

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



Richard J. Berry, Mayor

December 14, 2015

Jeffrey T. Wooten
Wooten Engineering
1368 Reynosa Loop SE
Rio Rancho, NM, 87124

RE: **Weck's Restaurant – 730 Juan Tabo NE**
Drainage and Grading Plan
Engineer's Stamp Date 11-2-2015 (File: K22D006A)

Dear Mr. Wooten:

Based upon the information provided in your submittal received 11-3-2015, the above referenced plan cannot be approved for Grading Permit, Building Permit or SO-19 Permit until the following comments are addressed:

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. The outlet of the pond relies on 1-foot of head to discharge the 100-year, 13 cubic feet per second peak flow. The top of the proposed beehive grate is set at elevation 54.75. It is assumed that the "bottom" of the grate is set at 54.00 to ensure a head of 1-foot from the top of the pond which is set at 55.00. Otherwise, the height of the inlet needs to be adjusted.
2. The pond is proposed within a 7-foot public utility easement. Are there utilities that will need to be lowered/relocated? If so, they will need to be fully coordinated prior to construction; a Certificate of Occupancy will not be issued if the pond volume is reduced during construction.
3. There is a 9.67% grade label shown that appears to be a typo along the southern sidewalk next to the building.
4. The calculation of the water harvesting pond volume appears to be overestimated. If the inlet opening is set at elevation 54, the volume "provided" in the pond between contours 54 and 55 (969 cubic feet) is not harvested.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Abiel Carrillo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

Orig: Drainage file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

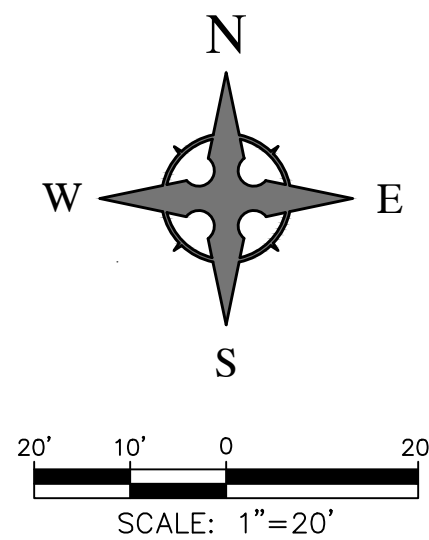
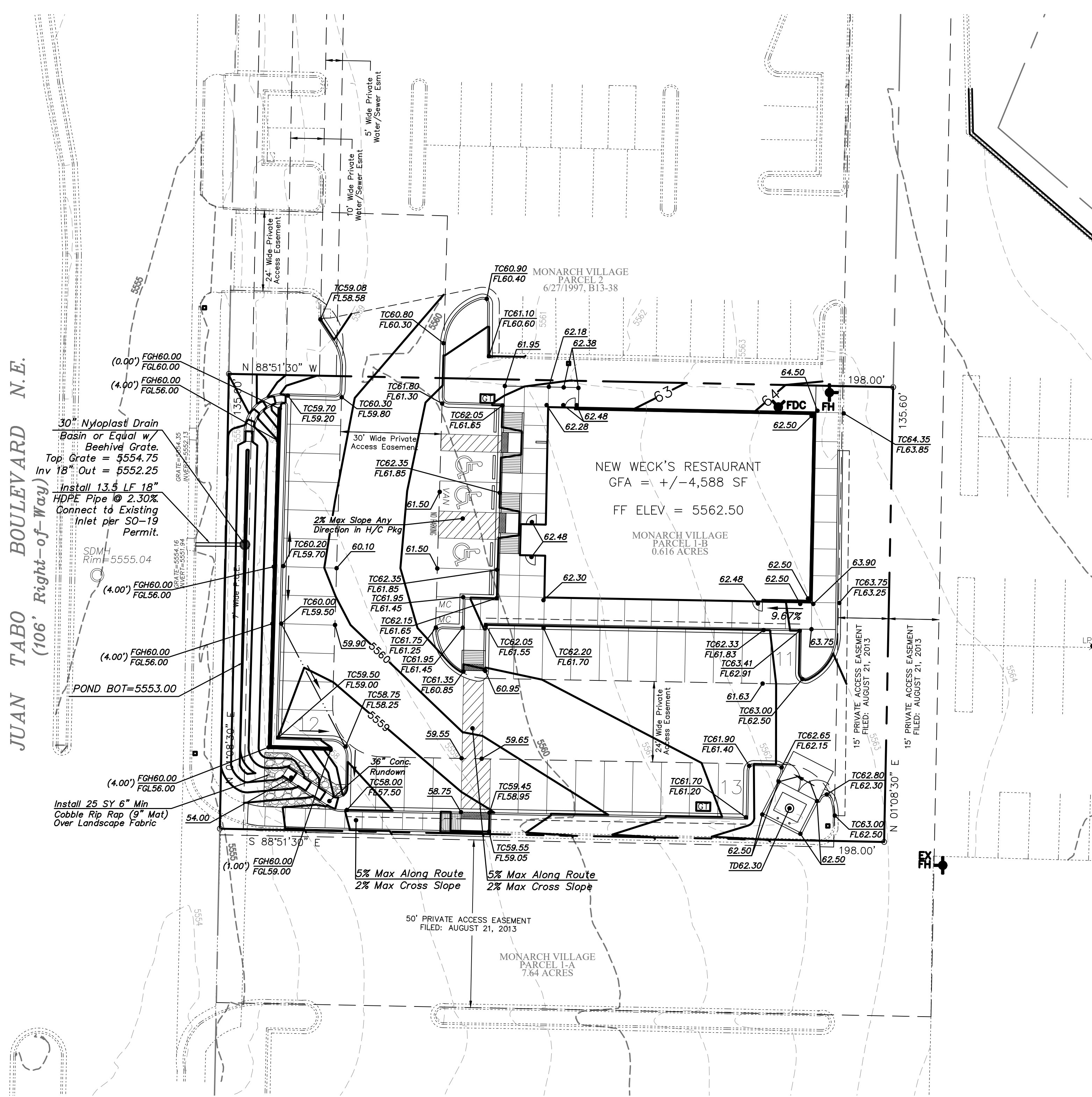
- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

JUAN TABO BOULEVARD N.E.
(106' Right-of-Way)



CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEW MEXICO ONE CALL (811) AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

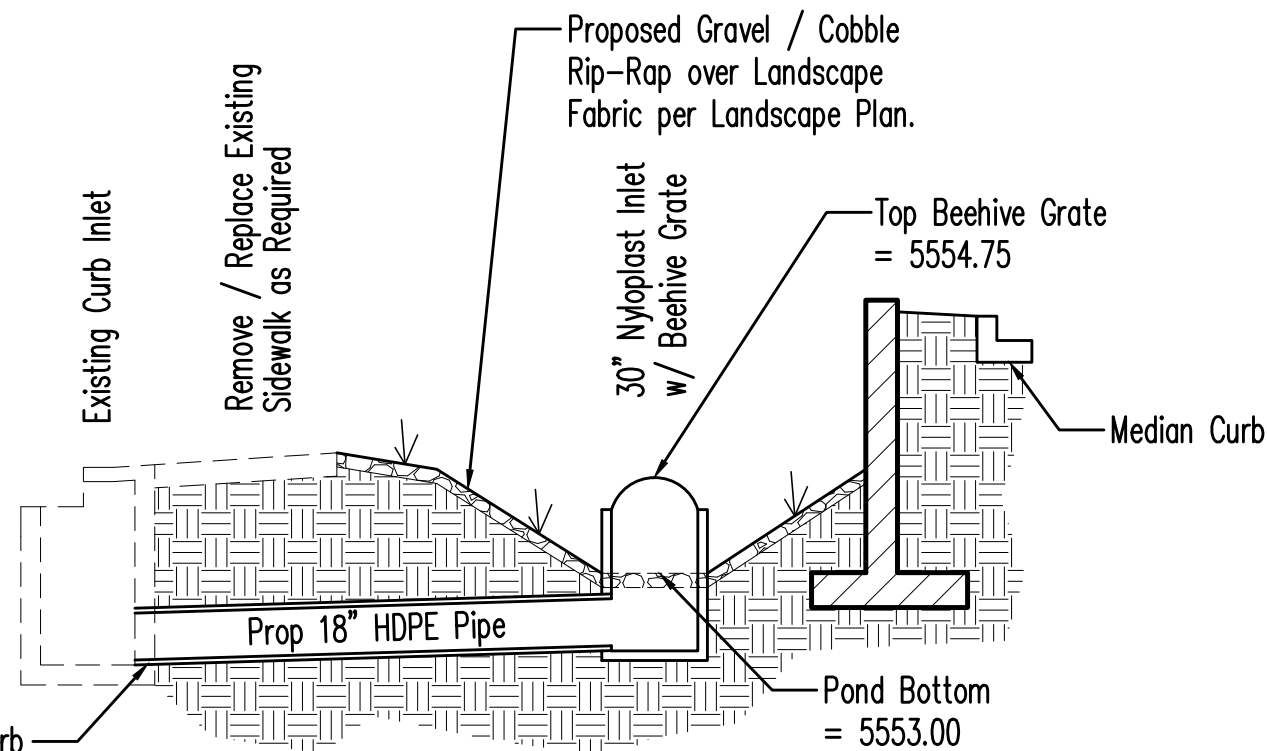
Private Drainage Facilities within City Right-of-Way
Notice to Contractor
(Special Order 19 ~ "SO-19")

1. An excavation permit will be required before beginning any work within City Right-of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state, and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact NM One Call, dial "811" or 505-260-1990 for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the Contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property served.
7. Work on arterial streets shall be performed on a 24-hour basis.

CITY INSPECTOR APPROVAL

Signature _____

Date _____



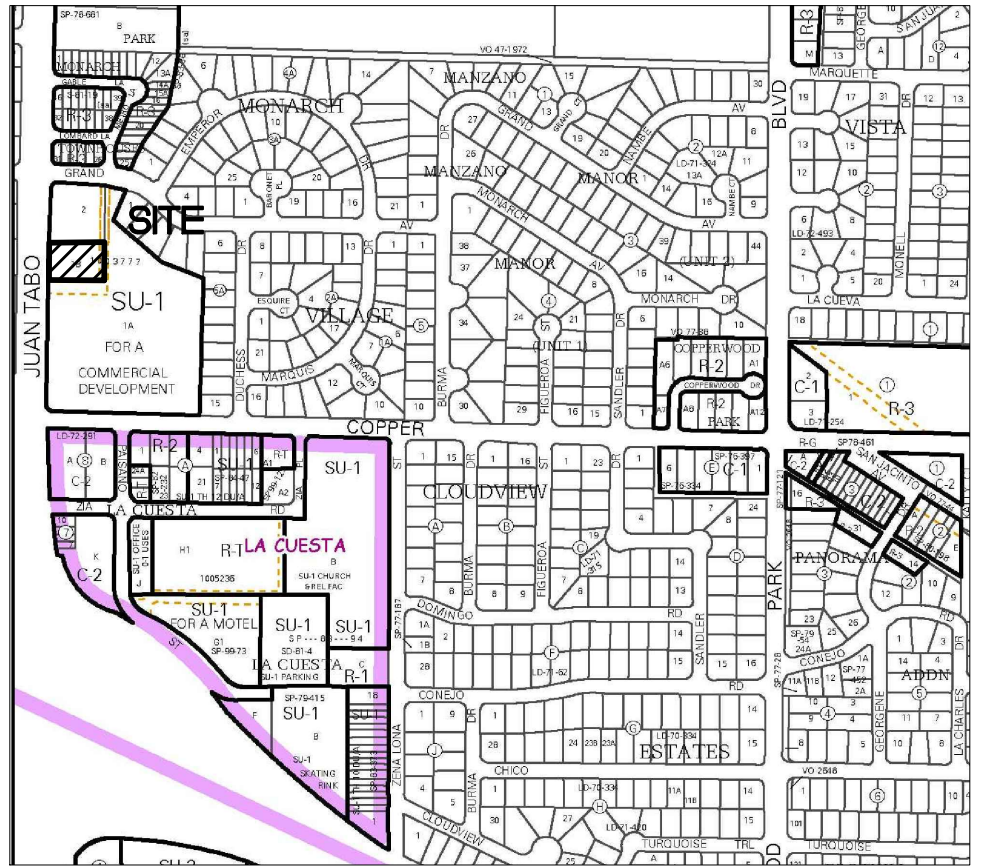
Connect to Existing Curb Inlet per COA Stds.
Obtain SO-19 permit prior to beginning work.

Pond Cross Section

NTS

LEGEND

- FLOW ARROW
- 27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS
- FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
- TC27.8 PROPOSED TOP OF CURB ELEVATIONS
- FGH27.8 FINISHED GRADE AT TOP OF WALL
- FGL27.8 FINISHED GRADE AT BOTTOM OF WALL
- 515 EXISTING CONTOUR
- 515 PROPOSED CONTOUR
- EXISTING STORM DRAIN
- FLOW LINE
- RIDGE LINE



VICINITY MAP ZONE ATLAS PAGE: K-22



FIRM MAP 39057C0359G

Per FIRM Map 39057C0359G, dated September 26, 2008, the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.

LEGAL DESCRIPTION:

MONARCH VILLAGE, PARCEL 1-B

BENCHMARK:

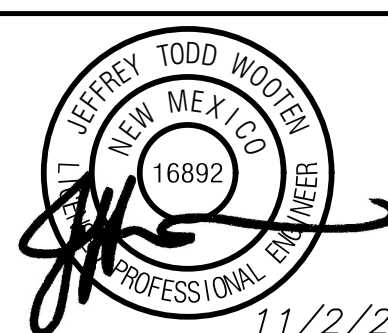
CITY OF ALBUQUERQUE STATION NO. "10-K21". ELEVATION 5557.514

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
11. THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

Wooten Engineering
1368 Reynosa Loop SE
Rio Rancho, N.M. 87124
Phone: (505) 980-3560

No.	Date	Issue Notes



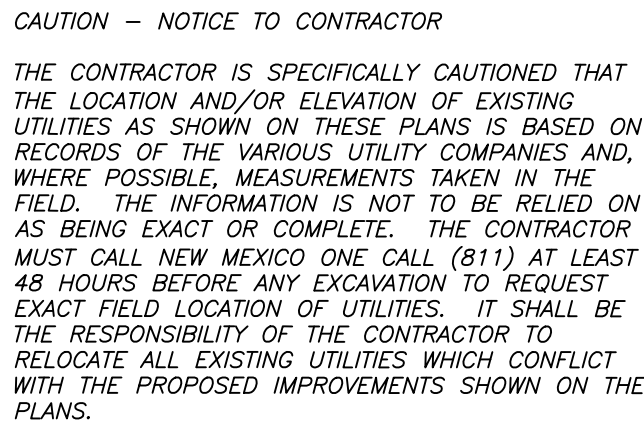
Design Firm
BILL BURK, THIRD, ARCHITECT
9617 La Playa NE, ABQ NM 87111
505-292-6566 / Fax 505-294-7232
Email - billburk@qwestoffice.net

Consultant

Project Title
WECK'S RESTAURANT
730 Juan Tabo Blvd NE
Albuquerque, NM 87123

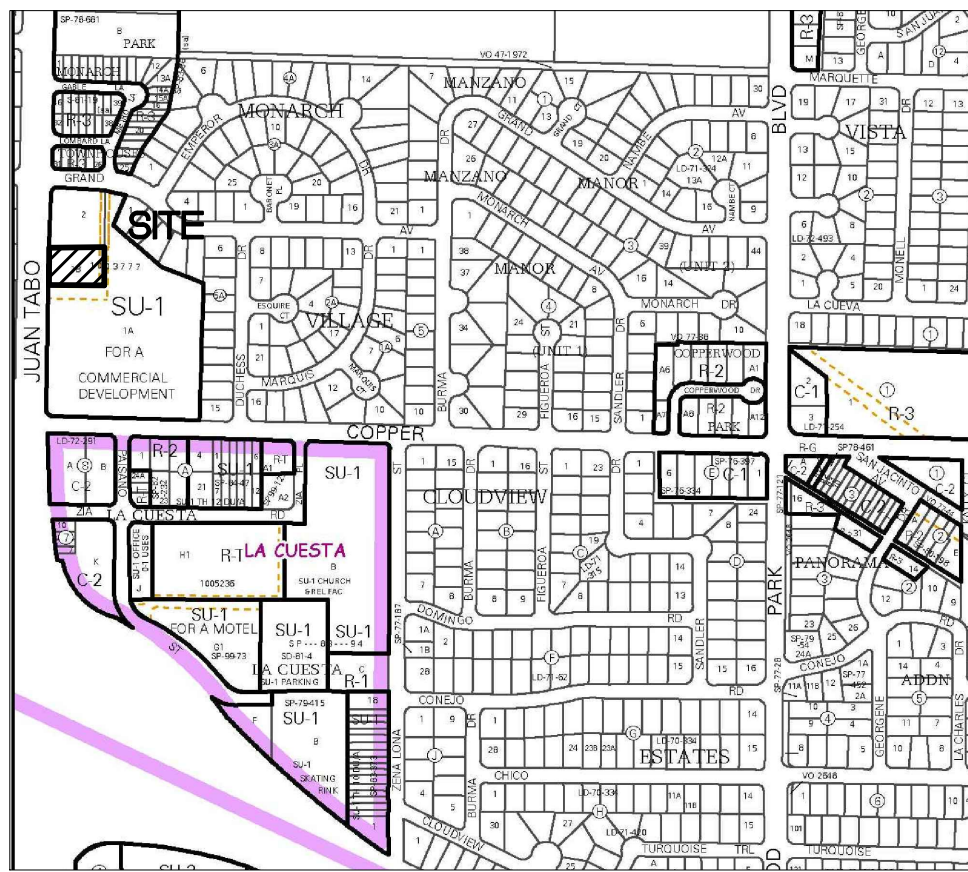
Sheet Title
GRADING PLAN

Project Manager JTW	Project ID 2015008
Drawn By JTW	Scale As Shown
Reviewed By JTW	Sheet No. C-003
Date 10/20/15	of
CAD File Name	



Legend for vertical alignment symbols and labels:

- FLOW ARROW
- PROPOSED TOP OF GRADE/PVMT ELEVATIONS
- PROPOSED FLOW LINE/GUTTER ELEVATIONS
- PROPOSED TOP OF CURB ELEVATIONS
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING STORM DRAIN
- FLOW LINE
- RIDGE LINE

VICINITY MAP ZONE ATLAS PAGE: K-22
NTS

FIRM MAP 39057C0359G

Per FIRM Map 39057C0359G, dated September 26, 2008, the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.'

LEGAL DESCRIPTION:

MONARCH VILLAGE, PARCEL 1-B, 0.616 Acres

BENCHMARK:

CITY OF ALBUQUERQUE STATION NO. "10-K21". ELEVATION 5557.514

DRAINAGE MANAGEMENT PLAN

INTRODUCTION

The purpose of this submittal is to provide a final drainage management plan for the proposed Weck's Restaurant located at 730 Juan Tabo Blvd NE in Albuquerque, NM. The site is legally described as Monarch Village, Parcel 1-B. The project consists of the demolition of an existing parking lot that used to serve the main shopping center. A new Weck's restaurant will be constructed with a new parking and landscape areas as required. The site contains approximately 0.616 acres.

EXISTING HYDROLOGIC CONDITIONS

The site is currently developed as a parking lot which sheet flows from east to west across the site into Juan Tabo. There is a substantial amount of off-site drainage entering the site from the east which consists of a portion of the main shopping center parking lot and the basins of the parking lot and the shopping center. The off-site flow enters the site from the east as shown on the basin map. The 100-Yr discharge of off-site flows entering the site from the east is approximately 10.24 cfs which is a combination on Basins 'A' and 'B'. The 100-Yr discharge from the existing parking lot on the Weck's site is the sum of Basins 'C', 'D', 'E', 'F', 'G', and 'H' for a total of 2.81 cfs. The total discharge into Juan Tabo is approximately 13.05 cfs. Basin Calculations for this site can be found on the Basin Calculations Table this sheet.

PROPOSED HYDROLOGIC CONDITIONS

The site will continue to sheet flow from east to west and accept the off-site flows from the east in the new Week's parking lot. These flows will drain to a 3' wide concrete flume which discharges into a new water harvesting pond as shown on the grading plan. The pond will be 100' x 100' and will have a depth of 3' and a volume of 392,000 SF which will help reduce the runoff from the site in addition to the proposed water harvesting pond being provided to treat the "First-Flush". This pond is providing a total volume of approximately 1,289 CF per the pond volume calculations table this sheet. Per the Basin Calculations Table this sheet there is a slight decrease in runoff discharging to the site during a 100-year Storm, which totals 13.03 cfs, 0.02 cfs less than the Pre-Developed Conditions.

FIRST FLUSH CALCULATIONS

The first flush volume impervious area is $22,734 \text{ SF} \times 0.34^* / 12 = 644 \text{ cubic feet}$. The pond volume provided per calculations this sheet contains $+/-1,289 \text{ cubic feet}$ which is more than that required. The pond will discharge into a new storm drain system consisting of a new 30" Nyolplast drain inlet with a 30" beehive grate. Per the Nyolplast Inlet Capacity chart, the beehive grate has a capacity of 13.5 cfs with 1 foot of head. The 30" HDPE pipe has a capacity of 20.8 cfs using a 2.30% hydraulic slope. The pipe will connect into the existing Curb Inlet in Juan Tabo per the SO-19 permit as shown on the grading plan.

CONCLUSION

This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and meets city requirements. With this submittal, we are requesting approval of this plan for Grading Permit and Building Permit.

Post-Developed Drainage Calculations												
Ultimate Development Conditions Basin Data Table												
This table is based on the COA DPM Section 22.2, Zone: 4												
BASIN	Area	Area	Land Treatment Percentages				Q(100)	Q(100)	WT E	V(100) ₃₆₀	V(100) ₁₄₄₀	V(100) ₁₀₈₀
	(SQ. FT)	(AC.)	A	B	C	D	(cfs/ac.)	(CFS)	(inches)	(CF)	(CF)	(CF)
A	41594	0.95	0.0%	0.0%	50.0%	50.0%	4.49	4.29	2.05	7106	7799	9879
B	50414	1.16	0.0%	0.0%	7.0%	93.0%	5.14	5.95	2.56	10744	12307	16995
C-1	16596	0.38	0.0%	0.0%	15.0%	85.0%	5.02	1.91	2.46	3406	3877	5287
C-2	3590	0.08	0.0%	0.0%	15.0%	85.0%	5.02	0.41	2.46	737	839	1144
C-3	2675	0.06	0.0%	0.0%	15.0%	85.0%	5.02	0.31	2.46	549	625	852
C-4	1345	0.03	0.0%	0.0%	15.0%	85.0%	5.02	0.16	2.46	276	314	428
TOTAL	116214	2.67						13.03		22818	25760	34586

FIRST FLUSH CALCULATIONS

IMPERVIOUS AREA CALCULATION

PERVIOUS AREA: 4,115 SF
IMPERVIOUS AREA: 22,734 SF
TOTAL SITE AREA: 26,849 SF
% IMPERVIOUS = 85.0%

FIRST FLUSH CALCULATION

TOTAL IMPERVIOUS AREA = 22,734 SF
FIRST FLUSH = $22,734 \times 0.34" / 12 = \underline{644 \text{ CF}}$

WATER HARVESTING POND VOLUME CALCULATIONS

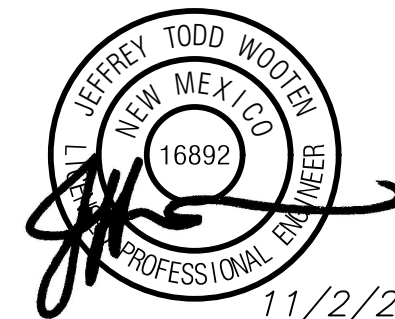
<u>CONTOUR ELEVATION</u>	<u>AREA (SF)</u>	<u>VOLUME (CF)</u>
5555.00	1,340 SF	969 CF
5554.00	598 SF	
5553.00	42 SF	
TOTAL		1,289.0 CF


NOTE: THE ABOVE POND VOLUMES SHALL BE VERIFIED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

FINAL POND SURFACE IS TO TOP OF COBBLE

Wooten
Engineering

1368 Reynosa Loop SE
Rio Rancho, N.M. 87124
Phone: (505) 980-3560



				Design Firm: BILL BURK, THIRD, ARCHITECT 9617 La Playa NE, ABQ NM 87111 505-292-6566 / Fax 505-294-7232 Email - billburk@questoffice.net	Project Title: WECK'S RESTAURANT 730 Juan Tabo Blvd NE Albuquerque, NM 87123	Project Manager: JTW Drawn By: JTW Reviewed By: JTW	Project ID: 2015008 Scale: As Shown Sheet No.: C-004 _____ of _____
No.	Date	Issue Notes		Consultant: <div style="text-align: right;">11/2/2015</div>	Sheet Title: DRAINAGE MANAGEMENT PLAN	Date: 10/20/15 CAD File Name:	