CITY OF ALBUQUERQUE

September 24, 2015

Tom Spader
Freiheit & Ho Architects, Inc., P. S.
5209 Lake Washington Blvd. NE
Suite 200
Kirtland, WA 98033

Re: Starbuck's
700 Juan Tabo NE
Request Temporary C.O. - Accepted
Engineer's Stamp dated: 3-12-15 (K22D006B)
Certification dated: 8-23-15

Dear Mr. Spader,

Based on the Certification received 8/23/2015, the site is acceptable for temporary release of Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3695 or Totten Elliott at 924-3982.

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Hydrology
Planning Department

TE/RH
C: email

PO Box 1293
Albuquerque
New Mexico 87103
www.cabq.gov

STARBUCKS COFFEE COMPANY

PORTION OF PARCEL 1-A, TRACT BB
MONARCH VILLAGE CONT 0.5785 ACRES
CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO, STATE OF NEW MEXICO

SITE CONSTRUCTION PLAN

GENERAL NOTES

1. REFER TO SHEET C100 FOR ADDITIONAL PROJECT GENERAL NOTES.
2. IF, DURING THE OVERLOT GRADING PROCESS, CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES, WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE GEOTECHNICAL ENGINEER IMMEDIATELY FOR RECOMMENDATIONS.
3. ALL EARTHWORK, GRADING, OVERLOT GRADING, BACKFILLING, FILLING, EXCAVATION, COMPACTION, PAVEMENT, AND FLATWORK CONSTRUCTION WILL BE IN ACCORDANCE WITH THE RECOMMENDATIONS FROM THE GEOTECHNICAL INVESTIGATION PREPARED SPECIFICALLY FOR THIS SITE .
4. ALL CONCRETE PAVEMENT, CONCRETE FLATWORK, CONCRETE STRUCTURES AND CONCRETE UTILITIES SHALL BE IN ACCORDANCE WITH THE MATERIAL RECOMMENDATIONS FROM THE GEOTECHNICAL INVESTIGATION PREPARED SPECIFICALLY FOR THIS SITE AND THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
5. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION PREPARED SPECIFICALLY FOR THIS SITE.
6. SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS AND SLOPES SHOWN. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF SPOT ELEVATIONS WHICH DO NOT APPEAR TO BE CONSISTENT WITH THE CONTOURS AND SLOPES. SPOT ELEVATIONS AND SPECIFIC PROFILE DESIGN SHALL BE USED FOR SETTING ELEVATIONS OF CURB AND GUTTER AND UTILITIES
7. SPOT ELEVATIONS REPRESENT FLOWLINE (BOTTOM FACE OF CURB) WHERE SHOWN AT CURB AND GUTTER UNLESS OTHERWISE NOTED.
8. CONTOURS SHOWN ARE FOR FINISHED PAVING, SIDEWALK, SLAB, OR GROUND. ADJUSTMENT TO SUBGRADE IS THE CONTRACTOR'S RESPONSIBILITY.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING HIS OWN ESTIMATE OF EARTHWORK QUANTITIES.
10. REFER TO SITE PLAN FOR EXTENT OF PAVEMENT AND PAVEMENT SECTIONS.
11. GRADES WITHIN ASPHALT PAVING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10 FEET OF THE DESIGN GRADE. HOWEVER, THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL PAVEMENT AREAS AND ALONG CURBS. ALL CURBS SHALL BE BUILT IN ACCORDANCE WITH THE PLAN. CURBS OR PAVEMENT AREAS WHICH DO NOT PROVIDE PROPER DRAINAGE MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
12. THE CONTRACTOR SHALL HAVE FORMS CHECKED BY A SURVEYOR FOR CURB AND GUTTER ADJACENT TO EXISTING ASPHALT OR CONCRETE. THE CROSS SLOPE SHALL NOT BE LESS THAN 2% OR GREATER THAN 4% FROM THE EXISTING SAWCUT LINE TO THE PROPOSED LIP OF GUTTER. DO NOT PLACE CONCRETE IN FORMS THAT HAVE BEEN CHECKED TO BE OR APPEAR IN ANY WAY INCORRECT. CONTACT THE ENGINEER IMMEDIATELY IF A PROBLEM SHOULD ARISE.
13. THE CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
14. THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL LANDSCAPED AND PAVED AREA.
15. ALL DISTURBED AREAS THAT ARE NOT DESIGNATED TO BE PAVED SHALL BE LANDSCAPED OR SEEDED, ACCORDING TO THE LANDSCAPE PLAN.
16. EXISTING DRAINAGE STRUCTURES SHALL BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
17. IF ANY EXISTING STRUCTURES, SIDEWALK, AND/OR CURB AND GUTTER MODIFIED OR TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER PRIOR TO PROJECT CLOSEOUT.
18. ALL GRATES, MANHOLE RIMS, VALVE BOXES, VALVE COVERS, CLEANOUTS, AND VAULT OR BOX COVERS SHALL BE ADJUSTED TO "AS CONSTRUCTED" FINISHED GRADE PRIOR TO THE FINAL LIFT OF ASPHALT.
19. NO PROPOSED SLOPE IN LANDSCAPED AREAS OR OPEN SPACE SHALL EXCEED THREE (3) HORIZONTAL FEET TO ONE (1) VERTICAL FOOT, OR AS OTHERWISE SPECIFIED BY LOCAL CRITERIA.
20. THE CONTRACTOR SHALL PROTECT THE PROJECT BENCHMARK THROUGHOUT CONSTRUCTION AND SET ADDITIONAL PROJECT BENCHMARKS AS NECESSARY TO MAINTAIN VERTICAL CONTROL THROUGHOUT THE DURATION OF THE PROJECT.
21. THE CONTRACTOR SHALL FILL AND COMPACT BASEMENTS, CESSPOOLS, AND OTHER LARGE EXCAVATED AREAS WITH CLEAN FILL SUITABLE TO THE OWNER, AND IN ACCORDANCE WITH RECOMMENDATIONS OBTAINED FROM THE GEOTECHNICAL REPORT OR GEOTECHNICAL ENGINEER AND GRADE TO MATCH EXISTING OR PROPOSED FINISH GRADE; OR CONFIRM SUCH WORK HAS BEEN PERFORMED PRIOR TO CONSTRUCTION.

GRADING NARRATIVE

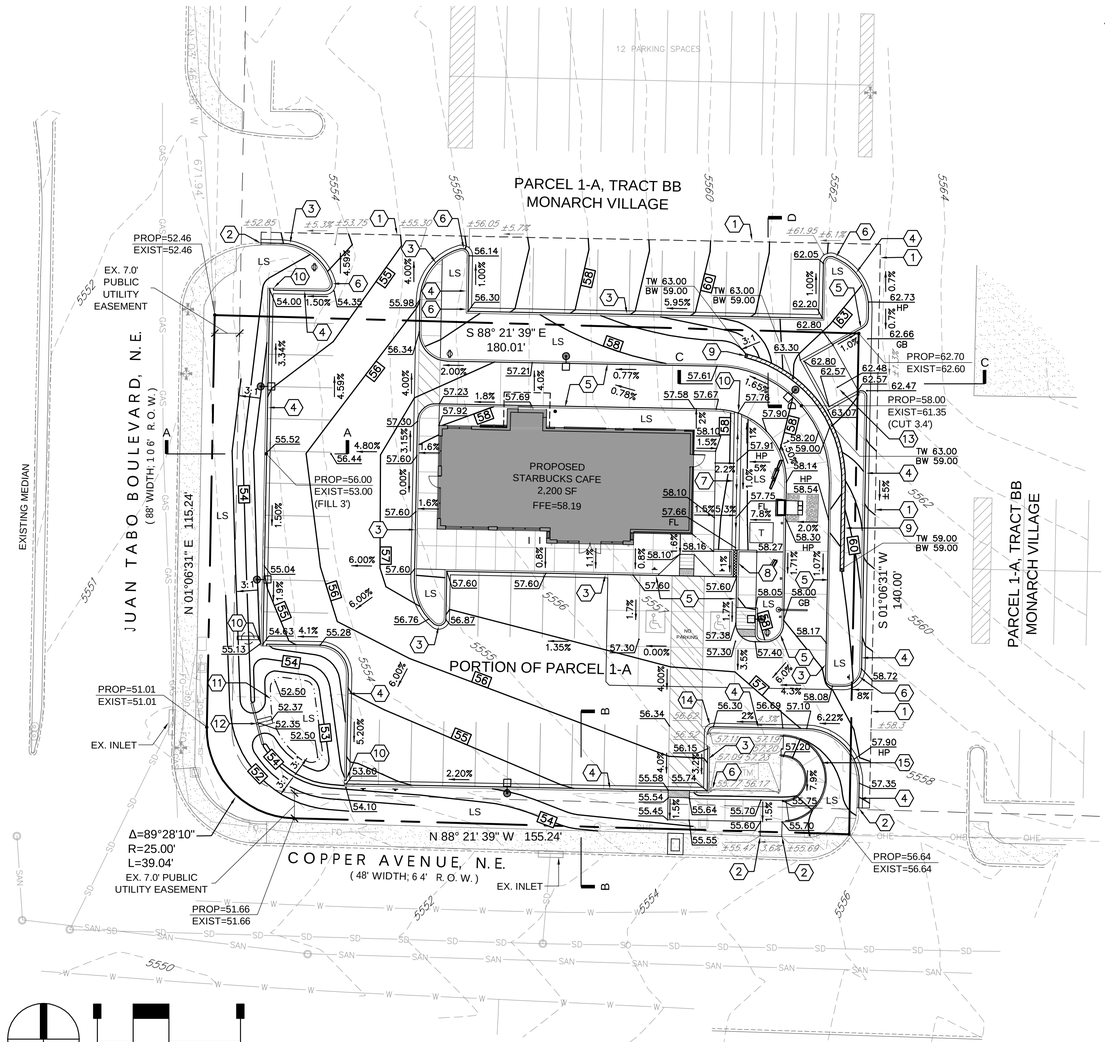
EXISTING SITE TOPOGRAPHY GENERALLY SLOPES AT APPROXIMATELY 6% FROM THE EAST TO THE WEST ACROSS THE EXISTING PAVED PARKING LOT. EXISTING PERIMETER LANDSCAPE AREAS ARE STEEPER.

PROPOSED GRADING IMPROVEMENTS INCLUDE PROVIDING A RELATIVELY FLAT PAD FOR THE PROPOSED BUILDING, PEDESTRIAN, AND ASSOCIATED ADA ACCESS AREAS. PROPOSED PERIMETER DRIVE AND PARKING AREAS INCLUDE SLOPES OF 1% TO 6%. PERIMETER LANDSCAPE AREAS THEREFORE INCLUDE SLOPES OF UP TO 3:1. A PROPOSED RETAINING WALL (MAXIMUM HEIGHT EQUALS APPROXIMATELY 4.5-FEET) IS REQUIRED TO ACCOMMODATE THE PROPOSED GRADES IN THE NORTHEAST CORNER OF THE SITE. CUT AND FILL DEPTHS ARE BOTH PROPOSED TO BE APPROXIMATELY 3-FEET MAXIMUM. THE SITE WILL GENERALLY CONVEY STORMWATER RUNOFF IN CONFORMANCE WITH THE EXISTING DRAINAGE SYSTEM. RUNOFF WILL BE CONVEYED AS SHEET FLOW ACROSS THE PAVED AREAS TO LOW POINTS ALONG THE PERIMETER CURB AND GUTTER. THREE CURB OPENINGS WILL DIRECT RUNOFF TO AND ACROSS THE PERIMETER LANDSCAPE AREAS BEFORE DISCHARGING AS SURFACE FLOW TO THE PUBLIC STREET STORM SEWER SYSTEM.

THE REQUIRED FIRST FLUSH VOLUME WILL BE PROVIDED IN AN ON-SITE POND DOWNSTREAM OF TWO OF THE PROPOSED CURB OPENINGS AND WILL DISCHARGE ACROSS THE PERIMETER LANDSCAPE AREAS AS SURFACE FLOW TO THE PUBLIC STREET STORM SEWER SYSTEM.

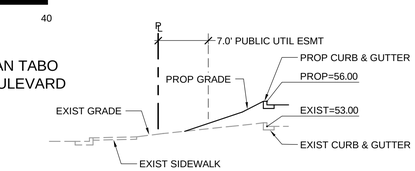
A METAL PLATE PERFORATED WITH 0.25" DIA. HOLES AT 4" ON CENTER VERTICALLY WILL CONTROL THE RELEASE OF THE FIRST FLUSH VOLUME TO DISCHARGE OVER 40 HOURS. RUNOFF IN EXCESS OF THE FIRST FLUSH WILL DISCHARGE THROUGH A CONCRETE WEIR OPENING.

REFER TO THE DRAINAGE SUMMARY ON THIS SHEET, AND THE PEAK DISCHARGE AND OUTLET CALCULATIONS ON SHEET C390 FOR ADDITIONAL INFORMATION.

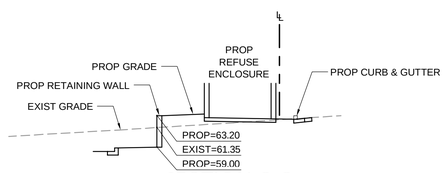


0 10 20 40

NORTH SCALE: 1"= 20'-0"



SECTION A-A
NOT TO SCALE



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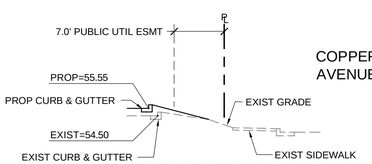

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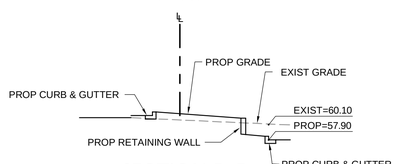

SECTION D-D
NOT TO SCALE

CONSTRUCTION NOTES

1. SAWCUT AND/OR REMOVE EXISTING PAVEMENT, CONCRETE, CURB RAMPS, AND/OR CURB & GUTTER TO NEAREST JOINT, OR TO LIMITS AS SHOWN.
2. CONSTRUCT IMPROVEMENTS TO MATCH LINE AND GRADE OF EXISTING PAVEMENT, WALK, AND/OR CURB & GUTTER.
3. CONSTRUCT 6-INCH CONCRETE CURB & GUTTER WITH 1-FOOT SPILL PAN. RE: SHEET C390, DETAIL C.
4. CONSTRUCT 6-INCH CONCRETE CURB & GUTTER WITH 1-FOOT CATCH PAN. RE: SHEET C390, DETAIL C.
5. CONSTRUCT 6-INCH CONCRETE INTEGRAL CURB. RE: SHEET C390, DETAIL C.
6. CONSTRUCT TRANSITION FROM CATCH TO SPILL PAN. FIELD VERIFY THAT RUNOFF WILL COMPLETELY EXIT PAN ONTO ADJACENT PAVEMENT.
7. CONSTRUCT 2-FOOT WIDE CONCRETE PAN AS SHOWN. RE: SHEET C390, DETAIL A.
8. CONSTRUCT 1-FOOT WIDE (SINGLE) SIDEWALK CULVERT WITH STEEL PLATE TOP AND WITHOUT V-SHAPED INVERT. DEPTH OF CULVERT OPENING SHALL BE CONSISTENT 6" FROM TOP OF TOP PLATE TO INVERT. FULL WIDTH OF CULVERT (1') SHALL SLOPE CONSISTENTLY WITH ADJACENT SIDEWALK CROSS SLOPE FROM BACK OF WALK TO FLOWLINE OF CURB & GUTTER. RE: CITY OF ALBUQUERQUE STANDARD DETAIL DWG. 2236 AND SHEET C390, DETAIL E FOR ADDITIONAL DETAIL.
9. CONSTRUCT RETAINING WALL. RE: ARCH/STRUCTURAL PLANS.
10. CONSTRUCT 1.0' CURB OPENING. RE: SHEET C390, DETAIL B.
11. CONSTRUCT WATER QUALITY POND. RE: SHEET C390, DETAIL F.
12. CONSTRUCT CONCRETE OUTLET CONTROL WALL WITH WEIR AND PERFORATED STEEL PLATE. RE: SHEET C390, DETAIL G.
13. CONSTRUCT REFUSE ENCLOSURE DRAIN AT LOW POINT. RE: SHEET C501.
14. EXISTING CONCRETE STEPS TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION. RE: SHEET C390, DETAIL D.
15. CONSTRUCT RAMP AND RAILING. RE: SHEET C201.

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- EXIST. CURB & GUTTER
- PROP. CURB & GUTTER
- EXIST. SIDEWALK
- PROP. SIDEWALK
- EXIST. LIGHT POLE
- PROP. LIGHT POLE
- EXIST. SIGN
- PROP. SIGN
- PROP. BOLLARD
- LS LANSCAPE AREA
- PROP. HANDICAP PARKING SYMBOL
- OHE EXIST. OVERHEAD POWER
- EXIST. WATER VALVE
- EXIST. POWER POLE
- EX. FH EXIST. FIRE HYDRANT
- EM EXIST. ELECTRIC METER
- TSB EXIST. TRAFFIC SIGNAL BOX
- EV EXIST. ELECTRIC VAULT
- TS EXIST. TRAFFIC SIGNAL POLE
- EXIST. MANHOLE
- EXIST. INLET
- 20 PROP. CONTOUR
- 5520 EXIST. CONTOUR
- PROP. SAWCUT LINE
- T PROP. TRANSFORMER

DRAINAGE SUMMARY (RE: SHEET C390 FOR ADDITIONAL)

LOT AREA	= 0.58 ACRE		
LOT IMPERVIOUS AREA	= 17,543 SF (0.40 ACRE)		
FIRST FLUSH VOLUME REQ'D (0.34" X IMP. AREA)	= 497 CF		
FIRST FLUSH VOLUME PROVIDED	ELEV (FT)	AREA (SF)	VOLUME (CF)
	53.0	367	501
	54.0	649	
(FIRST FLUSH VOLUME ELEV.	= 53.72		497)

nm811
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER (1-800-245-4545) AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.

Sterling Design Associates, llc
CIVIL ENGINEERS - LANDSCAPE ARCHITECTS
2009 W. Littleton Blvd. #300
Littleton, CO 80120
303.794.4727 ph
www.SterlingDesignAssociates.com

PREPARED UNDER THE DIRECT SUPERVISION OF
JAY M. NEWELL, P.E.
NEW MEXICO REGISTRATION NO. 21372
FOR & ON BEHALF OF STERLING DESIGN ASSOCIATES, LLC

JAY M. NEWELL
NEW MEXICO
21372
PROFESSIONAL ENGINEER
3/12/15

STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS
NO.: 1 DATE: 03/12/15 BY: JLO
DESCRIPTION: CITY COMMENTS
NO.: 2 DATE: BY:
DESCRIPTION:
NO.: 3 DATE: BY:
DESCRIPTION:
NO.: 4 DATE: BY:
DESCRIPTION:
NO.: 5 DATE: BY:
DESCRIPTION:
NO.: 6 DATE: BY:
DESCRIPTION:

DATE: 09/23/14
SCALE: 1" = 20'-0"
PROJECT MANAGER: JLO
PROJECT NO.: -
DRAWN BY: JMN
DRAWING FILE: -

PROJECT:
63433-001
STARBUCKS DRIVE-THRU
700 JUAN TABO NE
ALBUQUERQUE, NM 87123

DEVELOPER:
STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134
(206) 318-1575

SHEET TITLE:
GRADING & DRAINAGE PLAN

SHEET NUMBER:
C301

Sterling Design Associates, llc

CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

September 23, 2015

Mr. Tom Spader
Freiheit & Ho Architects, Inc., P.S.
5209 Lake Washington Blvd. NE, Suite 200
Kirkland, WA 98033

RE: Starbucks Coffee Company
700 Juan Tabo NE, Albuquerque, NM
Drainage Conformance Letter

Mr. Spader:

Thank you for providing photographs of the constructed site. Based on your correspondence it is my understanding that the photographs represent the site as it is constructed today, September 23, 2015.

From my review of the photos, it appears the 2-foot wide concrete valley pan to be located between the proposed building and drive-through lane entry has been constructed. The photos also indicate construction of the sidewalk culvert associated with this pan. In addition, the photos indicate one of the four curb openings (at the far southwest corner of the site) to have been constructed.

Based on this review of the photographs provided, and of this information only; it appears the improvements listed herein have been located in general conformance with the approved plan(s).

Respectfully submitted,
Sterling Design Associates, llc

Jay M. Newell
On behalf of Sterling Design Associates, LLC

Jay M. Newell, PE
Wayne T. Sterling, RLA, LEED AP

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Littleton, CO 80120

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