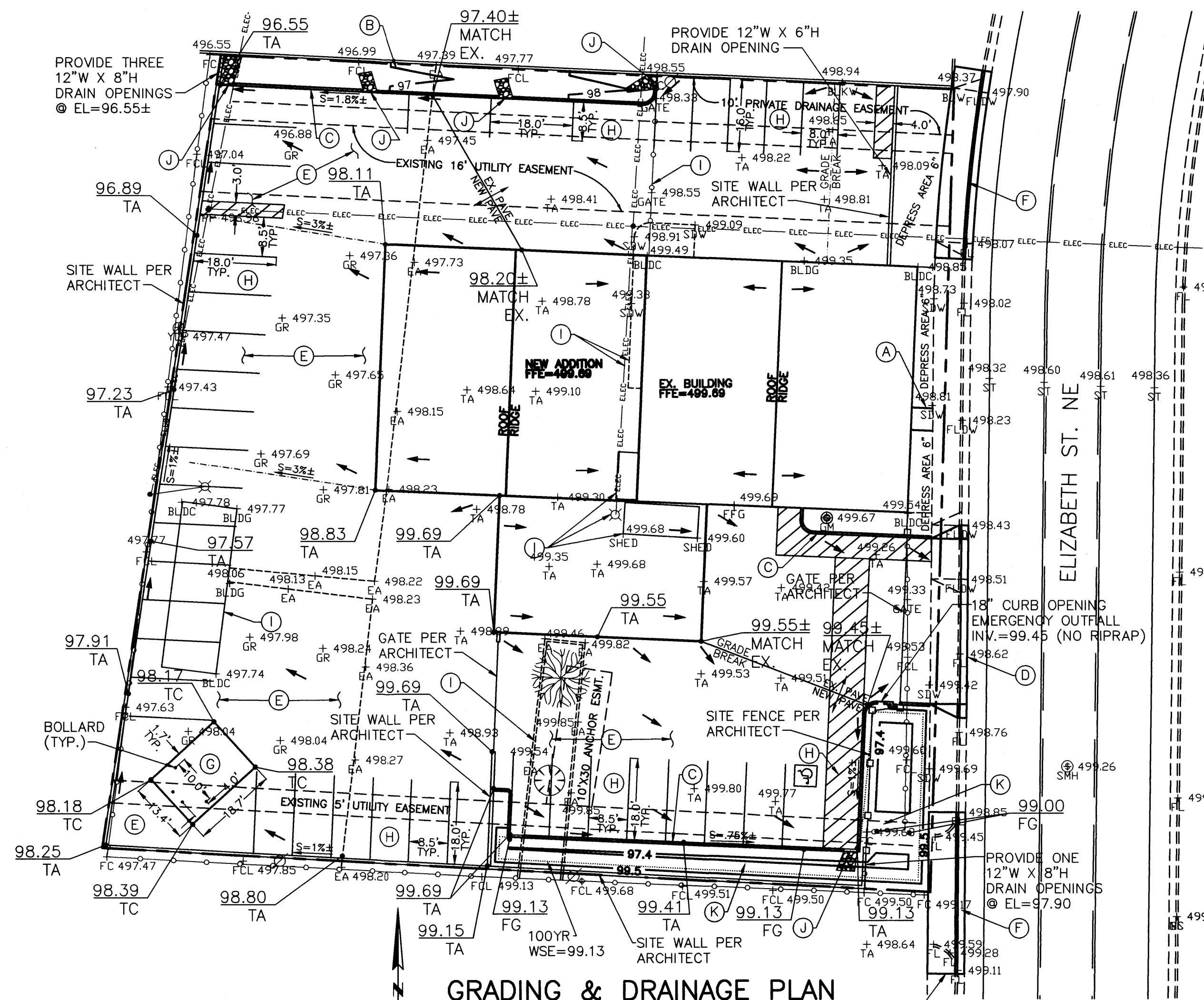


3 HC PARKING SPACE DETAIL
SCALE: 1/4" = 1'-0"

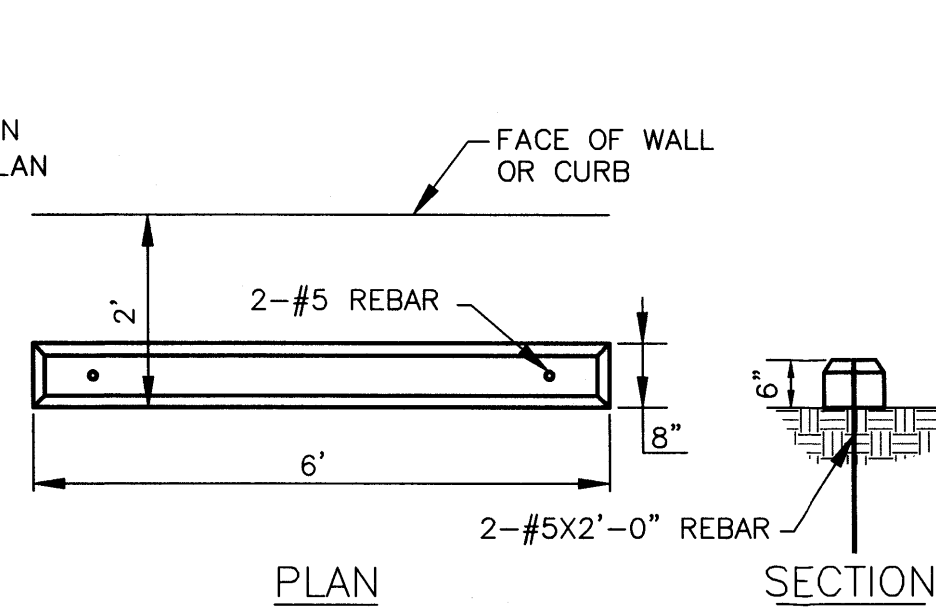


PRE-DEVELOPMENT/EX. TOPOGRAPHY
SCALE: 1"=40'

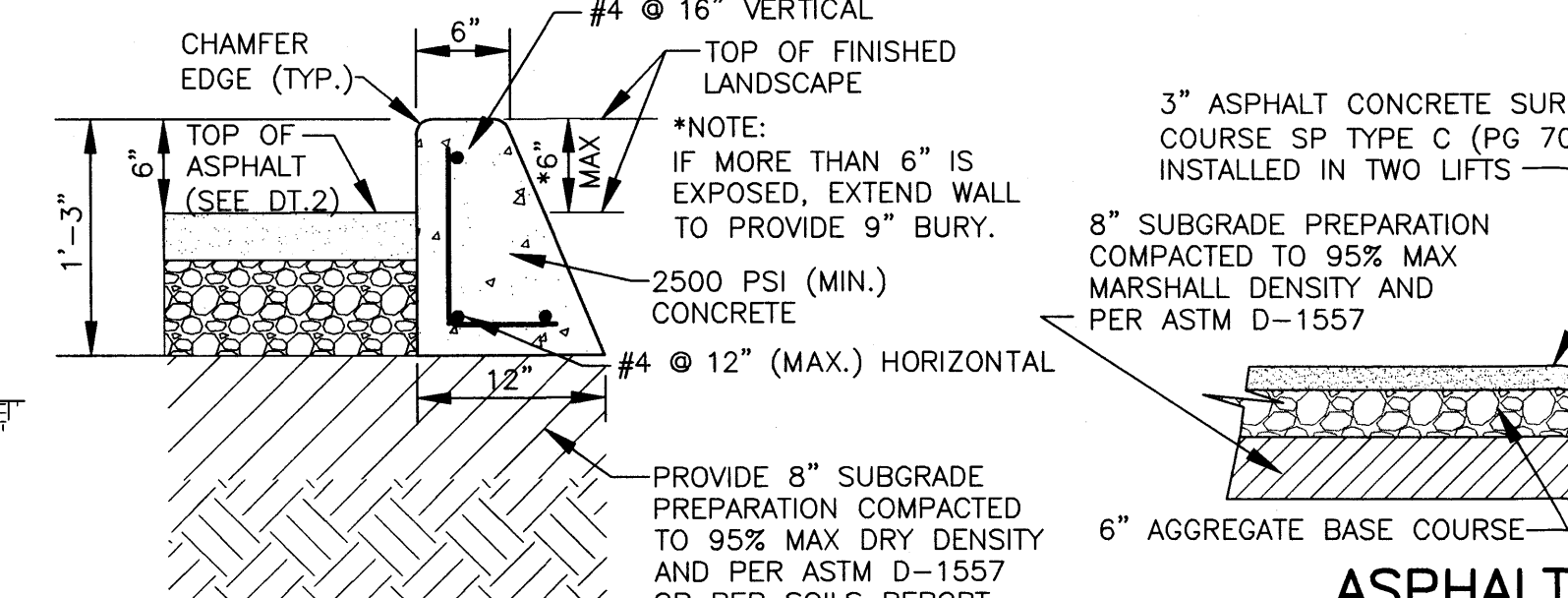
POST-DEVELOPMENT
SCALE: 1"=40'



GRADING & DRAINAGE PLAN
SCALE: 1"=20'



5 PARKING BUMPER
SCALE: 1/2"=1'



1 HEADER CURB
SCALE: 1"=1'-0"

2 ASPHALT PAVEMENT SECTION
SCALE: 1/2"=1'

GRADING & DRAINAGE GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. ROW WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH COA SPECIFICATION AND DETAILS.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990), FOR LOCATION OF EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
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- WHEN ABUTTING NEW CONCRETE TO EXISTING, CUT BACK EXISTING TO A NEAT STRAIGHT LINE TO REMOVE ANY BROKEN OR CRACKED CONCRETE, AND MATCH NEW TO EXISTING.
- EXERCISE CARE TO AVOID DISTURBING EXISTING UTILITIES, AND COORDINATE WITH THE UTILITY COMPANIES IN ORDER TO PREVENT ANY SERVICE DISRUPTION.
- CONSTRUCTION AREAS SHALL BE WATERED OR OTHERWISE KEPT DUST FREE. CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND ADHERING TO AN APPROVED SWPPP IF MORE THAN ONE ACRE IS DISTURBED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL DEMOLITION DEBRIS. WORK MATERIALS SHALL BE DISPOSED OF IN A CITY APPROVED WASTE AREA, IN ACCORDANCE WITH ALBUQUERQUE SPECIFICATIONS.
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- THE CONTRACTOR AGREES TO TAKE NECESSARY SAFETY PRECAUTIONS AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC IN THE CONSTRUCTION AREA, WHICH INCLUDE BUT ARE NOT LIMITED TO: MAINTAINING ADEQUATE WARNING SIGNS, BARRICADES, LIGHTS, GUARD FENCES, WALKS AND BRIDGES.
- CONTRACTOR SHALL ADJUST CLEANOUT RIMS, VALVE CANS, AND OTHER SURFACE UTILITIES AS NEEDED TO MATCH FINISHED ELEVATIONS.
- ALL LANDSCAPED AREAS SHALL BE DEPRESSED 6" (MIN.) BELOW ADJACENT CONCRETE UNLESS OTHERWISE NOTED IN THESE PLANS. COORDINATE WITH LANDSCAPE PLANS.
- A STRUCTURAL ENGINEER SHALL ANALYZE THE PROPOSED AND EXISTING BLOCK WALLS, FENCING, AND BUILDINGS FOR STABILITY UNDER SATURATED CONDITIONS.
- COORDINATE WITH STRUCTURAL AND ARCHITECTURAL PLANS FOR ADDITIONAL DETAILS.
- COORDINATE WITH THE ENGINEER FOR ANY CHANGES MADE TO THESE PROPOSED IMPROVEMENTS DUE TO CONFLICTS WITH OTHER ENGINEERING OR DESIGN ASPECTS.
- PROJECT BENCHMARK IS ALBUQUERQUE CITY SURVEY MONUMENT "5_K20" ELEV.=5429.99 (NAVD 1988).

CONSTRUCTION NOTES

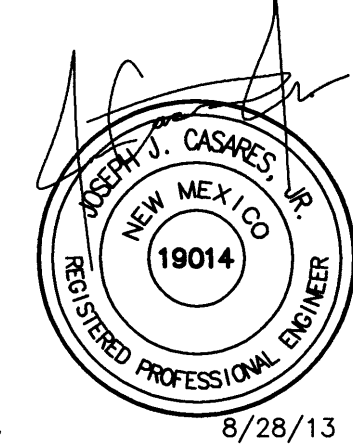
- CONSTRUCT 4" THICK CONCRETE (2500 PSI) WALKWAY WITH 6"x6"x#10. WIRE MESH. PROVIDE 8" PER 1' SLOPE (MIN.) AWAY FROM BUILDING. FINISH PER OWNER.
- CONSTRUCT SWALE PER DETAIL 4, THIS SHEET, TOP OF FINISHED LANDSCAPE (OR GRAVEL) TO BE AT ELEVATION AS SHOWN ON PLAN.
- CONSTRUCT HEADER CURB (APPROX. 267 L.F.) PER DETAIL 1, THIS SHEET.
- CONSTRUCT CONCRETE DRIVE PAD PER COA DETAIL 2425. MAINTAIN EXISTING GUTTER FLOWLINE. COORDINATE WITH SITE PLAN FOR SIZE.
- CONSTRUCT NEW ASPHALT SECTION (APPROX 1,555 S.Y.) PER DETAIL 2, THIS SHEET, COORDINATE WITH SOILS REPORT RECOMMENDATIONS.
- CONSTRUCT 6' WIDE RIGHT-OF-WAY SIDEWALK (APPROX. 52 S.Y.) WITH CURB & GUTTER (APPROX. 77 L.F.) PER COA DETAIL 2430 AND 2415A.
- CONSTRUCT CONCRETE PAD (APPROX. 28 S.Y.) PER SIZE AS SHOWN. PROVIDE 6" THICK CONCRETE (4000 PSI) WITH 1" TURNDOWN EDGE, OVER 4" MAT OF 3/4" BASE COURSE. PROVIDE 6"x6"x#10 GAUGE WIRE MESH REINFORCING. INSTALL BOLLARDS AS SHOWN. FILL EACH BOLLARD WITH CONCRETE. SEE SITE PLAN FOR ADDITIONAL DETAILS.
- STRIPED PARKING WITH 4" WIDE WHITE PAVEMENT PAINT, PROVIDE HANDICAP PARKING SPACE PER DETAIL 3. ADD PARKING BUMPERS TO ALL SPOTS PER DETAIL 5. PROVIDE STRIPED WALKWAY AS SHOWN.
- REMOVE EXISTING OBSTRUCTION. COORDINATE WITH OWNER FOR SALVAGE. IF UTILITY, COORDINATE REMOVAL WITH APPROPRIATE UTILITY COMPANY.
- PROVIDE 3' (UNLESS NOTED OTHERWISE) CURB OPENING TO FACILITATE DRAINAGE, AND PROVIDE 6"-8" RIPRAP AT 1' THICK (APPROX. 3 C.Y.) TO BOTTOM OF SWALE.
- CONSTRUCT RETENTION BASIN PER CONTOUR ELEVATIONS SHOWN.

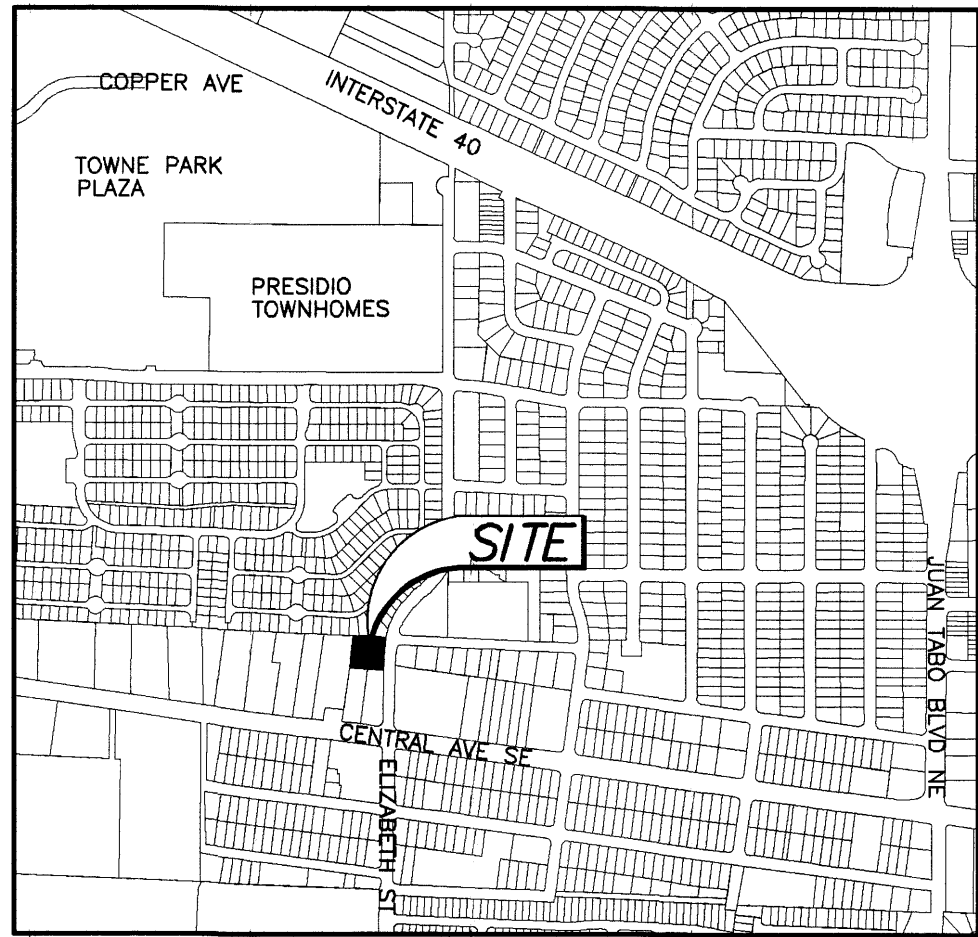
ENGINEER: JCII GROUP, LLC.
505-264-6918
JCIIGROUP@GMAIL.COM
ALBUQUERQUE, NEW MEXICO

CLIENT: DAMIAN CHIMENTI
INSIGHT CONSTRUCTION
3909 12TH STREET
ALBUQUERQUE, NM 87104

PROJECT: WITTLER AUTO IMPROVEMENTS
GRADING AND DRAINAGE PLAN
&
HYDROLOGIC ANALYSIS

PROJECT NO. 2013.102
DRAWN KC
CHECKED JC
DATE 08-28-13
SHEET C1





LOCATION MAP

SCALE: 1"=1000'±
ZONE ATLAS MAP K-21

I. EXECUTIVE SUMMARY

THIS PLAN SERVES TO SUPPORT THE DEVELOPMENT OF AN ADDITION FOR HANS WITTLER AUTO. THE SITE IS LOCATED IN THE CITY OF ALBUQUERQUE AND IS KNOWN AS TRACT H OF THE LONGFIELD ADDITION. THIS PARCEL IS LOCATED IN THE NORTHEAST ALONG ELIZABETH STREET, JUST NORTH OF CENTRAL AVENUE. THE SITE ADDRESS IS 121 ELIZABETH STREET NE. THE PROPOSED CONSTRUCTION CONSISTS OF NEW BUILDING, PARKING LOT IMPROVEMENTS, SITE WALLS, RETENTION BASINS, LANDSCAPE AND OTHER AMENITIES. OFF-SITE CONSTRUCTION WILL INCLUDE A DRIVE PAD AND SIDEWALK. THE SITE WILL BE DEVELOPED CONCURRENTLY AND NO PHASING IS PROPOSED. LOTS WITHIN THIS SUBDIVISION ARE FULLY DEVELOPED. ALSO, RIGHT-OF-WAY STREET PAVEMENT, CURB AND GUTTER, PUBLIC UTILITIES AND DRAINAGE STRUCTURES FOR THE LONGFIELD ADDITION ARE IN PLACE. DUE TO THESE DEVELOPMENTS, OFF-SITE STORMWATER SHOULD NOT IMPACT THIS SITE. IT IS PROPOSED THAT STORMWATER GENERATED ON-SITE WILL BE CONVEYED TO THE RIGHT-OF-WAY AND TO THE EXISTING DRAINAGE EASEMENT. FLOWS WILL NOT EXCEED HISTORIC VALUES.

II. PROJECT DESCRIPTION

AS SHOWN ON THE LOCATION MAP THE SITE (29,953 SF = APPROXIMATELY 0.688 ACRES) IS LOCATED IN THE CITY OF ALBUQUERQUE AT 121 ELIZABETH STREET NE. CURRENTLY THE SITE IS DEVELOPED. THE SITE IS PLATTED AS "ONE (1) TRACT OF LAND SITUATE WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN IN VALENCIA COUNTY, NEW MEXICO, BEING TRACT H, AS SUCH TRACT IS SHOWN ON THE REPLAT TITLED "TRACTS A, B, C, D, E, F, G, AND H, LONGFIELD ADDITION", FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON OCTOBER 12, 1984, IN PLAT CABINET C25, FOLIO 62." FURTHERMORE, THE SITE IS LOCATED IN FLOOD ZONE X AS INDICATED BY FIRM NUMBER 350010C03596, RECORDED ON SEPTEMBER 26, 2008 BY THE FEMA.

III. BACKGROUND DOCUMENTS

THERE IS NO KNOWN DRAINAGE REPORT FOR THIS SUBDIVISION. THE PLAT, THE FIRM, THE COA DEVELOPMENT PROCESS MANUAL, THE SITE SURVEY, AND THE PROPOSED GRADING AND DRAINAGE PLAN WERE UTILIZED FOR THE EXECUTION OF THIS HYDROLOGY AND HYDRAULIC ANALYSIS.

IV. EXISTING CONDITIONS

CURRENTLY THE SITE IS DEVELOPED AND CONTAINS AN EXISTING BUILDING, PAVEMENT, GRAVEL AREAS, CONCRETE AND FENCES. THERE IS VERY LITTLE VEGETATION ON THE PROJECT SITE. THE SITE NATURALLY EXIST WITH A HIGH POINT AND THEREFORE DRAINS TO THE ROW OF ELIZABETH STREET AND TO THE EXISTING DRAINAGE EASEMENT (DE). EXISTING RUN-OFF FLOW TO THE ROW IS DETERMINED TO BE 1.06 CFS, AND TO THE DE IS 2.07 CFS.

V. DEVELOPED CONDITIONS

THE PROPOSED ON-SITE CONSTRUCTION CONSISTS OF NEW BUILDING, PARKING LOT IMPROVEMENTS, SITE WALLS, RETENTION BASINS, LANDSCAPE AND OTHER AMENITIES. OFF-SITE CONSTRUCTION WILL INCLUDE A DRIVE PAD AND SIDEWALK. STORMWATER GENERATED ON-SITE WILL BE SURFACE ROUTED AND DIRECTED TOWARDS ELIZABETH STREET (ROW) AND THE EXISTING 10' DRAINAGE EASEMENT (DE). RUN-OFF FLOW TO THE ROW AFTER DEVELOPMENT IS DETERMINED TO BE 1.05 CFS, AND TO THE DE IS 1.80 CFS. ONE ONSITE LANDSCAPED AREA WILL BE UTILIZED AS A RETENTION BASIN WITH A MAXIMUM DEPTH OF 2' AND WILL RETAIN STORMWATER RUNOFF FROM A PORTION OF THE SITE. OTHER LANDSCAPED AREAS WILL BE DEPRESSED SIX INCHES. THEREFORE, PAVEMENT RUNOFF AND STORMWATER THAT FALLS IN THESE LANDSCAPED AREAS WILL SLOWLY PERCOLATE INTO THE GROUND AND SURROUNDING VEGETATION. ROOF RUN-OFF WILL BE CONVEYED UTILIZING ROOF SCUPPERS AND DOWNSPOUTS. DOWNSPOUTS WILL BE DIRECTED TOWARD PAVEMENT. THE RETENTION BASIN IS SIZED TO ACCOMMODATE THE 100-YR 24-HOUR EVENT FOR A PORTION OF THE SITE (SEE ANALYSIS).

VI. EROSION CONTROL

CURRENTLY 70% OF THE PARCEL IS HARD SURFACES (PAVEMENT, ROOFTOPS AND CONCRETE). AFTER DEVELOPMENT APPROXIMATELY 92% OF THE SITE WILL BE MADE-UP OF CONCRETE, ASPHALT AND ROOFTOP. THE PROPOSED CONSTRUCTION WILL INCREASE THE AMOUNT OF IMPERVIOUS AREA BY 22%. PERMANENT EROSION CONTROL AT SURFACE FLOW CONCENTRATION POINTS WILL CONSIST OF RIPRAP.

VII. WATER QUALITY ENHANCEMENTS

NO WATER QUALITY ENHANCEMENTS ARE PROPOSED.

VIII. GRADING PLAN

THE GRADING & DRAINAGE PLAN ON THIS SHEET SHOWS:
1. EX. SPOT ELEVATION AS TAKEN FROM RECENT TOPOGRAPHY
2. PROPOSED GRADES INDICATED BY SPOT ELEVATIONS
3. THE LIMITS AND CHARACTER OF THE EX. FEATURES TO REMAIN
4. THE LIMITS AND CHARACTER OF THE PROPOSED IMPROVEMENTS
5. CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES

IX. ANALYSIS

THE CALCULATIONS HEREON ANALYZE THE HYDROLOGY FOR BOTH THE EXISTING AND DEVELOPED CONDITIONS (PRE AND POST) UPON A 100 YEAR, 24-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40 ACRES AND SMALLER BASINS, AS SET FORTH IN CHAPTER 22 OF THE DEVELOPMENT PROCESS MANUAL (DPM), VOLUME 1, 1997 REVISIONS IS USED TO QUANTIFY THE PEAK RATE OF DISCHARGE (Q) AND VOLUME (V) OF ON-SITE STORMWATER RUN-OFF. ALL DATA UTILIZED FOR ANALYSIS CAN BE FOUND BELOW UNDER SITE CHARACTERISTICS. RESULTS ARE PRESENTED BELOW.

HYDROLOGY ANALYSIS FOR PEAK RATE OF DISCHARGE (Q) AND PEAK VOLUME (V)

SITE CHARACTERISTICS:

DRAINAGE AREA = (SEE PRE AND POST-DEVELOPMENT MAP)
LAND TREATMENT (DPM CH. 22, TABLE A-4)
IMPERVIOUS = D
PERVIOUS = C=GRAVEL & B=LANDSCAPE
PRECIPITATION ZONE = 3 (DPM CH. 22, TABLE A-1)

PRE-DEVELOPMENT:

DRAINAGE AREA "A"
684 sf = 7.3% PERV. (C)
8,669 sf = 92.7% IMPERV.
ANALYSIS RESULTS
Q = 1.06 cfs
V = 2,143 cf

POST-DEVELOPMENT:

DRAINAGE AREA "A" 6.8%
395 760 sf = 7.9% PERV. (B)
5,447 8,730 sf = 92.1% IMPERV.
ANALYSIS RESULTS 93.2%
0.70 Q = 1.05 cfs
1,327 V = 2,142 cf

DRAINAGE AREA "B"

8,401 sf = 40.8% PERV. (C)
12,199 sf = 59.2% IMPERV.
ANALYSIS RESULTS
Q = 2.07 cfs
V = 3,811 cf

DRAINAGE AREA "B" 3.0%

580 566 sf = 3.6% PERV. (B)
18,475 16,271 sf = 96.4% IMPERV.
ANALYSIS RESULTS 97%
2.16 Q = 1.80 cfs
4,445 V = 3,687 cf

DRAINAGE AREA "C" 25.1%

1,260 1,188 sf = 25.2% PERV. (B)
3,787 3,469 sf = 94.6% IMPERV.
ANALYSIS RESULTS 74.9%
0.51 Q = 0.47 cfs
999 V = 913 cf (RETAINED)

RETENTION BASIN DESCRIPTION AND VOLUME (V) CALCULATION:

THE PROPOSED RETENTION BASIN FOR AREAS "C" IS POLYGONAL AND WILL BE 24" DEEP (SEE PLAN). THE VOLUME IS CALCULATED AS FOLLOWS:

RETENTION BASIN "C"

POLYGONAL CHARACTERISTICS: 610 SF
TOP PERIMETER AREA = 654 SF
BOTTOM PERIMETER AREA = 228 SF
DEPTH = 1.70 FT
V = (1/2)(654 SF + 228 SF)(1.7 FT) = 920 CF
643 SF 2.3 FT 1,002 CF

X. CONCLUSION

THE PROPOSED SITE WILL ADEQUATELY CONVEY STORMWATER GENERATED ON-SITE BY A 100 YEAR, 24-HOUR STORM EVENT IF CONSTRUCTED IN STRICT ACCORDANCE WITH THE IMPROVEMENTS SHOWN ON THIS GRADING AND DRAINAGE PLAN. FURTHERMORE, THE SITE HYDRAULICS WILL ALLOW 1.05 CFS OF STORMWATER TO RUN OFF INTO THE ROW, AND 1.80 CFS INTO THE EXISTING DRAINAGE EASEMENT. MORE SPECIFICALLY AND IN ACCORDANCE WITH THE ABOVE ANALYSIS, STORMWATER RUNOFF FROM: DRAINAGE AREA "A" WILL SHEET FLOW TO ELIZABETH STREET, DRAINAGE AREA "B" WILL SHEET FLOW TO THE EXISTING DRAINAGE EASEMENT, AND DRAINAGE AREA "C" WILL BE RETAINED ON-SITE. ALL ON-SITE STORM DRAINAGE FACILITIES WILL BE PRIVATELY OWNED, OPERATED AND MAINTAINED.

DRAINAGE CERTIFICATION

I, JOSEPH CASARES, NMPE 19014, OF THE FIRM JCII GROUP, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8/28/13. THE RECORD INFORMATION HAS BEEN OBTAINED BY TIMOTHY MARTINEZ, NMPS 13982, OF THE FIRM TM SURVEYING, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 5/6/14 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

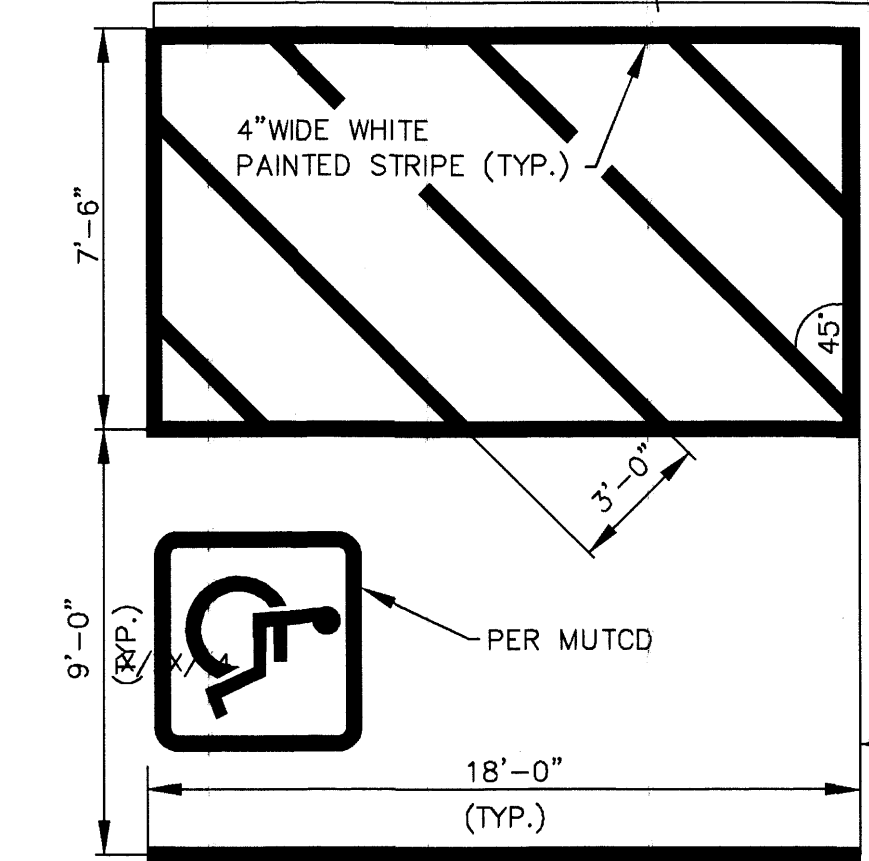
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JOSEPH CASARES, NMPE 19014

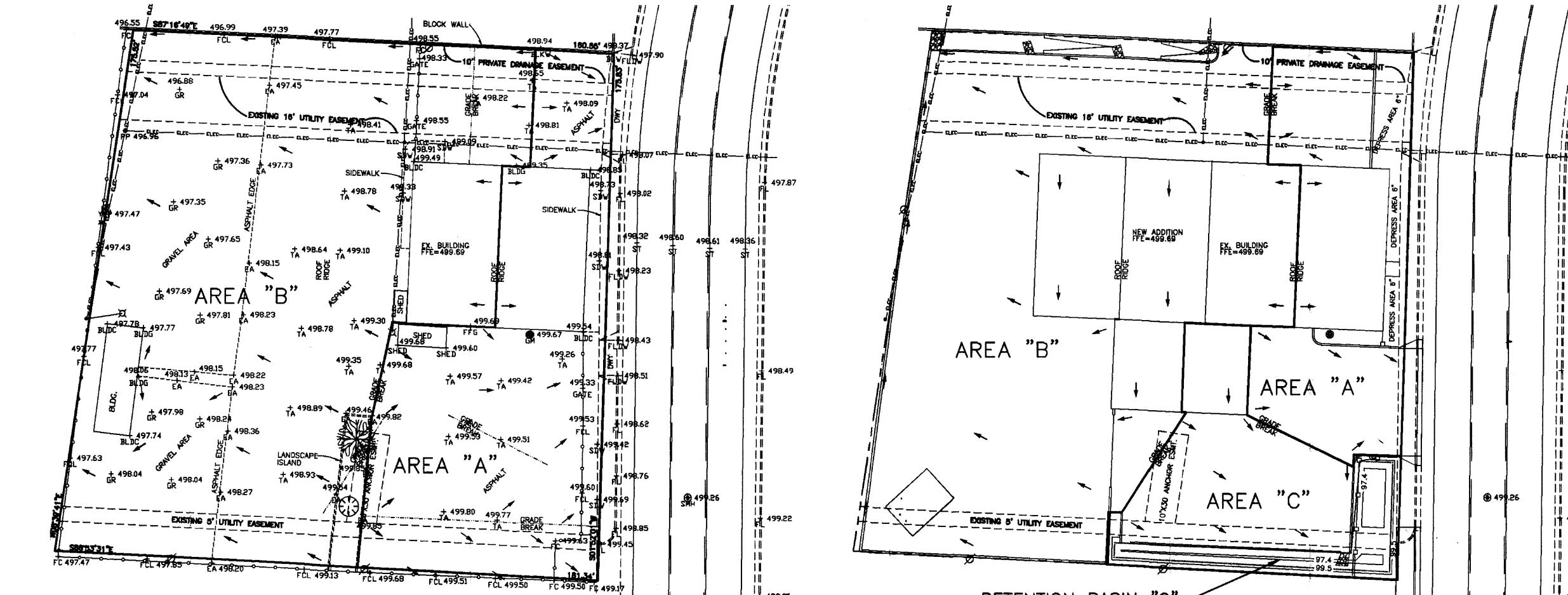
JCII GROUP, LLC
7225 AREHOSO PL. NW
ALBUQUERQUE, NM 87120

5/9/14

DATE



③ HC PARKING SPACE DETAIL
SCALE: 1/4" = 1'-0"

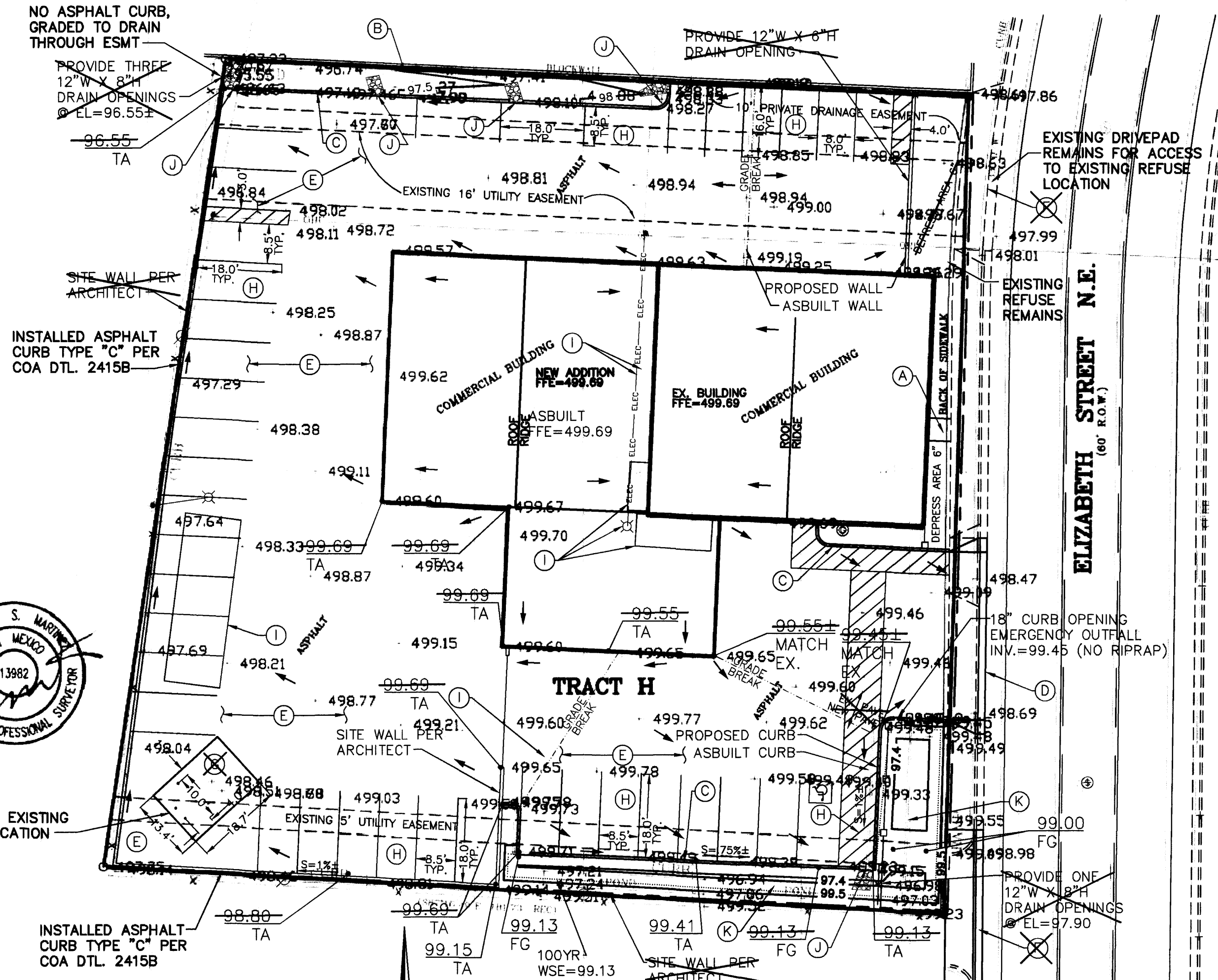


PRE-DEVELOPMENT/EX. TOPOGRAPHY

SCALE: 1"=40'

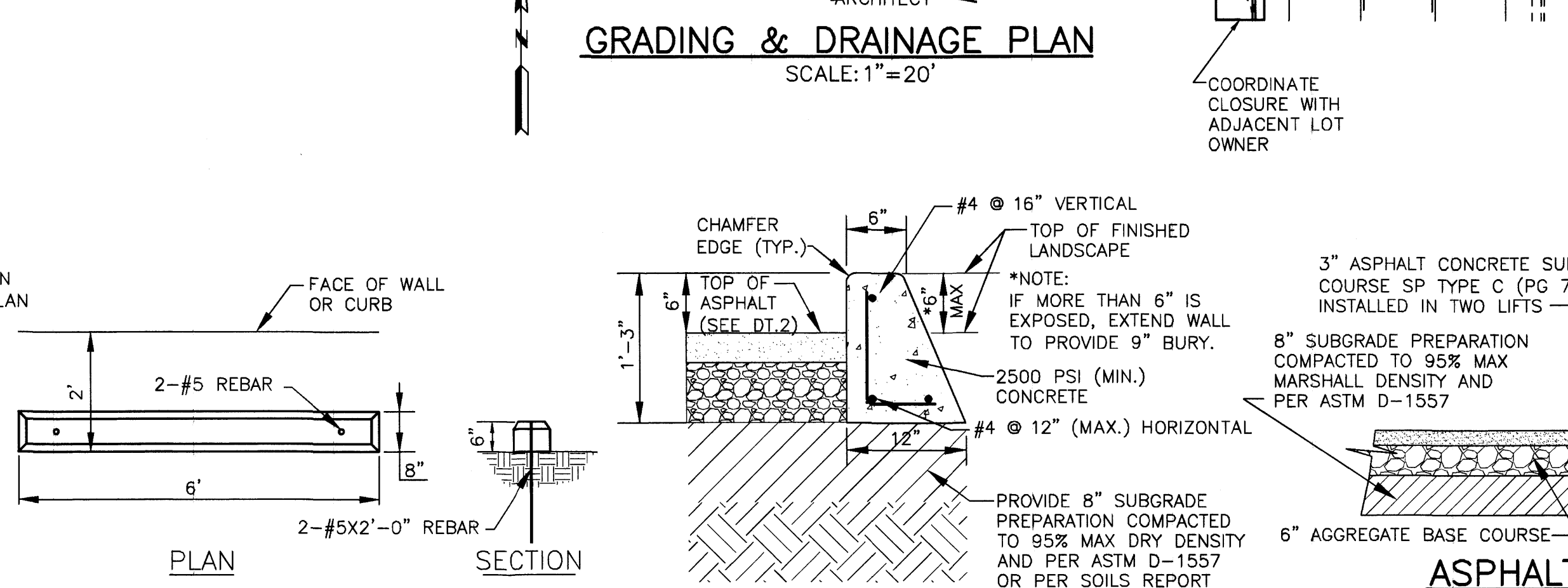
POST-DEVELOPMENT

SCALE: 1"=40'

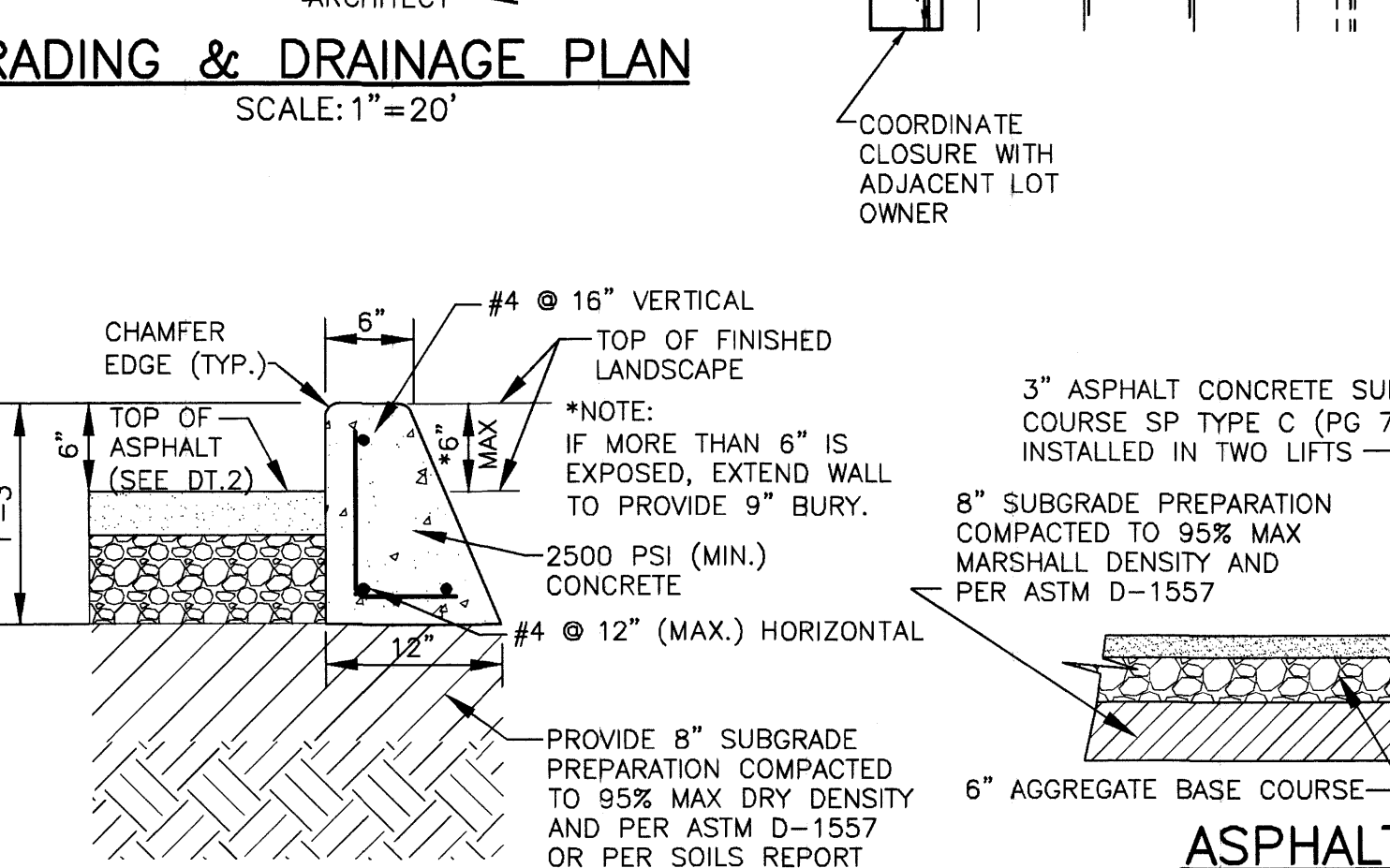


GRADING & DRAINAGE PLAN

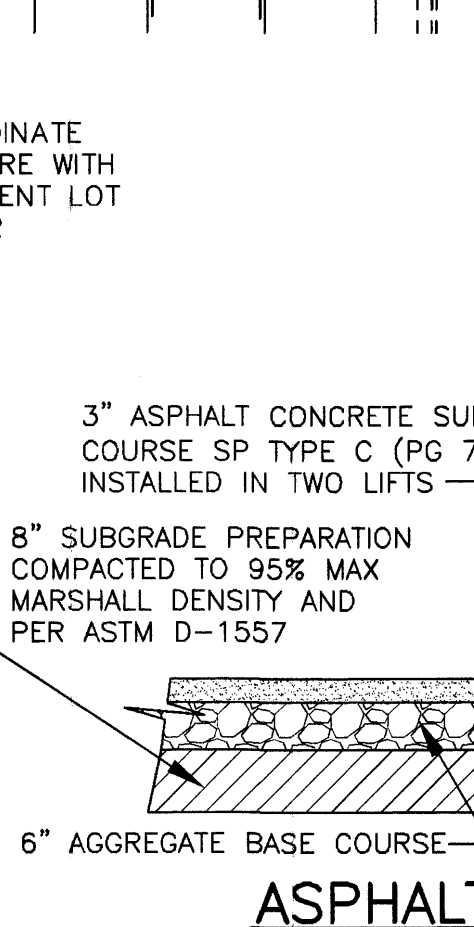
SCALE: 1"=20'



⑤ PARKING BUMPER
SCALE: 1/2"=1'



① HEADER CURB
SCALE: 1"=1'-0"



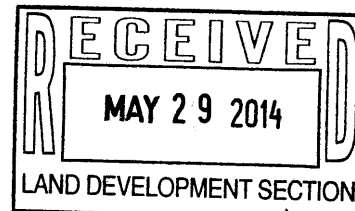
② ASPHALT PAVEMENT SECTION
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GRADING & DRAINAGE GENERAL NOTES

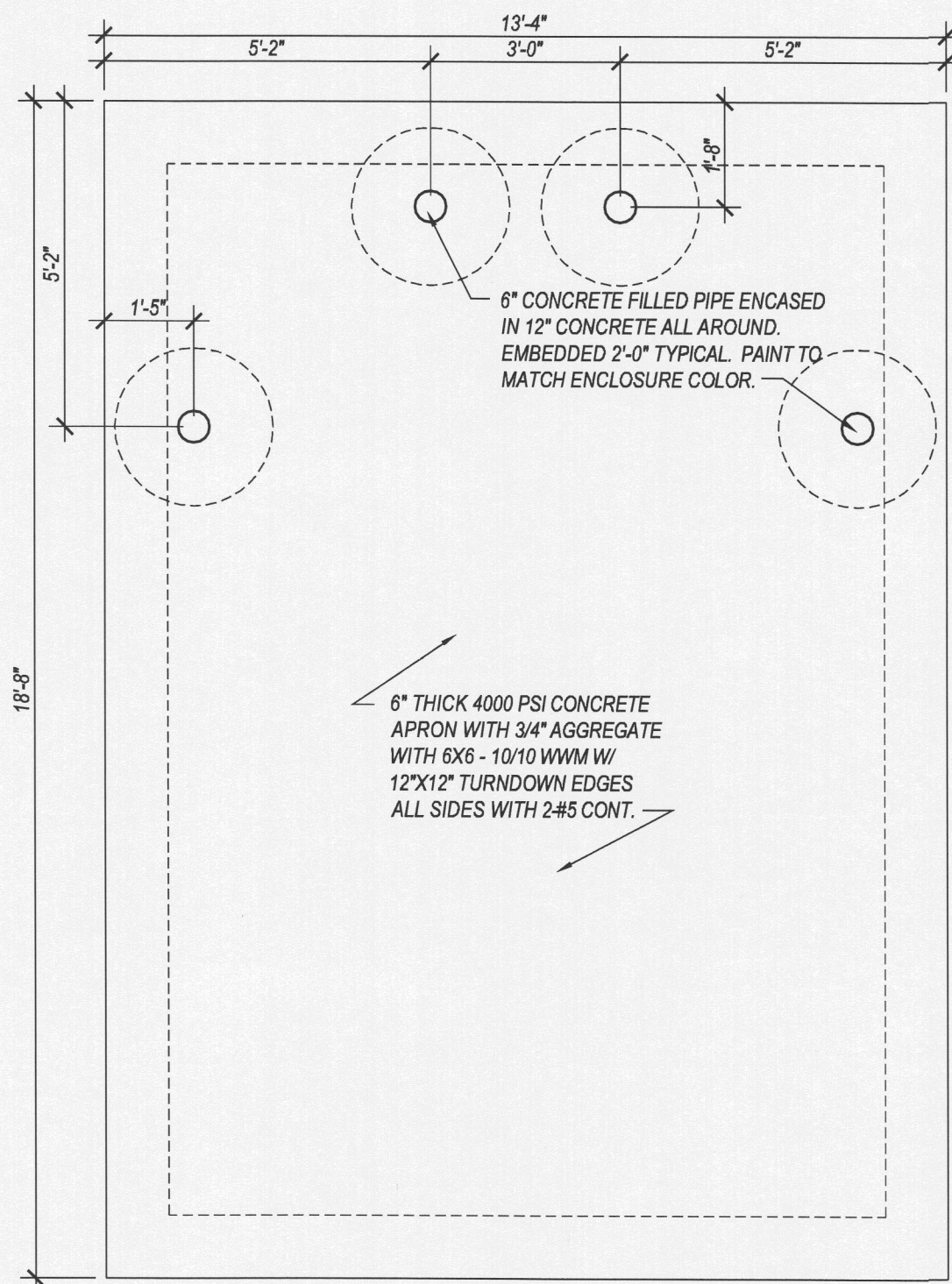
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CONSTRUCTION NOTES

- CONSTRUCT 4" THICK CONCRETE (2500 PSI) WALKWAY WITH 6"x6"x#10 WIRE MESH. PROVIDE 1" PER 1' SLOPE (MIN.) AWAY FROM BUILDING. FINISH PER OWNER.
- CONSTRUCT SWALE PER DETAIL 4, THIS SHEET, TOP OF FINISHED LANDSCAPE (OR GRAVEL) TO BE AT ELEVATION AS SHOWN ON PLAN.
- CONSTRUCT HEADER CURB (APPROX. 267 L.F.) PER DETAIL 1, THIS SHEET.
- CONSTRUCT CONCRETE DRIVE PAD PER COA DETAIL 2425. MAINTAIN EXISTING GUTTER FLOWLINE. COORDINATE WITH SITE PLAN FOR SIZE.
- CONSTRUCT NEW ASPHALT SECTION (APPROX 1,555 S.Y.) PER DETAIL 2, THIS SHEET, COORDINATE WITH SOILS REPORT RECOMMENDATIONS.
- CONSTRUCT 6' WIDE RIGHT-OF-WAY SIDEWALK (APPROX. 52 S.Y.) WITH CURB & GUTTER (APPROX. 77 L.F.) PER COA DETAIL 2430 AND 2415A.
- CONSTRUCT CONCRETE PAD (APPROX. 28 S.Y.) PER SIZE AS SHOWN. PROVIDE 6" THICK CONCRETE (2000 PSI) WITH 1" TURNDOWN EDGE OVER 4" MAT OF 3/4" BASE COURSE. PROVIDE 6"x6"x#10 GAUSETIME MESH REINFORCING. INSTALL BOLLARDS AS SHOWN. FILL EACH BOLLARD WITH CONCRETE. SEE SITE PLAN FOR ADDITIONAL DETAILS.
- STRIPES PARKING WITH 4" WIDE WHITE PAVEMENT PAINT, PROVIDE HANDICAP PARKING SPACE PER DETAIL 3. ADD PARKING BUMPERS TO ALL SPOTS PER DETAIL 5. PROVIDE STRIPED WALKWAY AS SHOWN.
- REMOVE EXISTING OBSTRUCTION. COORDINATE WITH OWNER FOR SALVAGE. IF UTILITY, COORDINATE REMOVAL WITH APPROPRIATE UTILITY COMPANY.
- PROVIDE 3" (UNLESS NOTED OTHERWISE) CURB OPENING TO FACILITATE DRAINAGE, AND PROVIDE 6"-8" RIPRAP AT 1' THICK (APPROX. 3 C.Y.) TO BOTTOM OF SWALE.
- CONSTRUCT RETENTION BASIN PER CONTOUR ELEVATIONS SHOWN.



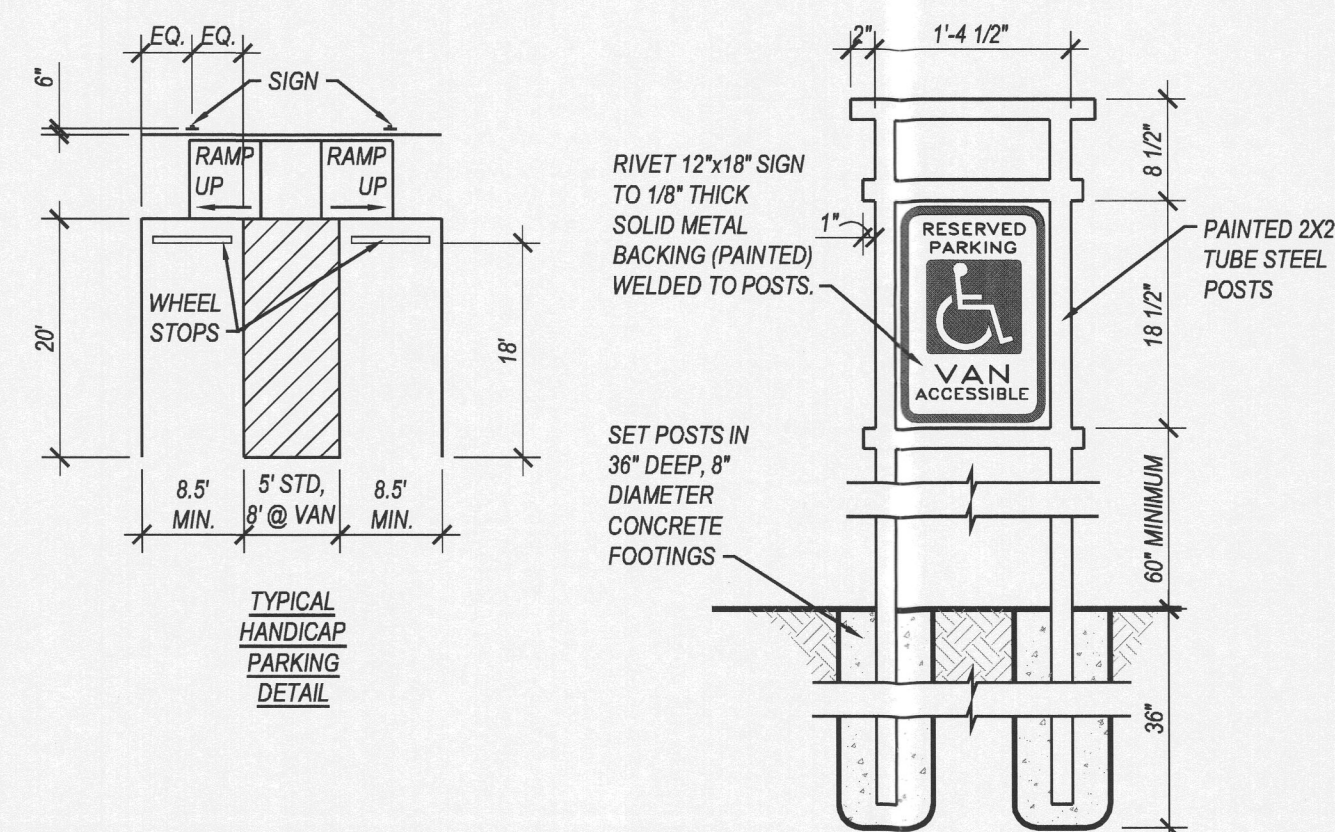
| | | | | | | | | | |
|-------------|--------------------------------------------------------------------------------------|-------|----|---------|----|------|----------|-------|----|
| ENGINEER: | JCII GROUP, LLC. 505-264-6918 JCIIGROUP@GMAIL.COM ALBUQUERQUE, NEW MEXICO | | | | | | | | |
| CLIENT: | DAMIAN CHIMENTI INSIGHT CONSTRUCTION 3909 12TH STREET ALBUQUERQUE, NM 87104 | | | | | | | | |
| PROJECT: | WITTLER AUTO IMPROVEMENTS GRADING AND DRAINAGE PLAN & HYDROLOGIC ANALYSIS | | | | | | | | |
| PROJECT NO. | 2013.102 | DRAWN | KC | CHECKED | JC | DATE | 08-28-13 | SHEET | C1 |



1 REFUSE ENCLOSURE DETAIL
SCALE: 3/8"=1'-0"



AERIAL PHOTO



2 ACCESSIBLE PARKING DETAILS
SCALE: NOT TO SCALE

GENERAL SITE NOTES

- ALL EASEMENTS SHOWN ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- ALL SITE LIGHTING SHALL BE BUILDING MOUNTED FIXTURES. FIXTURES SHALL MEET NIGHT SKY ORDINANCE REQUIREMENTS.
- COORDINATE WITH ALL UTILITY COMPANIES FOR EXACT REQUIREMENTS AND INSTALLATION DETAILS FOR, AND EXTEND ALL UTILITIES TO, THE PROJECT AS REQUIRED (WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE, ETC.). VERIFY ALL SERVICES WITH OWNER PRIOR TO COMMENCING WORK.
- ALL SIDEWALKS TO BE 4" THICK MINIMUM, 4000 PSI CONCRETE, BROOM FINISH WITH 1/8" PER 1'-0" MAXIMUM CROSS SLOPE, OVER COMPACTED GRADE UNLESS NOTED OTHERWISE ON GRADING PLAN. PROVIDE EXPANSION JOINTS EVERY 4'-0" LINEAR FEET AND CONTROL JOINTS EVERY 20'-0" LINEAR FEET. TOOL EDGES WITH 1/4" FINISHING TOOL. PROVIDE 6" WIDE X 12" DEEP TURN DOWN EDGE AT CURBS AND ADJACENT TO PAVING. REINFORCE TURNDOWNS WITH #4 BAR CONTINUOUS.
- ALL PAVING TO BE TYPE "C" PER C.O.A. STANDARD DRAWING #2400 AND ADDITIONALLY REFERENCED STANDARDS. PAVING IN DRIVE LANES TO BE 3" A.C. OVER 6" A.B.C. OVER 6" MINIMUM SUBGRADE PREPARATION. PAVING IN PARKING AREA CAN BE REDUCED TO 2" A.C. OVER 4" A.B.C. OVER 6" MINIMUM SUBGRADE PREPARATION.
- ALL STRIPING TO BE PER MUTCD STANDARDS FOR TRAFFIC PAINT AND SHALL BE WHITE IN COLOR UNLESS NOTED OTHERWISE. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED IN EACH ACCESSIBLE PARKING STALL.
- ALL HEADER CURBS, MEDIAN AND STANDARD CURB & GUTTERS TO BE CONSTRUCTED PER C.O.A. STANDARD DRAWINGS #2415A AND #2415B.
- DRIVEWAY ENTRANCES SHALL BE CONSTRUCTED PER C.O.A. STANDARD DRAWING #2425. DRIVEWAY ENTRANCES (CURB RETURNED) SHALL BE CONSTRUCTED PER C.O.A. STANDARD DRAWING #2426. ALLEY ENTRANCES SHALL BE CONSTRUCTED PER C.O.A. STANDARD DRAWING #2428.
- CONCRETE PARKING BUMPERS TO BE 7'-0" WIDE MINIMUM, SLOT BOTTOM AND REINFORCED WITH AT LEAST (2) #3 BARS TYPICAL. ANCHOR TO PAVING WITH WITH (2) 18" LONG #6 DOWELS TYPICAL. RIBBON STYLE BICYCLE RACKS TO BE 3" LONG X 42" HIGH, 2" Ø PAINTED STEEL PIPE INSET INTO 10" Ø X 16" DEEP FOOTINGS. PROVIDE 3" MINIMUM CLEARANCE FROM STEEL TO SOIL.

RADIUS LEGEND

| | | |
|--------------------|--------------------|--------------------|
| 1 = 1'-0" RADIUS | 2 = 2'-0" RADIUS | 3 = 3'-0" RADIUS |
| 4 = 5'-0" RADIUS | 5 = 10'-0" RADIUS | 6 = 15'-0" RADIUS |
| 7 = 20'-0" RADIUS | 8 = 25'-0" RADIUS | 9 = 30'-0" RADIUS |
| 10 = 35'-0" RADIUS | 11 = 39'-0" RADIUS | 12 = 49'-0" RADIUS |
| 13 = 50'-0" RADIUS | 14 = 55'-0" RADIUS | |

PARKING CALCULATIONS

| | | |
|--------------|-----------------------|----------------------|
| OFFICE SPACE | = 1,186 S.F. NET/200 | = 5.93 = 6 SPACES |
| SERVICE BAYS | = 6,219 S.F. NET/1000 | = 6.22 = 7 SPACES |
| TOTALS | = 7,405 S.F. | = 13 SPACES REQUIRED |

TOTAL SPACES PROVIDED = 14 (INCLUDES 1 VAN ACCESSIBLE SPACE 1:1-25)

MOTORCYCLE SPACES REQUIRED = 1:1-25 SPACES = 1 SPACE PROVIDED.

BICYCLE SPACES REQUIRED = 1 PER 20 VEHICLE SPACES REQUIRED (2 MINIMUM) = 2 SPACES REQUIRED. 5 BICYCLE SPACES PROVIDED.

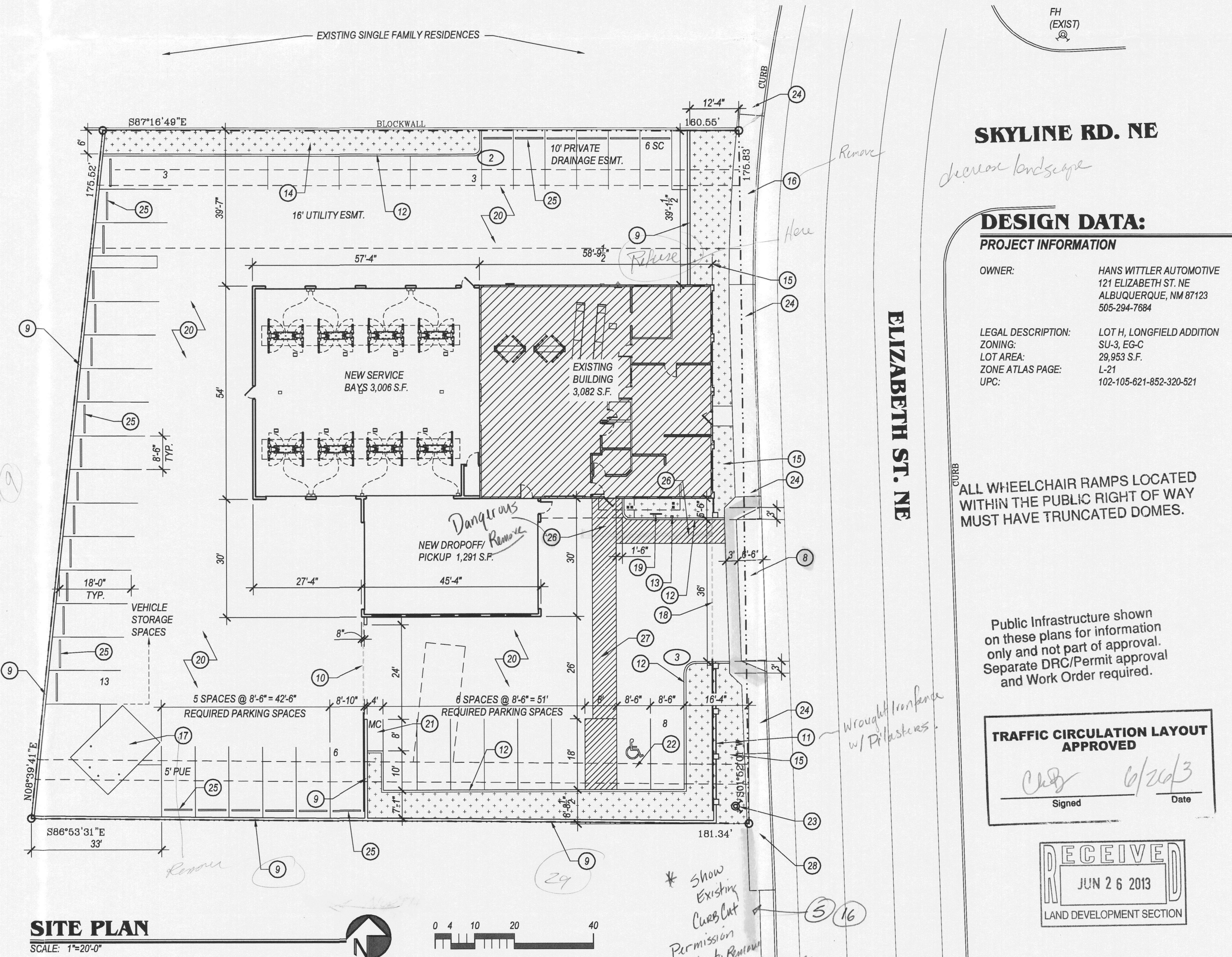
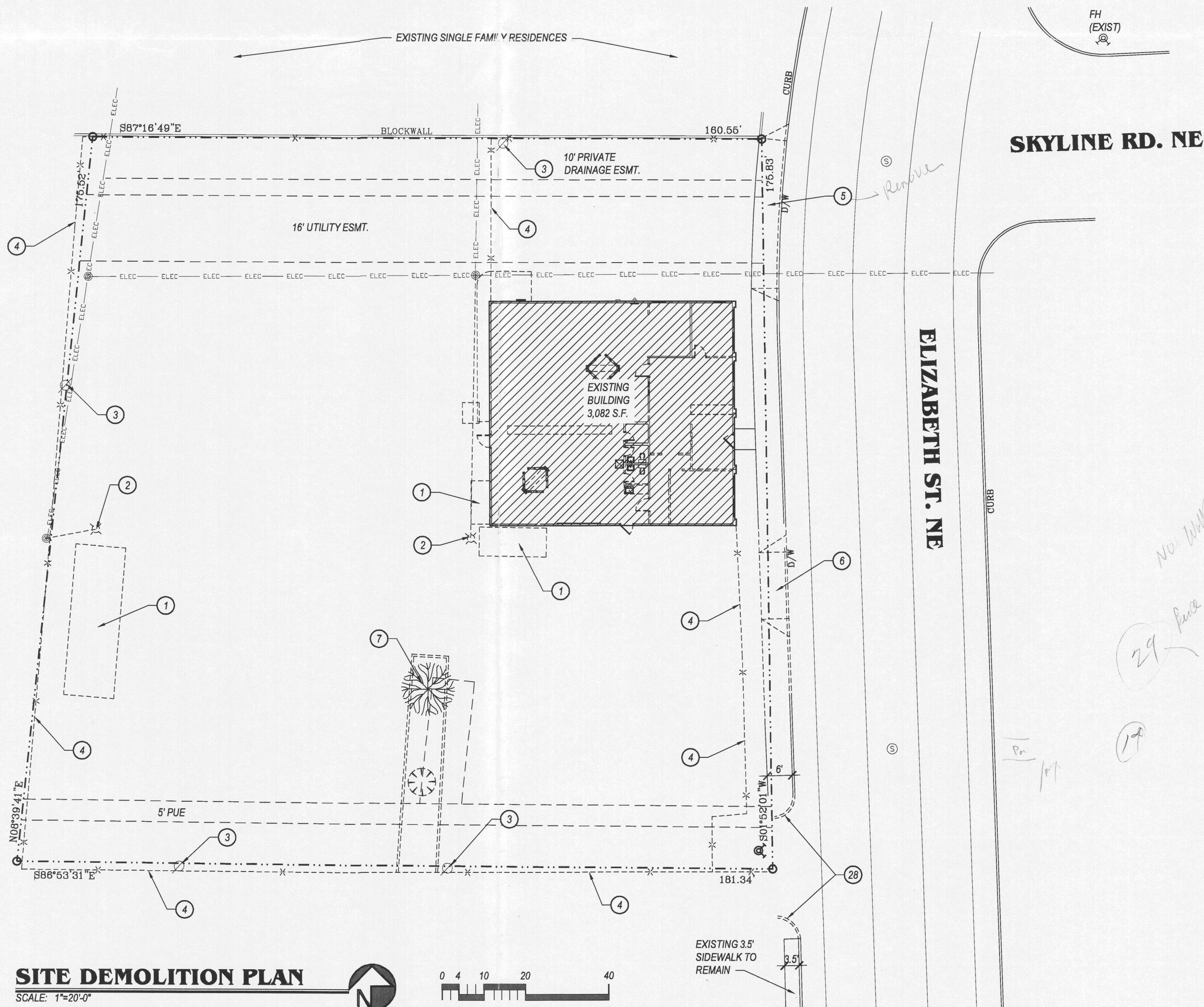
25 VEHICLE STORAGE SLOTS PROVIDED.

SITE PLAN KEYED NOTES:

- REMOVE EXISTING STRUCTURES IN THEIR ENTIRETY.
- REMOVE POWER BACK TO NEAREST POLE.
- EXISTING PERIMETER ALARM POLES TO BE RELOCATED. CONTRACTOR SHALL COORDINATE WITH OWNER'S ALARM VENDOR.
- REMOVE EXISTING FENCING AND GATES AS SHOWN.
- REMOVE EXISTING DRIVEWAY AND REPLACE AS PER KEYED NOTE #16.
- EXISTING DRIVEWAY TO BE REBUILT.
- REMOVE EXISTING LANDSCAPING AND PLANTER AS SHOWN.
- EXPAND EXISTING DRIVEWAY PER COA STANDARD DETAIL #2425 SPECIFICALLY SECTIONS A-A AND E-E. PROVIDE SIDEWALK EASEMENT AS REQUIRED.
- NEW 8" TALL CMU WALL.
- 8" TALL OPAQUE ROLLING GATE.
- 8" TALL WROUGHT IRON FENCING WITH CMU PILASTERS AS SHOWN.
- NEW HEADER CURB OR MEDIAN CURB (CONTRACTOR OPTION) TYPICAL UNLESS NOTED OTHERWISE PER COA STANDARD DETAIL #2415B.
- KEY PAD FOR MOTORIZED ROLLING ENTRY GATE.
- 6' SIDEYARD LANDSCAPING BUFFER AS REQUIRED BY THE ZONING DEPARTMENT.
- HATCH PATTERN INDICATES EXISTING AND NEW LANDSCAPING.
- NEW CITY SIDEWALK, PER COA DETAIL #2430 AND STANDARD CURB & GUTTER PER COA DETAIL #2415A. PROVIDE SIDEWALK EASEMENT AS REQUIRED.
- NEW REFUSE PAD, SEE DETAIL #1 THIS SHEET. SEE COA SOLID WASTE DEPARTMENT CONSTRUCTION REQUIREMENTS.
- NEW MOTORIZED WROUGHT IRON ROLLING SECURITY GATE.
- NEW BIKE RACK, 5 SPACES.
- ASPHALT PAVING, SEE GENERAL NOTES FOR REQUIREMENTS.
- MOTORCYCLE PARKING SPACE 4'-0" WIDE BY 8'-0" DEEP MINIMUM. PAINT PAVEMENT AS SHOWN AND PROVIDE THE WORDS "MOTOR CYCLE PARKING ONLY" ON PAVEMENT. PROVIDE A SIGN CENTERED ON THE PARKING AREA 12" WIDE BY 18" TALL, 5'-0" FROM FINISH GRADE TO THE BOTTOM OF THE SIGN THAT STATES "MOTORCYCLE PARKING ONLY". SIGN DETAILS SHALL BE SIMILAR TO HANDICAP SIGN DETAIL #3 ON THIS SHEET.
- VAN ACCESSIBLE HANDICAP PARKING SPACES WITH SIGNS CENTERED ON EACH STALL AS SHOWN. BOTTOM OF SIGNS SHALL BE AT LEAST 80" FROM FINISHED GRADE AND SHALL CONTAIN THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AS WELL AS THE DESIGNATION "VAN ACCESSIBLE". SEE DETAIL #3 ON THIS SHEET.
- PROPOSED FIRE HYDRANT LOCATION. 2 HYDRANTS (2,250 GPM) ARE REQUIRED FOR 7,405 S.F. OF TYPE V-B CONSTRUCTION PER IFC TABLES B105.1 AND C105.1. VERIFY FINAL LOCATION WITH FIRE MARSHALL.
- EXISTING 6" WIDE CITY SIDEWALK TO REMAIN. PROVIDE SIDEWALK EASEMENT AS REQUIRED.
- PROVIDE (28) 4" HIGH X 12" WIDE RECYCLED PLASTIC OR CONCRETE PARKING BUMPERS 24" FROM WALL AS SHOWN AT ALL PARKING STALLS ADJACENT TO THE PROPERTY LINE OR CMU WALLS.
- PROVIDE 6'-0" WIDE PAINTED STRIPING PEDESTRIAN WALKWAY FROM CITY SIDEWALK TO MAIN ENTRANCE AS SHOWN.
- PROVIDE 6'-0" WIDE PAINTED STRIPING PEDESTRIAN WALKWAY FROM ACCESSIBLE PARKING SPACE TO PEDESTRIAN WALKWAY (NOTE #39) AS SHOWN.
- REMOVE EXISTING CURB CUT AND REPLACE WITH NEW CITY SIDEWALK, PER COA DETAIL #2430 AND STANDARD CURB & GUTTER PER COA DETAIL #2415A. PROVIDE SIDEWALK EASEMENT AS REQUIRED.

CITY OF ALBUQUERQUE NOTES

- "THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN"
- THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: (1) AN IMMEDIATE DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
- ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION. FOR TEMPORARY C.O., WILL BE SCHEDULED.
- ALL SIDEWALK AND C&G IN DISREPAIR WILL BE REMOVED AND REPLACED.
- CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER, OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
- CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.



DESIGN DATA:
PROJECT INFORMATION

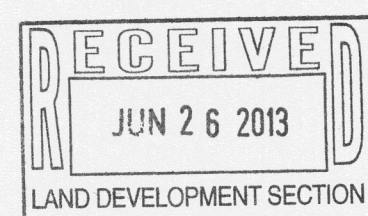
| | |
|--------------------|------------------------------------------------------------------------------------------|
| OWNER: | HANS WITTLER AUTOMOTIVE 121 ELIZABETH ST. NE ALBUQUERQUE, NM 87123 505-294-7884 |
| LEGAL DESCRIPTION: | LOT H, LONGFIELD ADDITION |
| ZONING: | SU-3, EG-C |
| LOT AREA: | 29,953 S.F. |
| ZONE ATLAS PAGE: | L-21 |
| UPC: | 102-105-021-852-320-521 |

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

TRAFFIC CIRCULATION LAYOUT APPROVED

Signature: *[Signature]* Date: 6/26/23



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HANS WITTLER'S AUTO
ADDITION & REMODEL
121 ELIZABETH ST NE
ALBUQUERQUE, NM 87123

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DRAWING ISSUE DATES:
5/30/13
6/18/13

PROJECT MANAGER:
NICK PIRKL

DRAWN BY:
NAP

SHEET TITLE:
SITE PLAN

C1.1

SHEET: OF