



**Planning Department
Transportation Development Services**

November 9, 2015

Jeffrey Wooten, PE
Wooten Engineering
1368 Reynosa Lp., SE
Rio Rancho, NM 87124

**Re: Weck's Restaurant
730 Juan Tabo NE
Traffic Circulation Layout**
Engineer's/Architect's Stamp dated 11-2-15 (K22-D006A)

Dear Mr. Wooten,

Based upon the information provided in your submittal received 10-3-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Identify and dimension the medians and curb cuts on Juan Tabo Blvd.
2. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please show detail of ADA parking sign language.
3. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway from Juan Tabo Blvd. and provide details.
4. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
5. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*). Please provide this detail for entrance/exits on Juan Tabo Blvd.

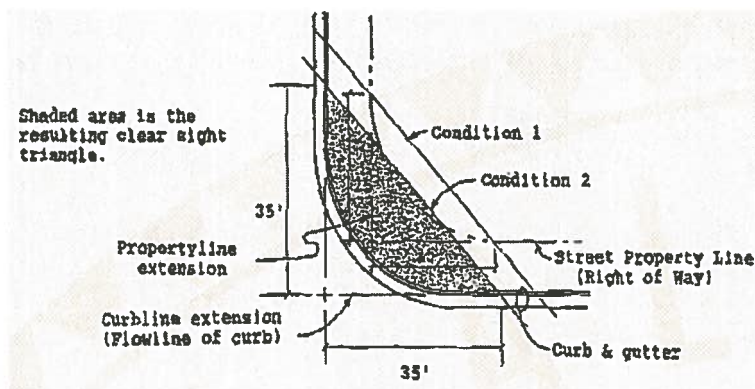
PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE



6. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
7. Please include a copy of your shared access agreement with the adjacent property owner.
8. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
9. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Weck's Restaurant Building Permit #: _____ City Drainage #: K22D006A
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Monarch Village, Parcel 1-B
City Address: 730 Juan Tabo Blvd NE

Engineering Firm: Wooten Engineering Contact: Jeffrey T. Wooten, P.E.
Address: 1368 Reynosa Loop SE, Rio Rancho, NM 87124
Phone#: 505-980-3560 Fax#: N/A E-mail: jeffwooten.pe@gmail.com

Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: Bill Burk III, Architect Contact: Bill Burk
Address: 9617 La Playa NE, Albuquerque, NM 87111
Phone#: 505-292-6566 Fax#: N/A E-mail: billburk@qwestoffice.net

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:
☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:
☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

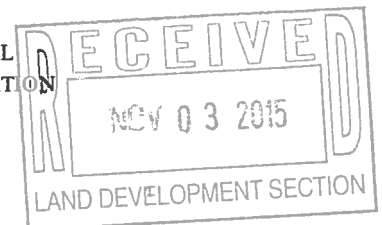
IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

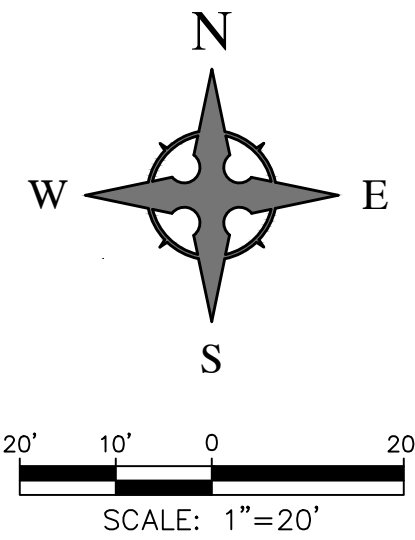
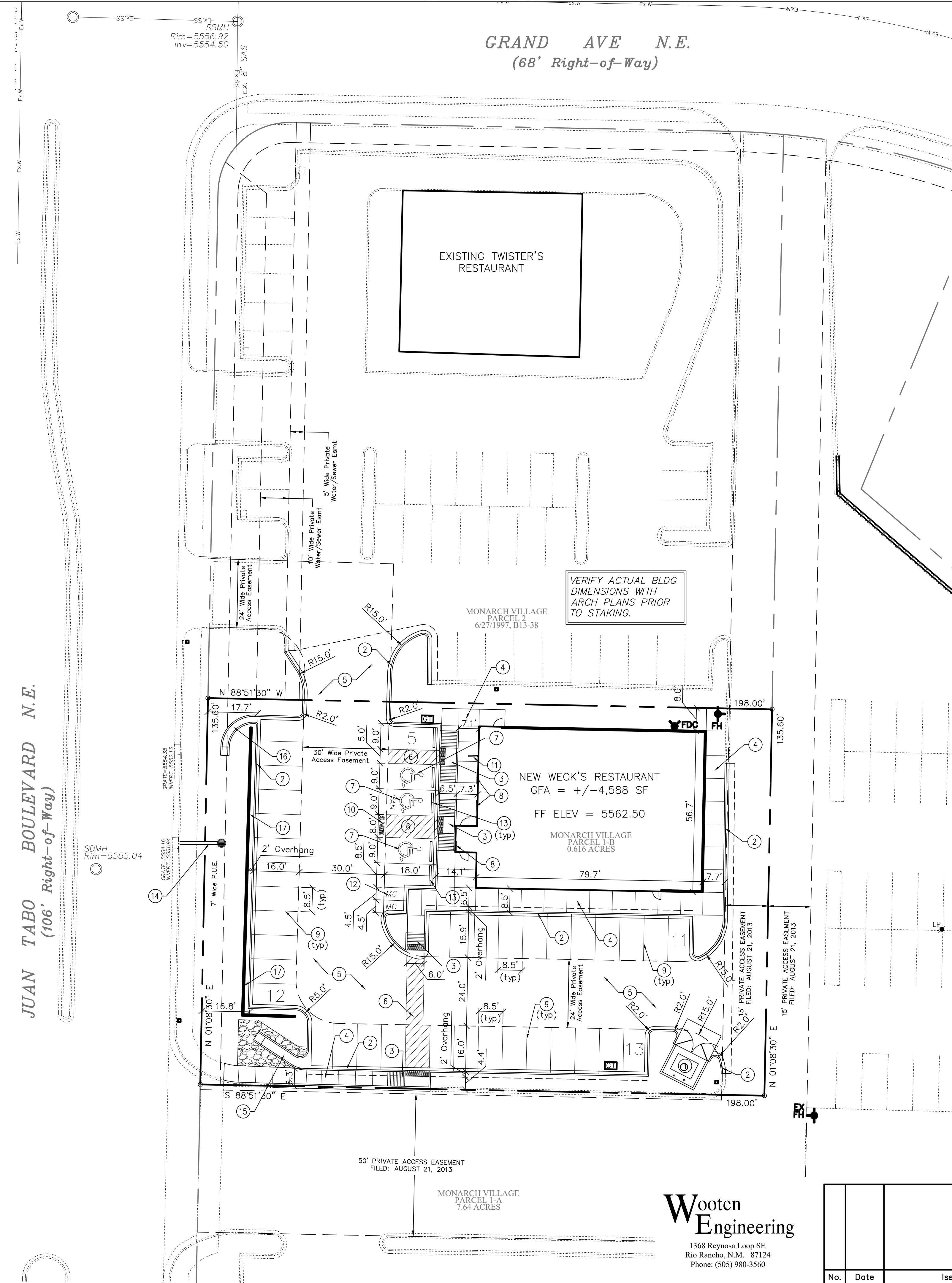
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



DATE SUBMITTED: 11/3/2015 By: Jeffrey T. Wooten, P.E.

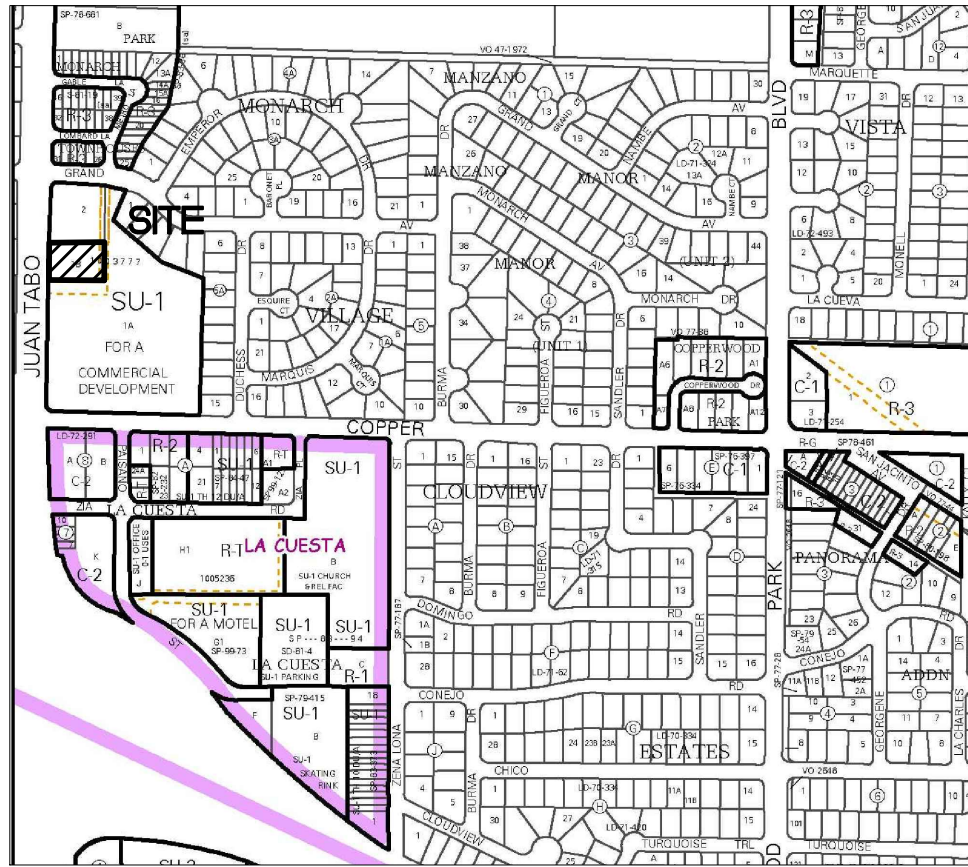
COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEW MEXICO ONE CALL (811) AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

PARKING CALCULATIONS			
BUILDING AREA:		# SEATS	AREA (SQUARE FEET)
WECK'S RESTAURANT		160	4,588 SF
PARKING REQUIREMENTS:		RATIO	REQUIRED PROVIDED
WECK'S RESTAURANT		1/4 SEATS	40 spaces 41 spaces
TOTAL			40 spaces 41 spaces
		REQUIRED	PROVIDED
HANDICAP PARKING		3 spaces	3 spaces
MOTORCYCLE PARKING		2 spaces	2 spaces
BICYCLE PARKING		2 spaces	3 spaces



VICINITY MAP ZONE ATLAS PAGE: K-22
NTS

LEGAL DESCRIPTION:

MONARCH VILLAGE, PARCEL 1-B

BENCHMARK:

CITY OF ALBUQUERQUE STATION NO. "10-K21". ELEVATION 5557.514

SITE INFORMATION

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

CONTRACTOR TO PROVIDE PARKING LOT STRIPING, FIRELANE AND HANDICAP STRIPING PER THESE PLANS AND CITY OF ALBUQUERQUE REQUIREMENTS.

TO PRESERVE THE PAINTING / STRIPING WITHIN PARKING AREAS, DO NOT APPLY PAINT UNTIL ALL OTHER POTENTIALLY DAMAGING CONSTRUCTION HAS BEEN COMPLETED.

KEYED NOTES

- DUMPSTER ENCLOSURE PER DETAIL ON SHEET C6.
- INSTALL MEDIAN CURB/GUTTER (6" HIGH) PER COA STD DWG 2415B.
- INSTALL CURB RAMP WITH TRUNCATED DOMES PER DETAILS ON SHEET C6. MATCH ADJACENT SIDEWALK WIDTH.
- INSTALL CONCRETE SIDEWALK PER COA STD DWG 2430.
- ASPHALT PAVEMENT. SEE PAVING DETAILS ON DETAIL SHEET. FOR MAIN DRIVES, USE HEAVY DUTY PAVEMENT. FOR PARKING SPACES, USE STANDARD DUTY ASPHALT PAVEMENT.
- INSTALL 4" WIDE PAINT STRIPES AT 45° ANGLE TO PARKING STRIPES, SPACED AT 1'-6" (WHITE PAINT IN PARKING LOT, BLUE PAINT IN ACCESSIBLE PARKING AREAS). TWO COATS MINIMUM.
- PAINTED WHEELCHAIR SYMBOL (BLUE) TO MEET ADA STANDARDS. TWO COATS MINIMUM.
- INSTALL H/C SIGNAGE PER DETAIL ON DETAIL SHEET. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. WHEN A POLE MOUNTED SIGN WILL NOT FIT WITHIN DESIGNATED AREA, SIGN SHALL BE BOLTED TO BUILDING. H/C SIGN MUST INCLUDE LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING."
- INSTALL 4" WIDE PAINT STRIPES (WHITE) FOR ALL PARKING MINIMUM TWO COATS.
- PAINT WORDS 'NO PARKING' WITH LETTERS AT LEAST ONE FOOT HIGH AND 2 INCHES WIDE. TWO COATS MINIMUM.
- INSTALL BIKE RACK WITH THREE (3) SPACES PER DETAIL ON SHEET C6.
- MOTORCYCLE PARKING. ADD PAINT LABELS PER COA STDS. TWO COATS MINIMUM.
- INSTALL PRE-CAST WHEEL STOP PER DETAIL ON SHEET C6.
- STORM DRAIN INLET AND PIPE. REF. SHEET C3.
- INSTALL 3' WIDE CONCRETE FLUME PER DETAIL ON SHEET C6.
- INSTALL 2' WIDE CONCRETE FLUME PER DETAIL ON SHEET C6.
- PROPOSED RETAINING WALL. REFERENCE STRUCTURAL PLANS FOR DETAILS.

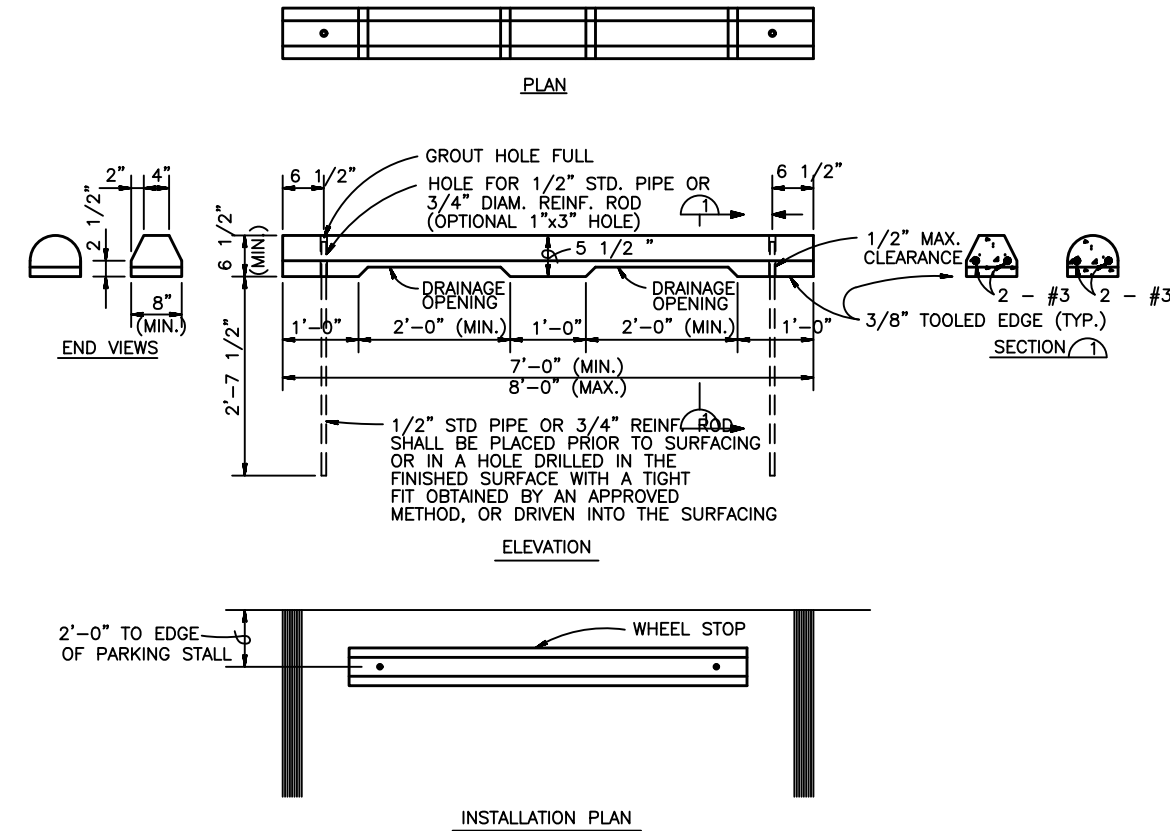
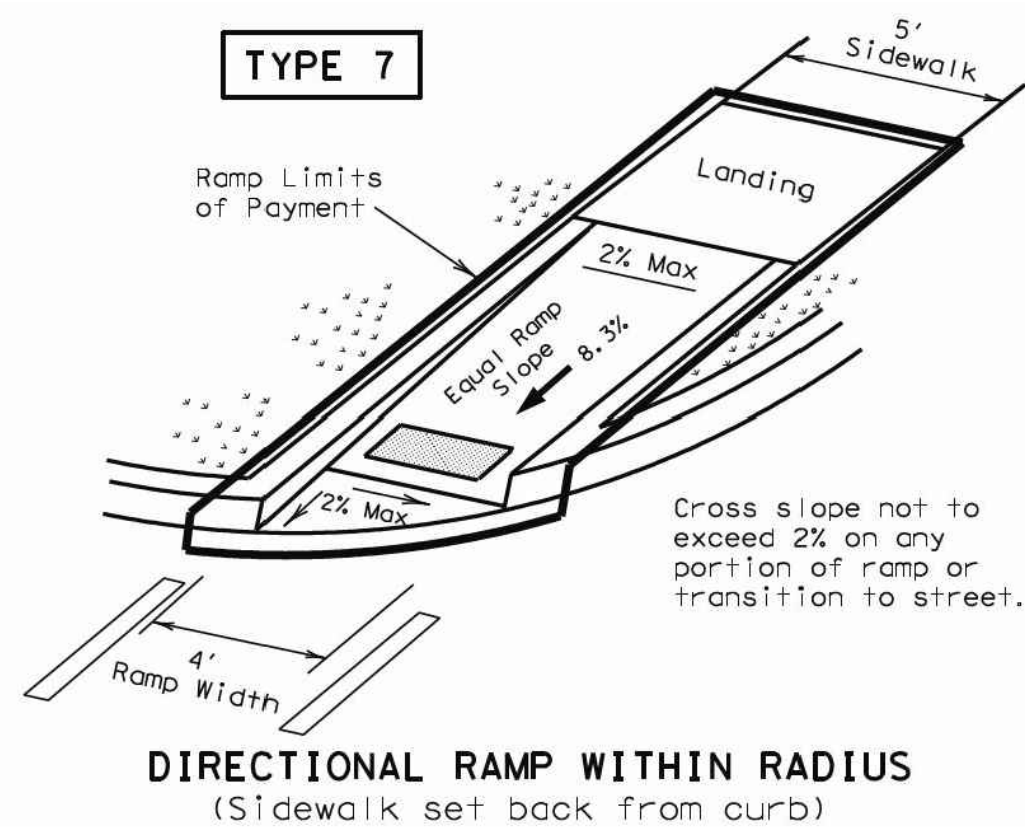
No.	Date	Issue Notes



Design By	BILL BURK, THIRD, ARCHITECT 9617 La Playa NE, ABQ NM 87111 505-292-6566 / Fax 505-294-7232 Email - billburk@qwestoffice.net
Consultant	

Project Title	WECK'S RESTAURANT 730 Juan Tabo Blvd NE Albuquerque, NM 87123
Sheet Title	SITE PLAN

Project Manager	JTW	Project ID	2015008
Drawn By	JTW	Scale	As Shown
Reviewed By	JTW	Sheet No.	C-001
Date	10/20/15		of
CAD File Name			

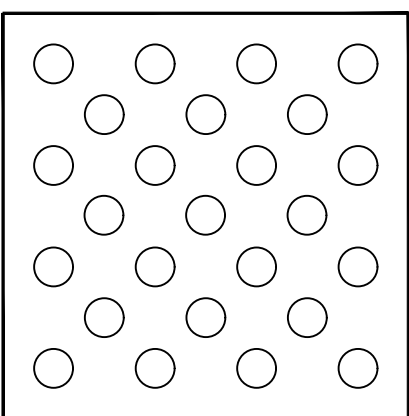


Precast Concrete Wheel Stop
NTS

TEXTURE SURFACING ON ASPHALTIC PAVEMENT SHALL CONSIST OF ABRASIVE ADHESIVE STRIPS

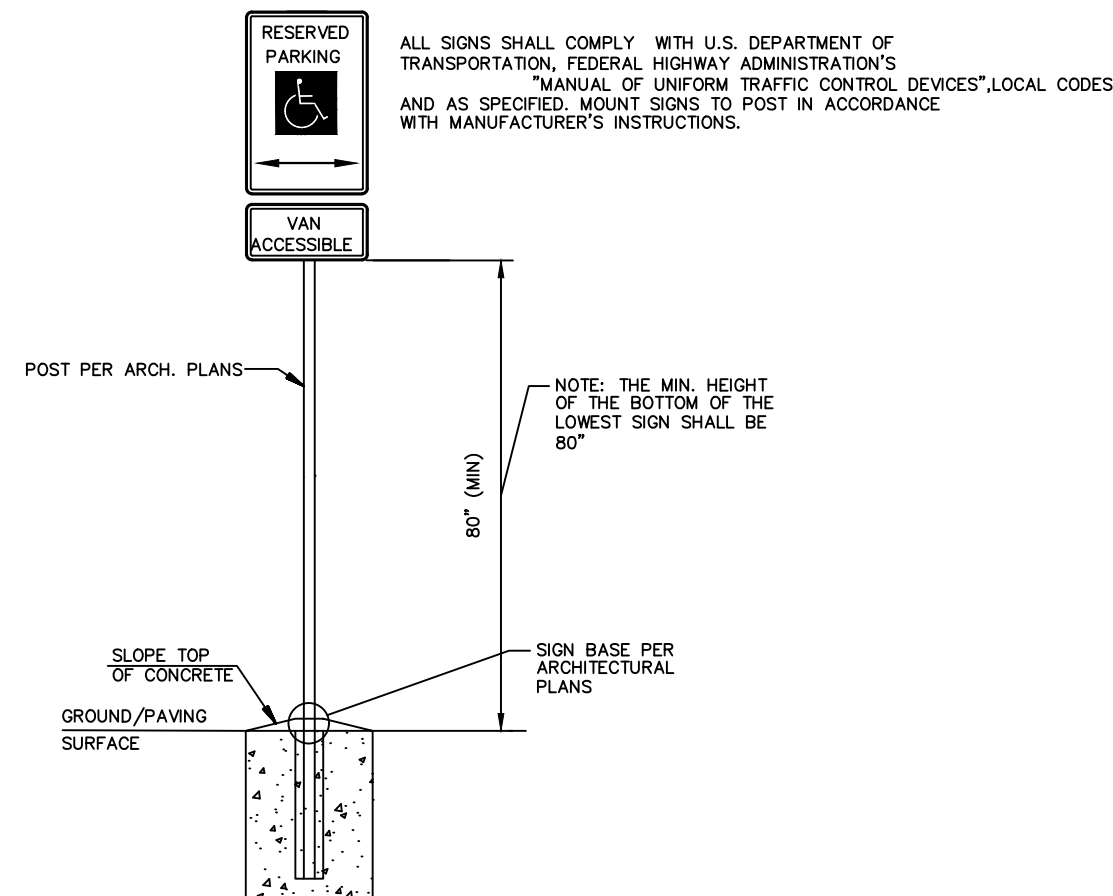
STAMARK HIGH PERFORMANCE TAPE SERIES - L386B BLUE 3M PH (612) 733-1154

SURFACES THAT ARE RAISED, ETCHED, OR GROOVED IN A WAY THAT WOULD ALLOW WATER TO ACCUMULATE ARE PROHIBITED.



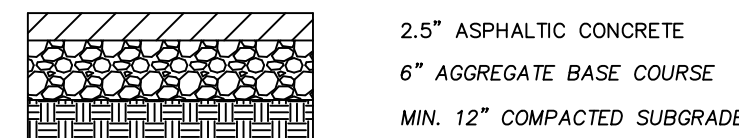
NOTE: ADAAG standardizes detectable warnings as raised truncated domes with a nominal 0.9 in. diameter, 0.2 in. height, and nominal 2.35 in. on center which must contrast visually with adjoining surfaces.

Truncated Domes Detail
NTS

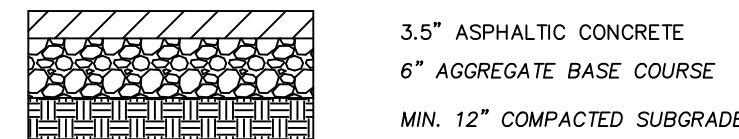


H/C Sign Detail
NTS

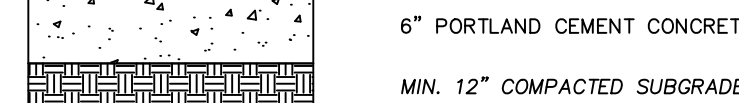
AUTOMOBILE PARKING AREA PAVEMENT (PARKING SPACES ONLY)



INTERNAL DRIVEWAYS AND HEAVY DUTY PAVEMENT

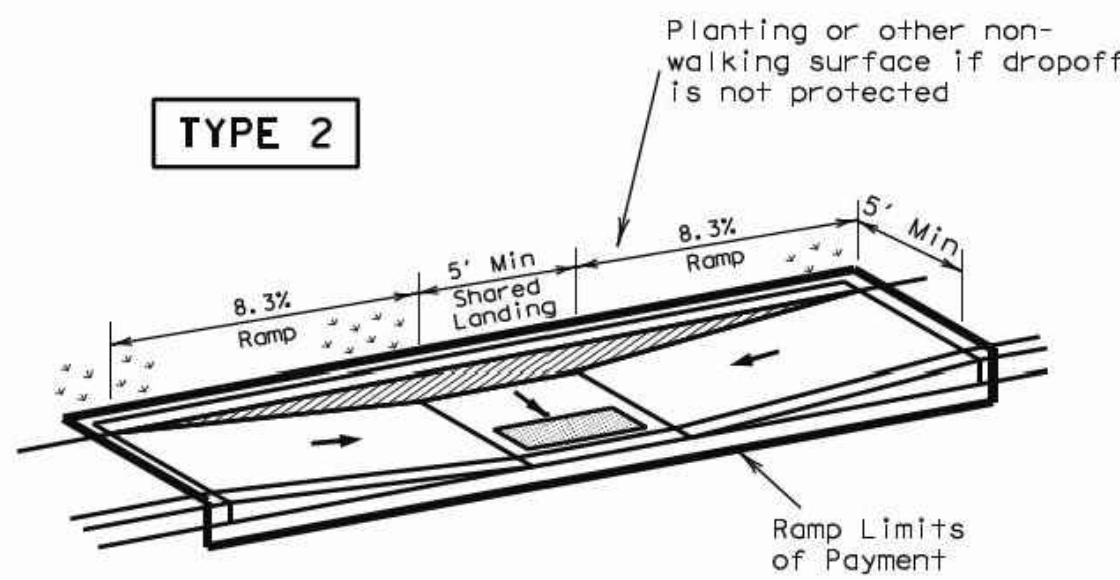


TRASH ENCLOSURE CONCRETE PAD

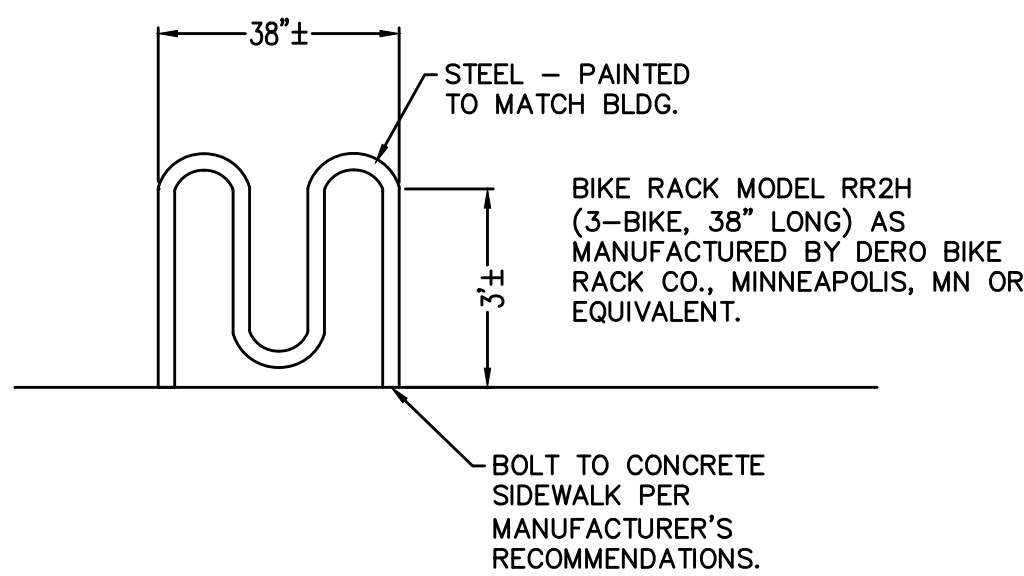


NOTE: REFERENCE GEOTECHNICAL REPORT BY TERRACON DATED 5/26/2015 FOR ADDITIONAL DETAILS AND SPECIFICATIONS OF PAVEMENT.

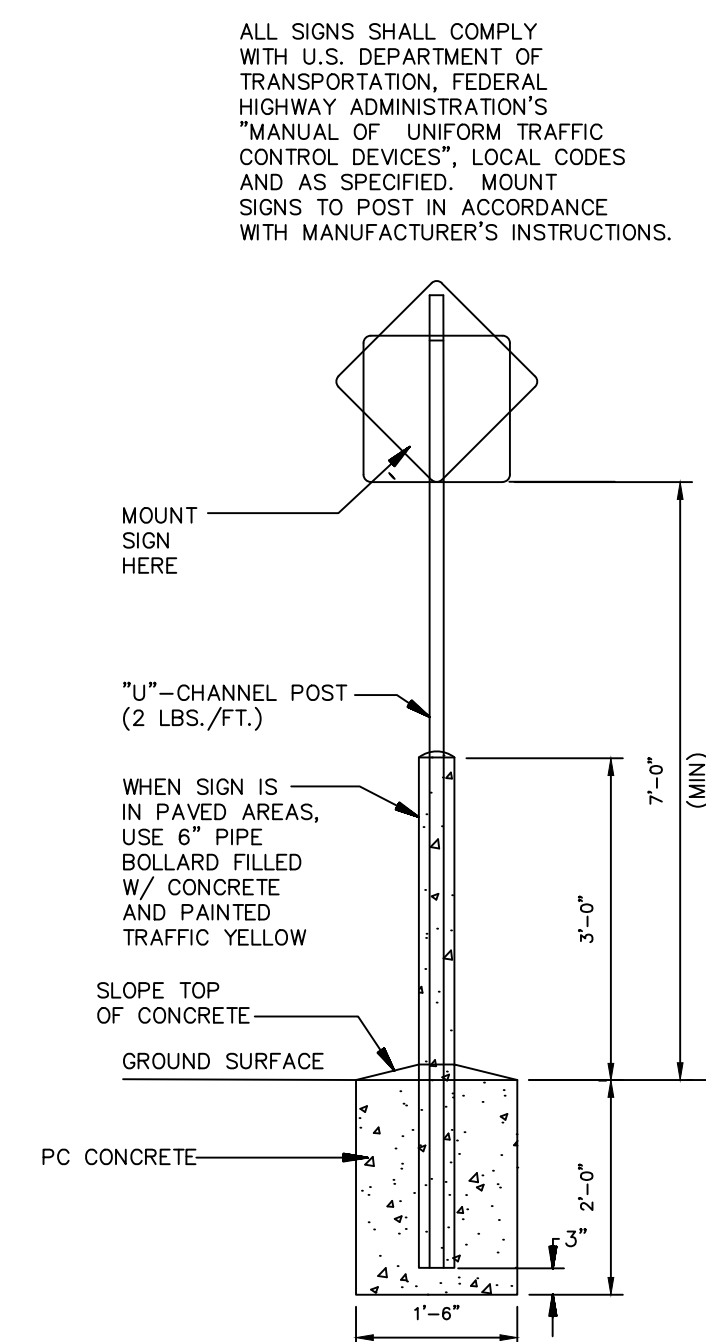
Pavement Sections



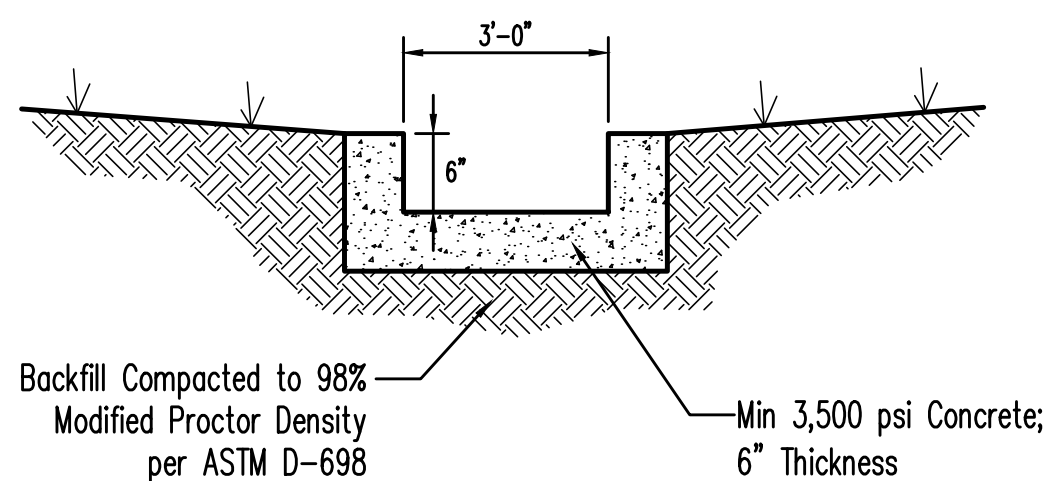
PARALLEL CURB RAMP
(Use only where water will not pond in the landing.)



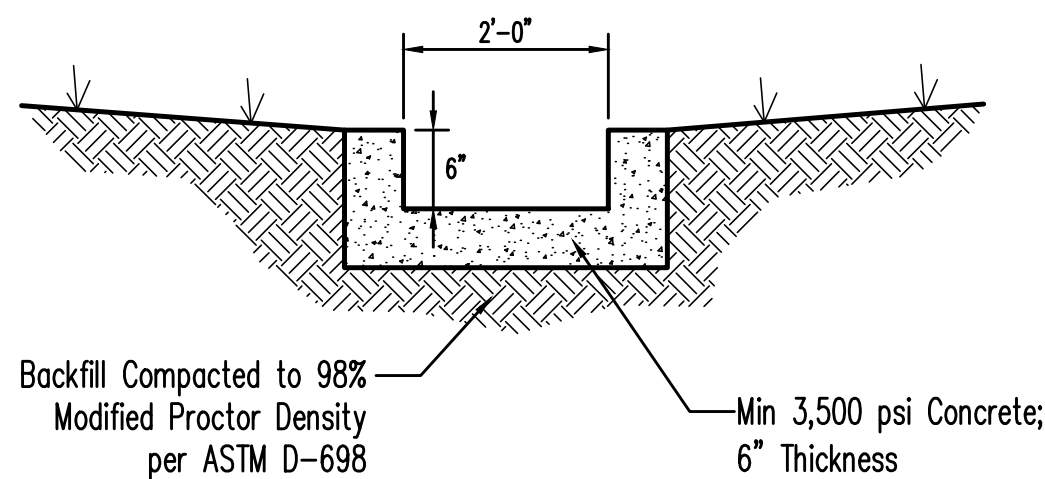
Bike Rack Detail
NTS



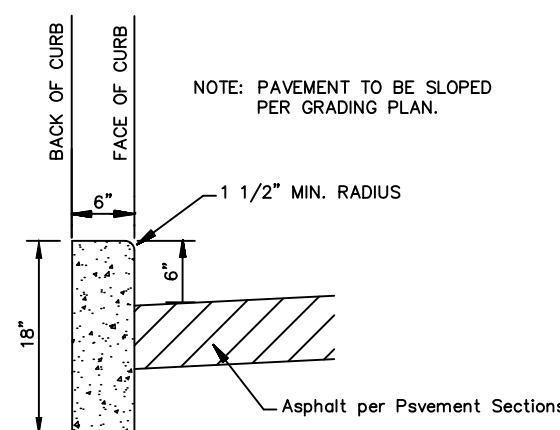
Standard Sign Base
NTS



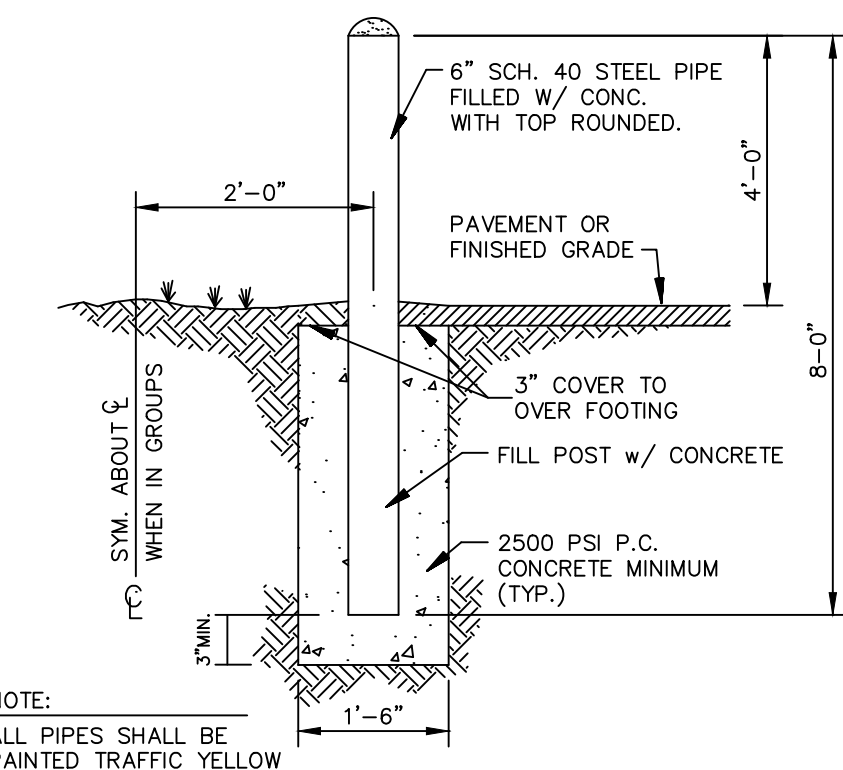
3' Concrete Flume Detail
NTS



2' Concrete Flume Detail
NTS

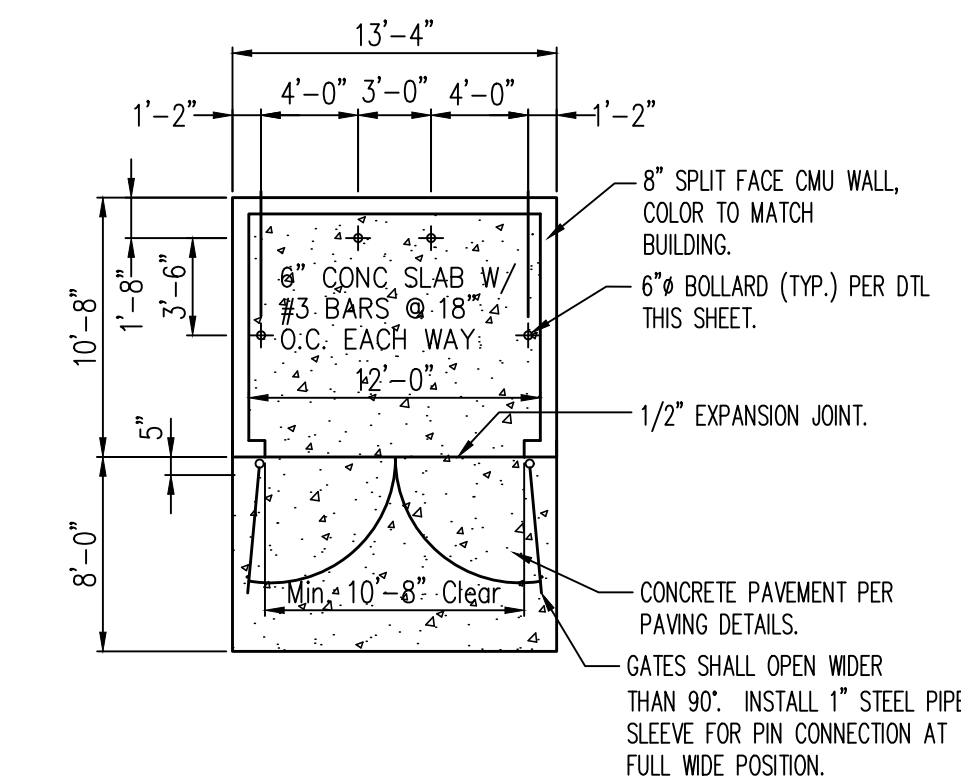


6"x18" Concrete Curb
NTS



NOTE: ALL PIPES SHALL BE PAINTED TRAFFIC YELLOW

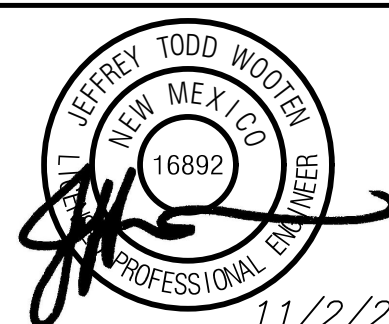
Pipe Bollard Detail
NTS



Dumpster Enclosure Plan

NOTE: ALL EXPOSED STEEL SHALL BE PAINTED TO MATCH BUILDING WITH RUST RESISTANT PAINT.

Wooten Engineering
1368 Reynosa Loop SE
Rio Rancho, N.M. 87124
Phone: (505) 980-3560



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Sheet Title	SITE DETAILS

Project Manager	JTW	Project ID	2015008
Drawn By	JTW	Scale	As Shown
Reviewed By	JTW	Sheet No.	C-006
Date	10/20/15		
CAD File Name			