



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 21, 2000

Larry Read, P.E.  
Larry Read & Associates, Civil Engineers  
12836-B Lomas Blvd. NE  
Albuquerque, NM 87112

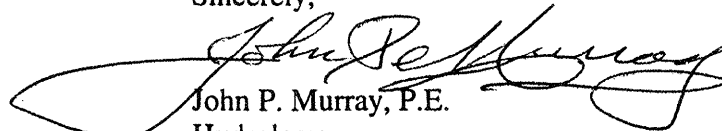
***RE: FITNESS SUPER STORE (K22-D5). ENGINEER'S CERTIFICATION FOR CERTIFICATE  
OF OCCUPANCY APPROVAL. ENGINEER'S STAMP DATED DECEMBER 23, 1999.***

Dear Mr. Read:

Based on the information provided on your December 23, 1999 submittal, the above referenced project is approved for Certificate of Occupancy. Building Permit.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

  
John P. Murray, P.E.  
Hydrology

c: WR  
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Fitness Super Store ZONE ATLAS/DRNG. FILE: K-22/D05

LEGAL DESCRIPTION: Tract A-1, Foothill Estates

CITY ADDRESS: 10600 Copper Ave. NE

ENGINEERING FIRM: LARRY READ & ASSOCIATES

ADDRESS: 12836-B Lomas Blvd. NE 87112

OWNER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PREDESIGN MEETING:

☐ YES  
☒ NO

☐ COPY OF CONFERENCE RECAP SHEET

PROVIDED

TYPE OF TRANSMITTAL:

☐ DRAINAGE REPORT

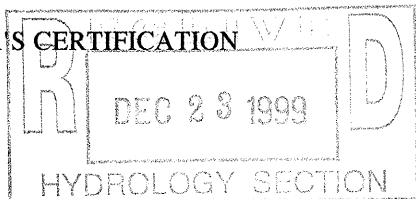
☐ DRAINAGE PLAN

☐ PRELIMINARY GRADING AND DRAINAGE

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☒ ENGINEER'S CERTIFICATION



DATE SUBMITTED: DECEMBER 23, 1999

BY: LARRY D. READ, P.E.

CONTACT: LARRY READ

PHONE: 237-8421

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

DRB NO. \_\_\_\_\_

EPC NO. \_\_\_\_\_

PROJECT NO. \_\_\_\_\_

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER \_\_\_\_\_ (SPECIFY)



# City of Albuquerque

October 12, 1999

Larry Read, P.E.  
Larry Read & Associates, Civil Engineers  
12836-B Lomas Blvd. NE  
Albuquerque, NM 87112

**RE: *FITNESS SUPER STORE (K22-D5). GRADING AND DRAINAGE PLAN FOR BUILDING PERMIT AND APPROVAL. ENGINEER'S STAMP (PLAN) DATED JULY 15, 1999 and (REPORT) DATED JULY 30, 1999.***

Dear Mr. Read:

Based on the information provided on your August 5, 1999 submittal, the above referenced project is approved for Building Permit. Since a SO#19 Permit is not required with this Drainage Plan, the SO#19 signature Block and Standard Notes should be deleted from the approved plan that will be attached to the construction sets prior to sign-off by Hydrology.

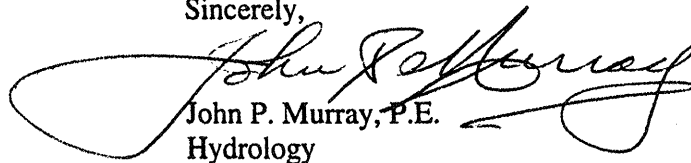
See also City Hydrology approval letter dated May 13, 1999.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

A copy of the City Consultant's review comments are enclosed for your information and consideration.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

  
John P. Murray, P.E.  
Hydrology

c: WR  
✓File  
Encl: As Stated



# *City of Albuquerque*

August 31, 1999

Mark Weaver, Reg. Arch.,  
M.W. Architecture Inc.  
1245 Princeton N.E.  
Albuquerque, New Mexico 87106

Re: Fitness Superstore [K-22/D005] Site Plan for building permit approval (Zone Map D-18-Z).  
Architect's Stamp undated.

Dear Mr. Weaver,

Based on information provided on your submittal, examination of the Site Plan shows that it has been submitted, reviewed and approved previously through the standard building permit process. Approved plan for Building Permit is part of approved plan set. Positive confirmation has been made that both Site Plan and Drainage/Grading Plan match.

If further assistance is needed, please feel free to call 924-3620.

Sincerely,

Mike Zamora  
Commercial Plan Checker



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

13 May 1999

Larry Read  
Larry Read & Associates  
12836-B Lomas Blvd. NE  
Albuquerque, NM 87112

RE: FITNESS SUPER STORE (K-22/D05). GRADING & DRAINAGE PLAN  
SUBMITTAL FOR BUILDING PERMIT APPROVAL. ENGINEER'S STAMP  
DATED 4-4-99

Dear Mr. Read:

Based upon the information provided in your 4-15-99 submittal, the referenced project is approved for Building Permit.

Please attach a copy of this approval letter to the construction sets prior to sign off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification, per the DPM checklist, will be required.

If I can be of further assistance, feel free to contact me at 768-2766.

Sincerely,

Scott Davis  
PWD, Hydrology Div.

c: file

**REVISED  
DRAINAGE REPORT**

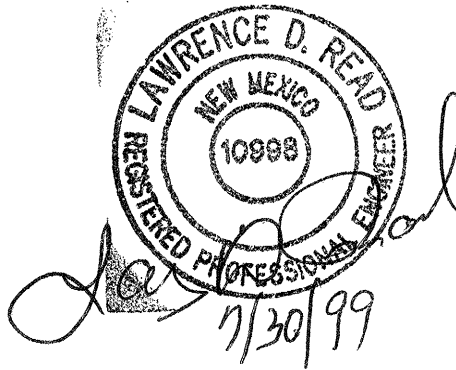
*for*

**FITNESS SUPER STORE**

**BERNALILLO COUNTY, NEW MEXICO**

April 3, 1999

Rev. July 30, 1999



Prepared by  
Larry D. Read, P.E.  
12836-B Lomas Boulevard, NE  
Albuquerque, New Mexico 87112  
(505) 237-8421

***REVISED  
DRAINAGE REPORT***

***for***

***FITNESS SUPER STORE***

***BERNALILLO COUNTY, NEW MEXICO***

April 3, 1999

Rev. July 30, 1999

**LOCATION & DESCRIPTION**

The proposed site is a 0.5593 acre parcel located on the southwest corner of Copper Avenue NE and Tramway Boulevard NE. The site is currently undeveloped. The parcel to the south is developed with apartments while the parcel to the west is under construction with two metal buildings.

The owner is proposing to construct a 7975 square foot exercise equipment store on the site. In addition to the proposed building, a total of 12867 sf of associated paved parking and sidewalks are proposed. The balance of the site (3521 sf) is proposed as landscaping area.

**EXISTING DRAINAGE**

The existing predominant site slope is east to west at approximately 6.5%. The southwest corner of the site is the only exception and it slopes toward the southwest. The site has been graded at some point and is almost void of vegetation. Runoff from the majority of the site flows west across the northeast corner of the adjacent parcel until it finally discharges into Copper Ave.. The southwest corner of the site discharges into the parking lot of the apartment complex south of this site. After traversing the parking lot and paved access road, it finally discharges into Copper Ave. west of this site.

**OFFSITE DRAINAGE**

The construction of Tramway Blvd. intercepted all offsite runoff from east of this site. Similarly, Copper Ave. intercepts all runoff from land north of this site. The parcels south and west of this

site are lower and drain west away from this site. The only offsite runoff that affects this site is from the 53' +/- wide embankment slope between the west sidewalk along Tramway to the property line. This runoff traverses the site from east to west and is ultimately discharged into Copper Ave.

Runoff from this site affects both the parcels to the west and south. The majority of the runoff from the site runs across the adjacent parcel to the west in a west-northwest direction until it reaches Copper Ave. The southwest corner of this site discharges runoff into the parking lot of the apartment complex to the south.

### **PROPOSED CONDITIONS**

The physical dimensions of the property and the existing slope of the site and Copper Ave. provide only two possible runoff discharge points. The first being at the very northwest corner of the site adjacent to Copper Ave. The second, is along the southern property line into the parking lot of the adjacent apartment complex. The proposed grading plan utilizes both points.

The majority of the site is graded to drain toward the northwest corner of the site into Copper Ave. and discharge into Copper over the driveway.

Since there is only one Double C inlet on each side of Copper at Chelwood, it was the intent of this design to attempt to reduce runoff to historical rates since experience dictates that there is no available capacity to handle this runoff. The intent to reduce runoff from the site to historical rates was dismissed due to the physical (dimensions and slopes) constraints of the site. Therefore, we are requesting a variance to policy to allow runoff from the fully developed site to direct discharge into Copper.

The 10-foot wide landscape buffer between the building and south property line will discharge toward the south across the property line into the parking lot the apartment complex. The runoff will follow the north curb line of the parking lot toward the west. It then turn north and follow the access road to Copper Ave. Although cross lot drainage is not desirable, the amount proposed is very small (0.05 cfs) and is considerably less than the historical runoff that currently discharges into the parking lot, and since the runoff will be from a landscape area only, it will not be sediment laden.

Offsite runoff from the embankment slope along the west side of Tramway is proposed to be intercepted by a 3' wide, 6" deep earth swale graded 5' outside the property line. The swale would slope north and south from the minor ridge line approximately mid point in the east property line of this site.



## **FLOODPLAIN STATUS**

This project, as shown on FEMA Flood Insurance Rate Map Panel 35001C0341 D, September 20, 1996, shows that this site is in a Zone X, areas of 100-year flooding with average depths of less than 1 foot or with drainage areas of less than 1 square mile.

## **METHODOLOGY**

The hydrology for this project was analyzed using the January 1994 release of the AHYMO computer modeling program as developed by Anderson Hydro. All procedures are in accordance with those shown in the January 1993 release of the City of Albuquerque Development Process Manual, Section 22.2.

The specific values used for this analysis are as follows:

-Precipitation Zone 4

-Design Storm 100-year, 6-hour duration  
i = 2.90 inches ( $t_c = 0.2$  hours)

## **PEAK RUNOFF QUANTITIES**

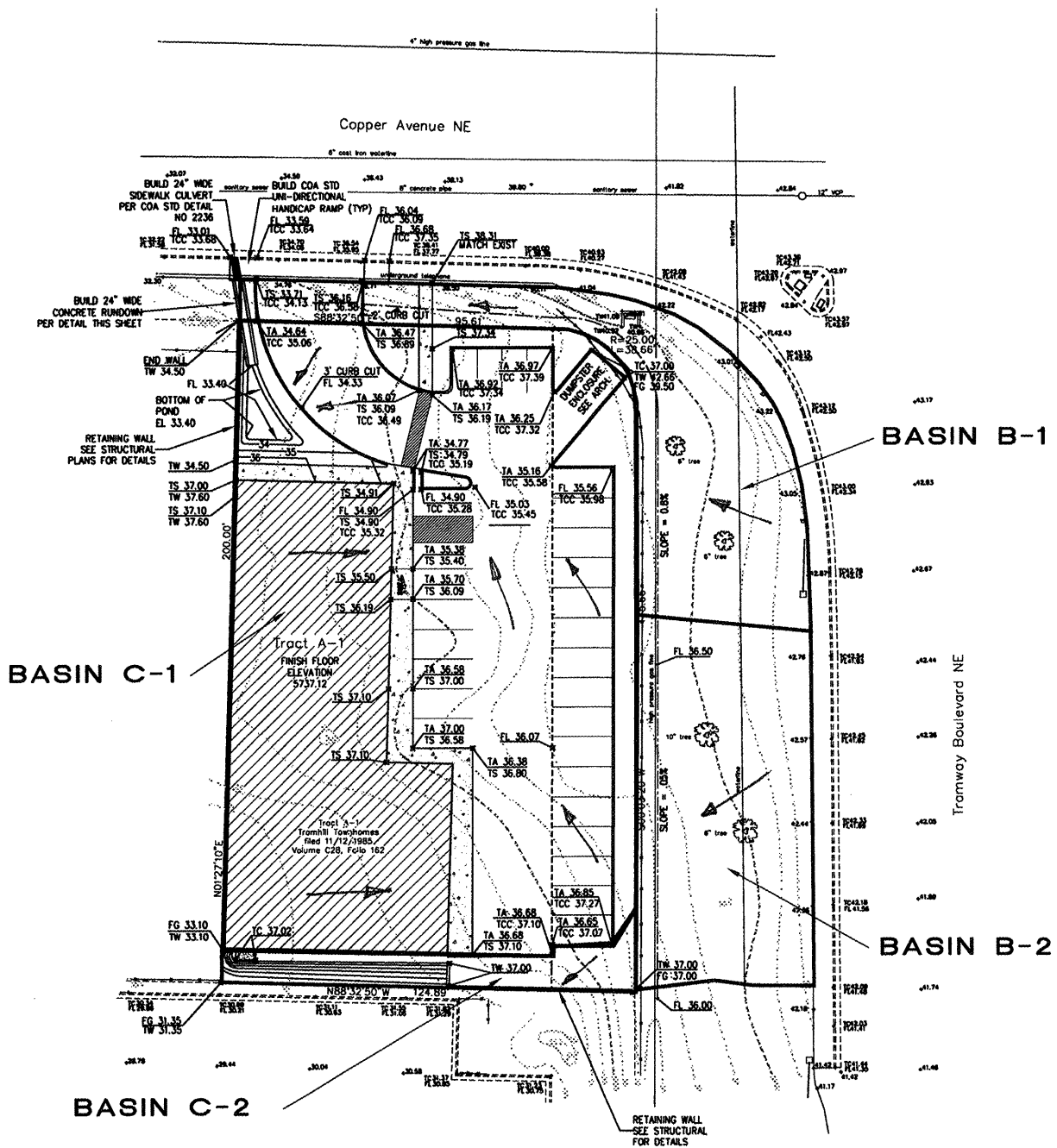
The AHYMO printouts, summary sheets, and miscellaneous calculations to support these analyses are included in Appendix B of this report for reference.

### **SUMMARY**

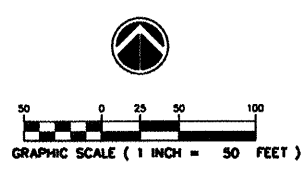
BASIN	CONDITION	$Q_{100}$	$V_{100}$	$Q_{10}$	$V_{10}$
A-1	On-Site Exist	0.72	915	0.48	610
A-2	On-Site Exist	0.52	653	0.35	435
B-1	Off-Site Exist	0.30	392	0.20	261
C-1	On-Site New	2.68	4748	1.79	3165
C-2	On-Site New	0.13	174	0.09	116

Increase to Copper Ave.  $2.68 (C-1) - 0.72 (A-1) = 1.97$  cfs

Decrease to Apartment Parking Lot to South =  $0.52 (A-2) - 0.13 (C-2) = 0.39$  cfs



NEW DRAINAGE BASINS



```

START          TIME=0.0 0 -6
*S  COMPUTE 100 YR. 6 HR. HYDROGRAPHS FOR FITNESS SUPER STORE
*S  FITNESS.DAT  -  HYMO PER JAN 1993 DPM REVISIONS
*S  PRECIPITATION ZONE 4 - P360 - 2.90
*S
*S
*-----
*-----
RAINFALL      TYPE=-1 RAIN QUAR=0 RAIN ONE=2.23 RAIN SIX=2.90
RAIN DAY=3.65 DT=0.03
*-----
*-----
*S
*S COMPUTE RUNOFF FOR EXISTING CONDITIONS ON-SITE
*S
*-----
*S
*S BASIN A-1
COMPUTE NM HYD  ID=1  HYD NO= 101.1  DA=0.0005 SQ MI
PER A=100 PER B=0 PER C=0 PER D=0 TP=-.133
RAIN=-1
PRINT HYD      ID=1  CODE=10
*S
*S
*S BASIN A-2
COMPUTE NM HYD  ID=2  HYD NO= 102.1  DA=0.00036 SQ MI
PER A=100 PER B=0 PER C=0 PER D=0 TP=-.133
RAIN=-1
PRINT HYD      ID=2  CODE=10
*S
*-----
*S
*S COMPUTE RUNOFF FOR EXISTING CONDITIONS OFF-SITE
*S
*-----
*S
*S BASIN B-1
COMPUTE NM HYD  ID=3  HYD NO= 103.1  DA=0.000203 SQ MI
PER A=100 PER B=0 PER C=0 PER D=0 TP=-.133
RAIN=-1
PRINT HYD      ID=3  CODE=10
*S
*S
*S BASIN B-2
COMPUTE NM HYD  ID=4  HYD NO= 104.1  DA=0.00021 SQ MI

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PER A=100 PER B=0 PER C=0 PER D=0 TP=-.133

RAIN=-1

PRINT HYD ID=1 CODE=10

\*S

\*-----

\*S

\*S COMPUTE RUNOFF FOR DEVELOPED CONDITIONS ON-SITE

\*S

\*-----

\*S

\*S

\*S BASIN C-1

COMPUTE NM HYD ID=5 HYD NO= 105.1 DA=0.00082 SQ MI

PER A=0 PER B=0 PER C=12 PER D=88 TP=-.133

RAIN=-1

PRINT HYD ID=5 CODE=10

\*S

\*S

\*S BASIN C-2

COMPUTE NM HYD ID=6 HYD NO= 106.1 DA=0.00005 SQ MI

PER A=0 PER B=0 PER C=100 PER D=0 TP=-.133

RAIN=-1

PRINT HYD ID=6 CODE=10

\*S

\*S

FINISH



13600 COPPER AVENUE NE  
ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION: TRACT A-1, FOOTHILL ESTATES  
ALBUQUERQUE, NEW MEXICO





## BENCHMARK

ALL VERTICAL ELEVATIONS SHOWN ARE BASED ON THE CITY OF ALBUQUERQUE'S ACS MONUMENT 16-K23  
AT THE INTERSECTION OF COPPER AND TRAMWAY NE. BENCHMARK ELEVATION 5745.17.

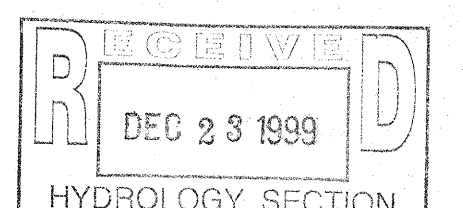
## GENERAL NOTES

1. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE STATEWIDE LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES. THIS SERVICE REQUIRES AT LEAST THREE WORKING DAYS.
2. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS. ANY DAMAGE TO UTILITIES BY THE CONSTRUCTION EFFORTS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE.
3. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING EROSION CONTROL BERMS, SILT FENCES, SEDIMENT DAMS OR PONDS IN ORDER TO PREVENT SOIL FROM ERODING FROM THE SITE INTO ADJACENT PUBLIC OR PRIVATE LANDS. DISTURBED SOIL SHALL BE WATERED AND/OR COVERED TO PREVENT IT FROM BLOWING FROM THE SITE.
3. WHEN REMOVAL OF EXISTING CONCRETE SIDEWALKS OR CURB AND GUTTER IS CALLED OUT, REMOVE FROM EXISTING CONSTRUCTION JOINTS ONLY. SAWING OR BREAKING WILL NOT BE ALLOWED.
4. BARRICADING PLANS ARE REQUIRED TO BE SUBMITTED TO THE CITY OF ALBUQUERQUE AT LEAST 5 WORKING DAYS PRIOR TO INSTALLING ANY BARRICADING DEVICES OR CLOSING ANY STREET OR SIDEWALK.

## LEGEND

 -12-  
 + GND=5153.96  
 5153.96  
 TC 5153.96  
 -12-  


EXISTING CONTOUR  
 EXISTING SPOT ELEVATION  
 DESIGN SPOT ELEVATION  
 (SEE ABBREVIATIONS BELOW)  
 DESIGN SWALE FLOWLINE  
 SURFACE FLOW DIRECTION



## ABBREVIATIONS

TA	TOP OF ASPHALT FINISHED ELEVATION
TCC	TOP OF CONCRETE CURB FINISHED ELEVATION
TC	TOP OF CONCRETE PAVEMENT FINISHED ELEVATION
FL	FLOWLINE ELEVATION
ELEV.	ELEVATION
TS	TOP OF SIDEWALK ELEVATION
FG	FINISHED GRADE OF EARTH OR LANDSCAPING

THE SITE HAS BEEN COMPLETED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN EXCEPT AS IDENTIFIED "AS-CONSTRUCTED" ON THE ABOVE GRADING PLAN AND AS FOLLOWS:

- THE FLOWLINE IN THE DRIVEPAD AREA WAS PULLED AWAY FROM THE CURB TO PROVIDE BETTER DRAINAGE.
- THE DUMPSTER PAD WAS ROTATED TO CLEAR EXISTING POWERLINE GUY WIRES

~~LARRY D. READ P.E.~~



## VICINITY MAP K 22-Z

## NOTICE TO CONTRACTOR

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED WITHIN THE CITY RIGHT-OF-WAY SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH C.O.A. STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986.
3. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMP ACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER SERVED.

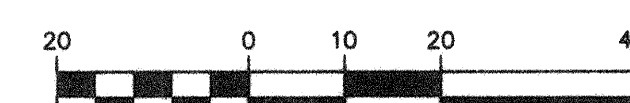
THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☐ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMP ACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- ☒ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- ☒ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☒ IF CURB IS DEPRESSED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED, INSPECTED AND APPROVED PRIOR TO FINAL ACCEPTANCE.

APPROVALS	ENGINEERS	DATE
A.C.E./DESIGN		
INSPECTOR		
A.C.E./FIELD		

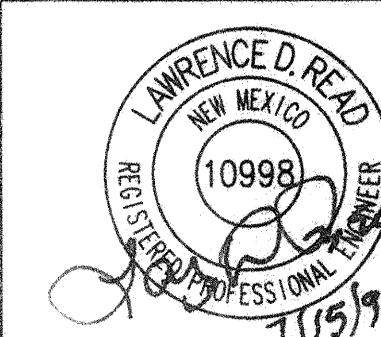
N/A

## GRADING PLAN



GRAPHIC SCALE ( 1 INCH = 20 FEET )

**LARRY READ & ASSOCIATES**  
Civil Engineers  
12836-B Lomas Blvd. NE  
Albuquerque, New Mexico 87112  
(505) 237-8421



REVISION	DATE	DESCRIPTION

FILE NAME: FITNESS 4/04/99

**SHEET 3 of**