

CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



Mayor Richard J. Berry

October 19, 2015

Jay Newell, P.E.
Sterling Design Associates, LLC
2009 W. Littleton Blvd. Suite 300
Littleton, CO 80120

RE: Starbucks
700 Juan Tabo Blvd. NE
Grading and Drainage Plan
Engineers Stamp Date 3/12/15 (K22D006B)
Certification Dated 10/19/15

PO Box 1293

Dear Mr. Newell,

Albuquerque

Based upon the information provided in your submittal received 10/19/15, this certification is approved for Permanent Certificate of Occupancy.

New Mexico 87103

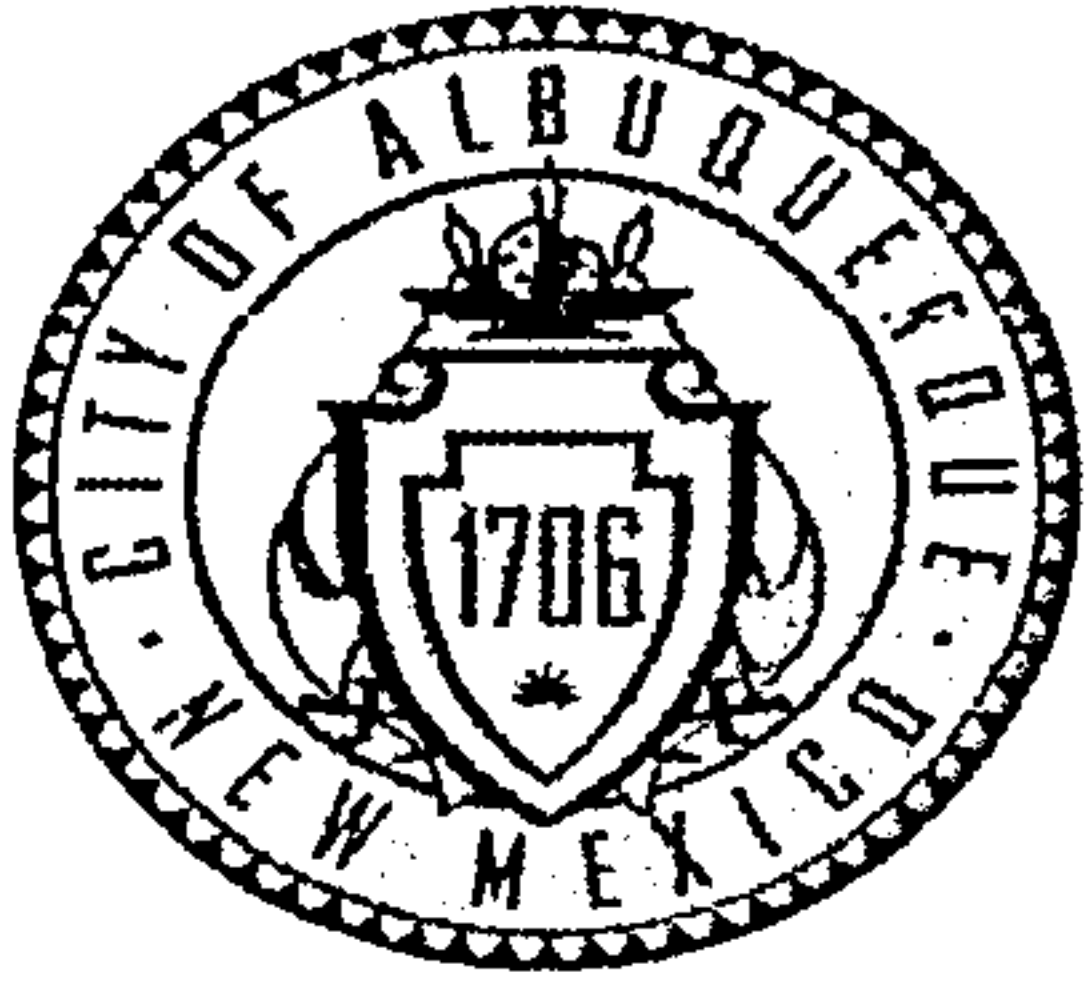
If you have any questions, please contact me at 924-3695 or Rudy Rael at 924-3977.

www.cabq.gov

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Hydrology
Planning Department

RR/RH
C: File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Starbucks - Juan Tabo & Copper Building Permit #: _____ City Drainage #: K22D006B
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Portion of Parcel 1-A, Tract B-B, Monarch Village
City Address: 700 Juan Tabo Blvd., NE, Albuquerque, NM 87123

Engineering Firm: Sterling Design Associates, LLC Contact: Jay Newell
Address: 2009 W. Littleton Blvd., #300, Littleton, CO 80120
Phone#: 303-794-4727 Ext. 203 Fax#: _____ E-mail: jay@sterlingdesignassociates.com

Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: Freiheit & Ho Contact: Tom Spader
Address: 5209 Lake Washington Blvd. NE #200, Kirkland, WA 98033
Phone#: 310-394-8460 Fax#: _____ E-mail: tspader@fhoarch.com

Other Contact: Wayjohn Surveying Contact: Thomas Johnston
Address: 330 Louisiana Blvd. NE, Albuquerque, NM 87108
Phone#: 505-255-2052 Fax#: _____ E-mail: info@wayjohn.com

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

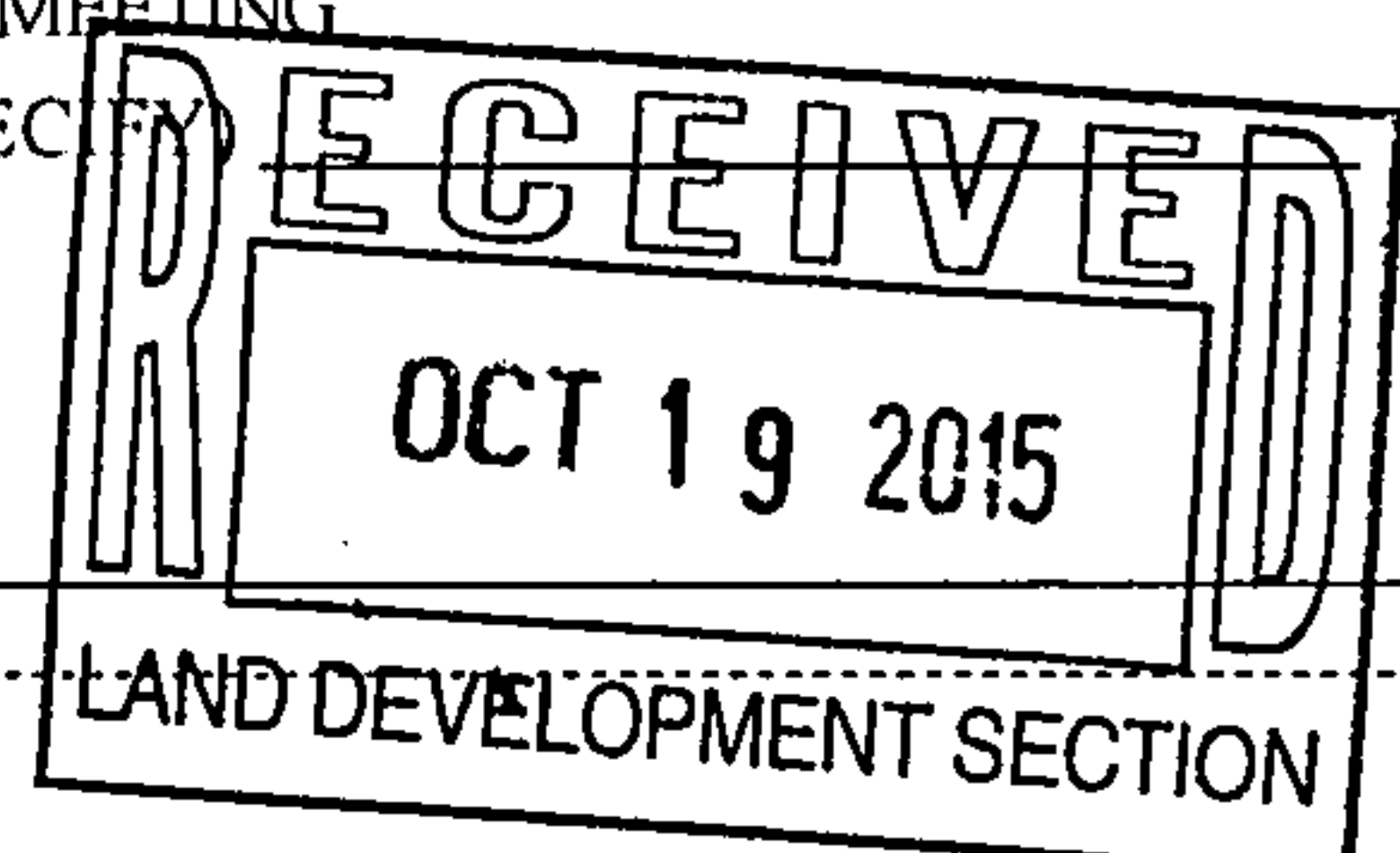
DATE SUBMITTED: October 13, 2015 By: Jay M. Newell

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



Sterling Design Associates, LLC

CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

October 19, 2015

Mr. Tom Spader
Freiheit & Ho Architects, Inc., P.S.
5209 Lake Washington Blvd. NE, Suite 200
Kirkland, WA 98033

**RE: Starbucks Coffee Company
700 Juan Tabo NE, Albuquerque, NM
Traffic Conformance Letter**

Mr. Spader:

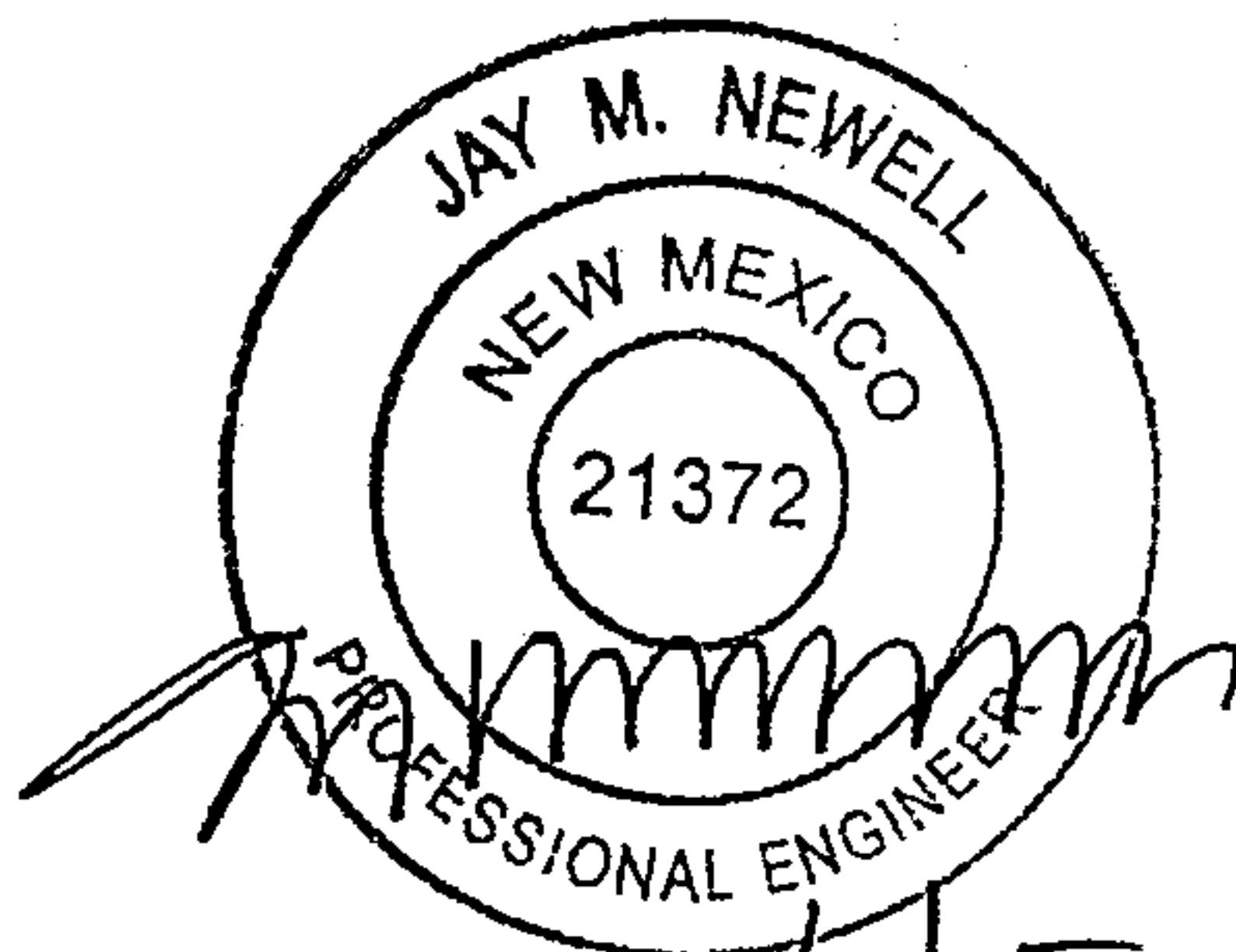
I have reviewed a copy of the as-built plan dated October 5, 2015, prepared and stamped by Thomas D. Johnston, New Mexico Registered Land Surveyor No. 14269, and provided the same as-built information on the red-lined as-built plan provided with this letter.

The review is intended only to determine if the improvements as described solely by the as-built plan are in substantial compliance with the design intent of the traffic aspects of the project as described on the approved plan(s) and in support of a request for a Certificate of Occupancy.

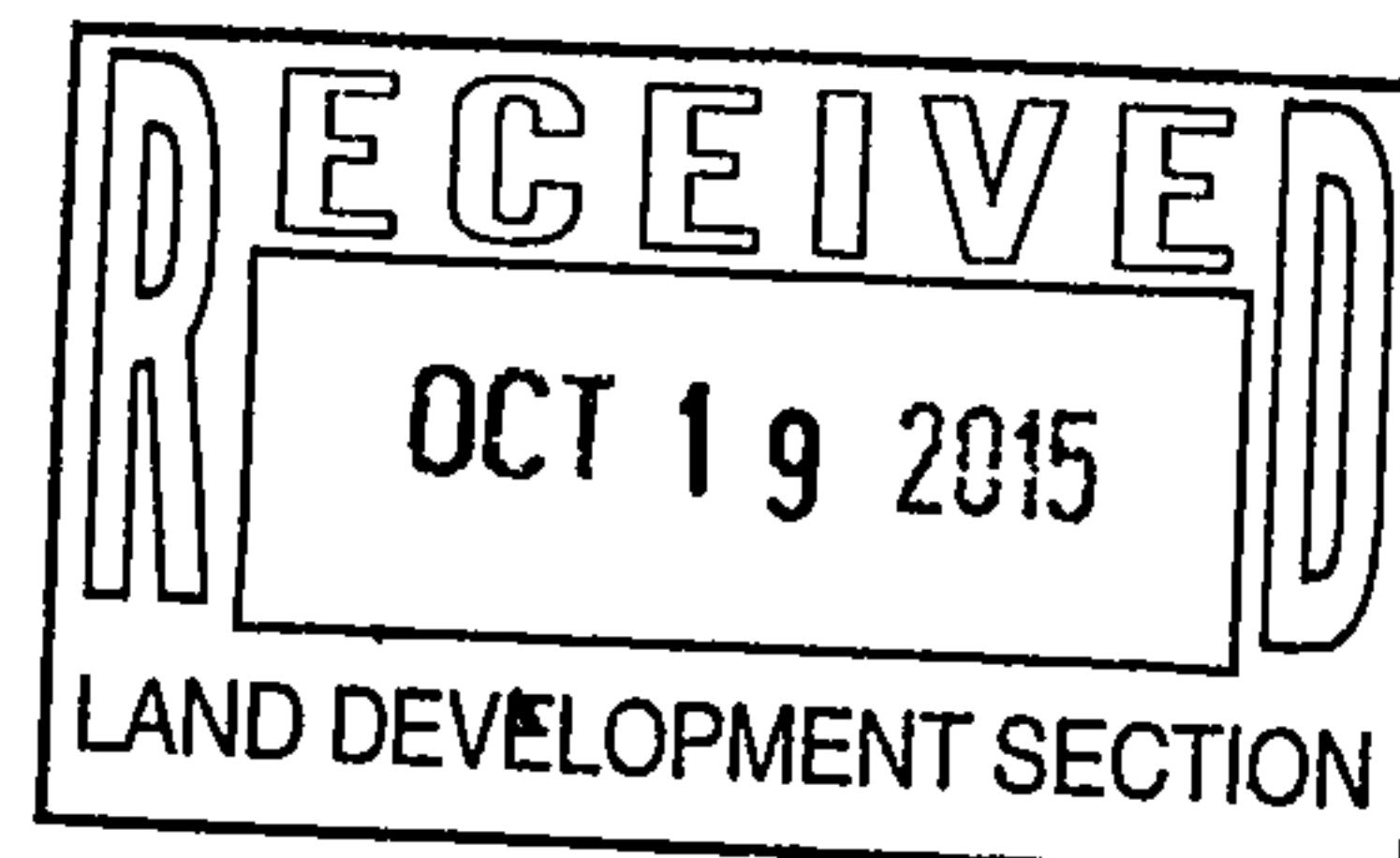
It should be noted that the ATM and its associated concrete pad were removed as indicated on the Administrative Amendment Site Plan approved by the city on January 7, 2015. In addition the proposed radial walk to have provided access to this ATM was not built, again as indicated on the Administrative Amendment Site Plan approved by the city on January 7, 2015. The originally designed pedestrian connection from the site to the public walk along Copper Ave. was constructed in lieu of the direct connection redlined in by the city on the aforementioned plan. A direct connection does not meet ADA slope criteria. The redlined plan which accompanies this letter indicates the pedestrian connection constructed in the field in general conformance with the originally approved plan.

Based on the review described herein, of the information listed herein, and of this information only; it appears the improvements associated with the traffic aspects of the project as described herein are in substantial compliance with the design intent of the approved plan(s).

Respectfully submitted,
Sterling Design Associates, LLC



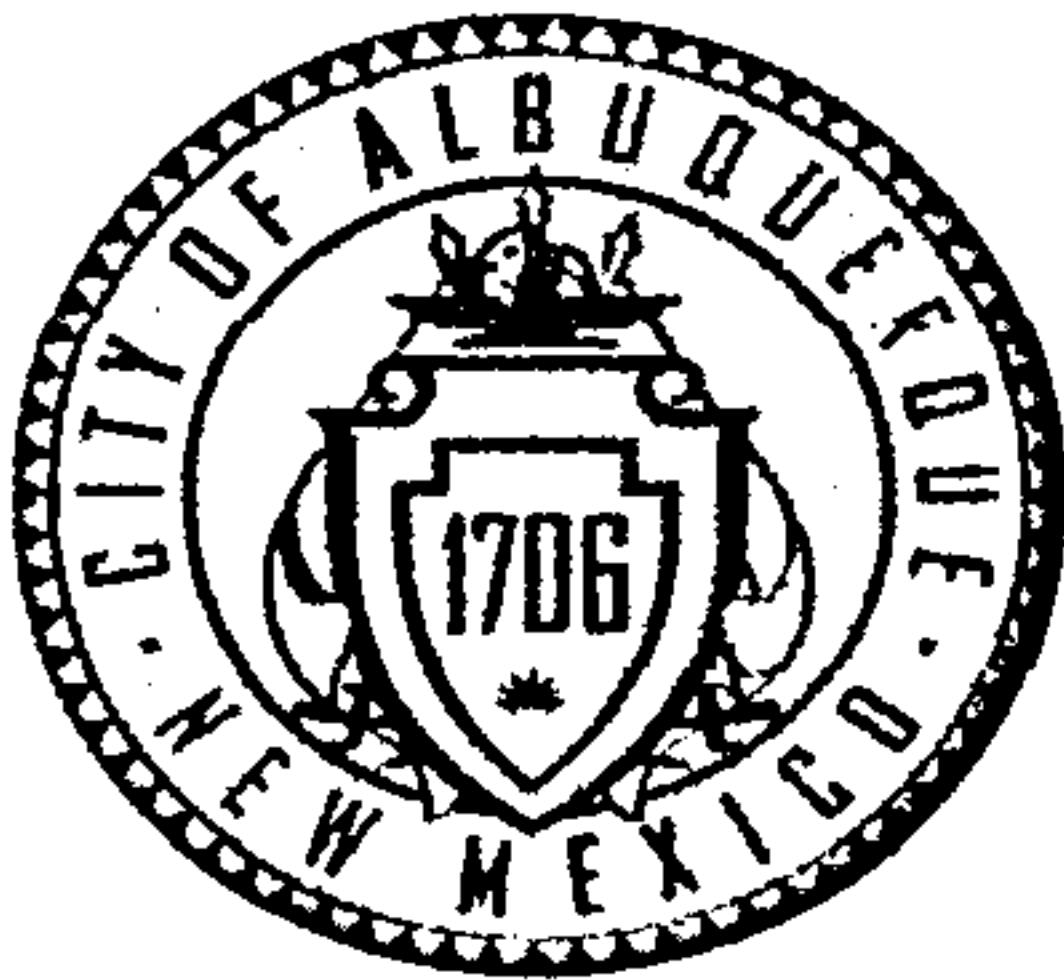
Jay M. Newell 10/19/15
On behalf of Sterling Design Associates, LLC



**Jay M. Newell, PE
Wayne T. Sterling, RLA, LEED AP**

2009 W. Littleton Blvd., #300
Littleton, CO 80120

303.794.4727
www.SterlingDesignAssociates.com



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Starbucks - Juan Tabo & Copper Building Permit #: _____ City Drainage #: K22D006B

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Portion of Parcel 1-A, Tract B-B, Monarch Village

City Address: 700 Juan Tabo Blvd., NE, Albuquerque, NM 87123

Engineering Firm: Sterling Design Associates, LLC Contact: Jay Newell

Address: 2009 W. Littleton Blvd., #300, Littleton, CO 80120

Phone#: 303-794-4727 Ext. 203 Fax#: _____ E-mail: jay@sterlingdesignassociates.com

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: Freiheit & Ho Contact: Tom Spader

Address: 5209 Lake Washington Blvd. NE #200, Kirkland, WA 98033

Phone#: 310-394-8460 Fax#: _____ E-mail: tspader@fhoarch.com

Other Contact: Wayjohn Surveying Contact: Thomas Johnston

Address: 330 Louisiana Blvd. NE, Albuquerque, NM 87108

Phone#: 505-255-2052 Fax#: _____ E-mail: info@wayjohn.com

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☒ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL

☐ SITE PLAN FOR SUB'D APPROVAL

☐ SITE PLAN FOR BLDG. PERMIT APPROVAL

☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☐ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL

☐ GRADING/ PAD CERTIFICATION

☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: October 9, 2015

By: Jay M. Newell

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

Verbal 10-13-15



RECEIVED
10-12-15

CITY OF ALBUQUERQUE



March 30, 2015

Jennifer Olson, P.E.
Sterling Design Associates, LLC
2009 W. Littleton Blvd. Suite 300
Littleton, CO 80120

RE: **Starbucks**
700 Juan Tabo Blvd. NE
Grading and Drainage Plan
Engineers Stamp Date 3/12/15 (K22D006B)

Dear Ms. Olson,

Based upon the information provided in your submittal received 3/30/15, this plan is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets in the permitting process prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

PO Box 1293

Albuquerque

New Mexico 87103

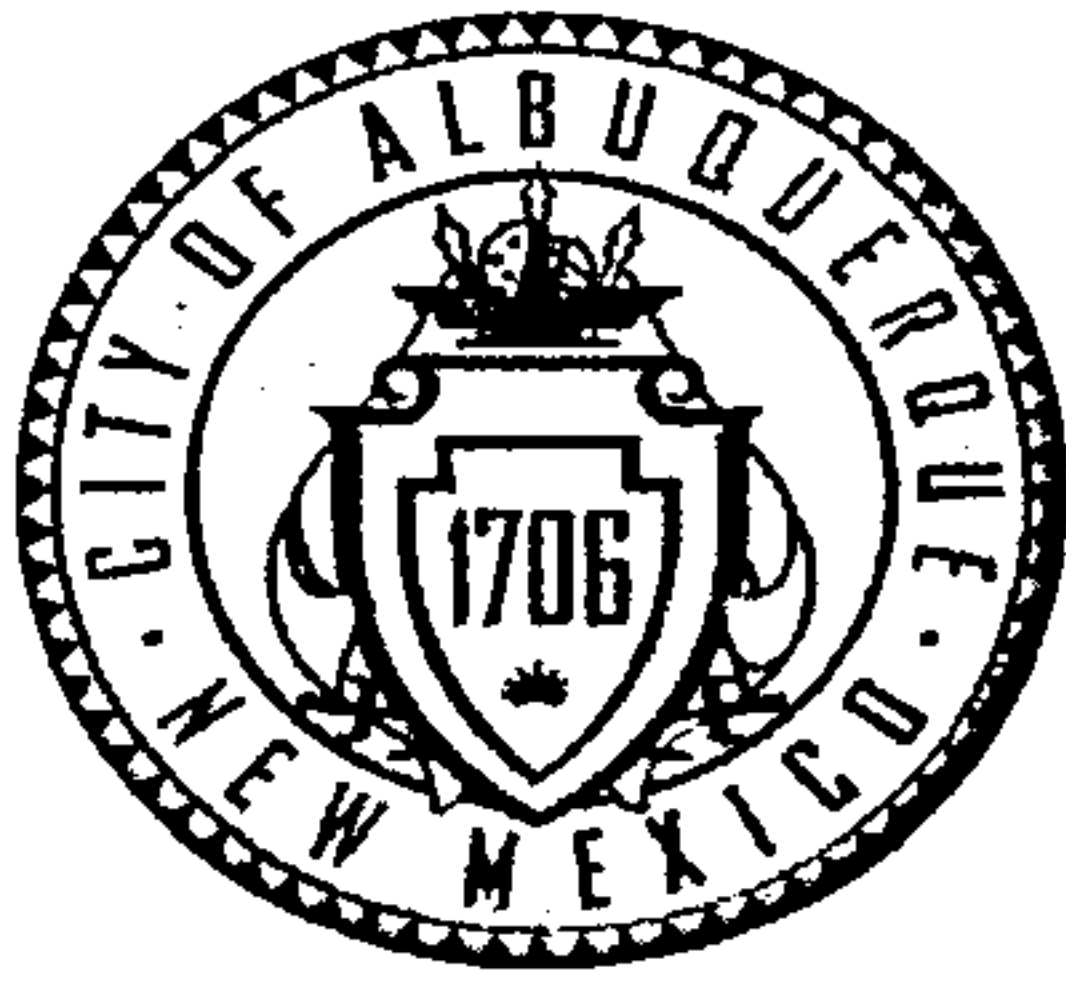
www.cabq.gov

If you have any questions, please contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Hydrology
Planning Department

RR/RH
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

K22D006B

Project Title: Starbucks - Juan Tabo & Copper Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Portion of Parcel 1-A, Track B-B, Monarch Village

City Address: 700 Juan Tabo Blvd. NE, Albuquerque, NM 87123

Engineering Firm: Sterling Design Associates, LLC Contact: Jennifer Olson

Address: 2009 W. Littleton Blvd, Ste 300, Littleton, CO 80120

Phone#: 303-794-4727 ext. 207 Fax#: _____ E-mail: jennifer@sterlingdesignassociates.com

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: Freiheit and Ho Architects Contact: Tom Spader

Address: 5209 Lake Washington Blvd. NE, #200, Kirkland, WA 98033

Phone#: 425-827-2100 Fax#: _____ E-mail: tspader@fhoarch.com

Surveyor: Wayjohn Surveying, Inc. Contact: Thomas Johnston

Address: 330 Louisiana Blvd. NE, Albuquerque, NM 87108

Phone#: 505-255-2052 Fax#: 505-255-2887 E-mail: _____

Contractor: TBD Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided _____

DATE SUBMITTED: 03/13/2015 By: Jennifer Olson

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

03/23/2015 Issued By: E06857 276882

Permit Number: 2015 060 041

Category Code 970

Application Number: 15REV-60041, Review:Drain Plan-Lomr-Traffic Impact

Address:

Location Description: STARBUCKS - 700 LOMAS BLVD NE

Project Number: null

Applicant

STERLING DESIGN ASSOCIATES, LLC.
JENNIFER OLSON
2009 W. LITTLETON BLVD, STE 300
LITTLETON CO 80120

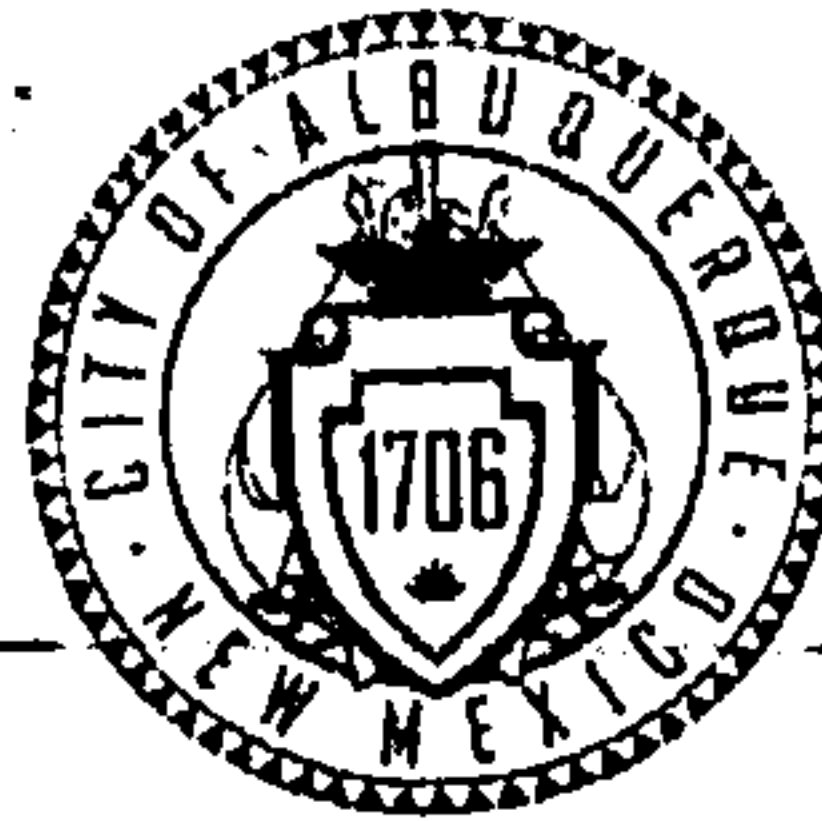
Agent / Contact

STERLING DESIGN ASSOCIATES, LLC.
JENNIFER OLSON
2009 W. LITTLETON BLVD, STE 300
LITTLETON CO 80120

Application Fees

REV Actions	\$50.00
TOTAL:	\$50.00

City of Albuquerque Treasury
Date: 3/23/2015 Office: ANNEX
Stat ID: W5000008 Cashier: TRSRMS
Batch: 5058 Trans #: 16
Permit: 2015060041
Receipt Num 00264842
Payment Total: \$50.00
0909 REV Actions
Check Tendered :
\$50.00
\$50.00



Date: 3/23/2015
Office: ANNEX Cashier: TRSRMS
Batch: 5058 Tran #: 16

=====

10:24 AM REV Station IDWS000008
Office ANNEX
Receipt #: 00264842
Permit: 2015060041
Trans Amt: \$50.00

0909 REV Actions \$50.00
Payment Total: \$50.00

=====

Transaction Total: \$50.00
Check Tendered : \$50.00

=====

Checks presented:

Shelley Design Associates, Inc. 245 W. University Blvd. Suite 100 Albuquerque, NM 87102		5127
CITY OF ALBUQUERQUE		3/23/2015
Pay to the order of: City of Albuquerque		\$ -50.00
City of Albuquerque		
Starbucks Juan Tabo & Copper		

Alvarez Shelly

Thank you for your payment.
Have a nice day!

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

03/23/2015 Issued By: E06857 276882

Permit Number: 2015 060 041 Category Code 970
Application Number: 15REV-60041, Review:Drain Plan-Lomr-Traffic Impact
Address:
Location Description: STARBUCKS - 700 LOMAS BLVD NE
Project Number: null

Applicant STERLING DESIGN ASSOCIATES, LLC. JENNIFER OLSON 2009 W. LITTLETON BLVD, STE 300 LITTLETON CO 80120	Agent / Contact STERLING DESIGN ASSOCIATES, LLC. JENNIFER OLSON 2009 W. LITTLETON BLVD, STE 300 LITTLETON CO 80120
---	---

Application Fees	
REV Actions	\$50.00
TOTAL:	\$50.00

City of Albuquerque Treasury
Date: 3/23/2015 Office: ANNEX
Stat ID: WS000008 Cashier: TRSKMS
Batch: 5058 Trans #: 16
Permit: 2015060041
Receipt Num 00264842
Payment Total: \$50.00
0909 REV Actions
Check Tendered : \$50.00

Jennifer Olson

From: Jennifer Olson <Jennifer@Sterlingdesignassociates.com>
Sent: Thursday, March 12, 2015 2:44 PM
To: 'mortiz@cabq.gov'
Cc: 'Jay Newell'; 'Lacie Audo'
Subject: Starbucks -- 700 Juan Tabo Blvd. NE -- Hydrology Digital Submittal
Attachments: Juan Tabo & Copper - Grading & Drainage Plans.pdf; 2015.03.13 DTIS.pdf

Hi Monica,

Per your comment on our Building Permit Review, please find the following documents attached for your approval:

- Grading and Drainage Plans
- Drainage and Traffic Information Sheet

Hardcopies will be overnighted tomorrow for arrival on Monday, March 16th. Please let me know if you require anything further.

Thank you!

Jennifer Olson, LEED AP BD+C
Sterling Design Associates
Civil Engineers – Landscape Architects
2009 W. Littleton Blvd. #300
Littleton, CO 80120

o: 303.794.4727 ex. 207
c: 720.315.5428
jennifer@sterlingdesignassociates.com



Sterling Design Associates, LLC

CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

Transmittal

Date: 03/13/15 Project: Starbucks – 700 Juan Tabo Blvd. NE

To: Design Review/Construction Section – Planning Department

600 Second Street NW

Albuquerque, NM 87102

Attn: Monica Ortiz – 505.924.3981

Cc: _____

Via:

Overnight ☒

Delivery ☐

Mail ☐

For:

Your Use ☐

Comment ☐

Approval ☒

Copies:	Description:
1	Full Size Hardcopy – Grading & Drainage Plan (2-24"x36" Sheets)
1	Hardcopy – Drainage and Transportation Information Sheet
1	Hardcopy – Email sent to Monica Ortiz with Digital File (PDF) of Grading & Drainage Plan
1	Fee Check (\$50.00 payable to City of Albuquerque)

Comments:

Hydrology Building Permit Submittal Package

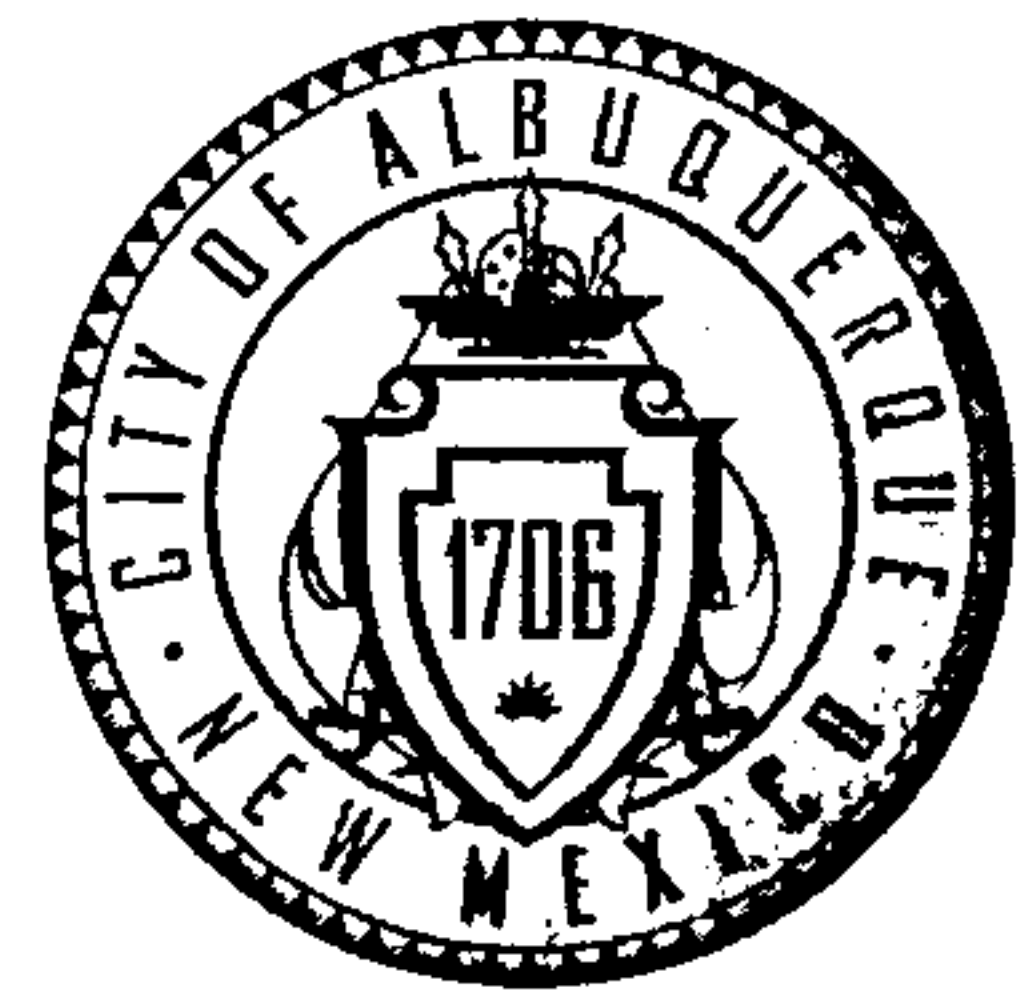
By: Jennifer Olson – 303.794.4727 ex. 207

Jay M. Newell, PE
Wayne T. Sterling, RLA, LEED AP

2009 W. Littleton Blvd. #300
Littleton, CO 80120

303.794.4727
www.SterlingDesignAssociates.com

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

October 19, 2015

Jay Newell, P.E.
Sterling Design Associates, LLC
2009 W. Littleton Blvd., #300
Littleton CO, 80120

**Re: Starbucks
700 Juan Tabo NE
Request for Certificate of Occupancy- Transportation Development
Administrative Amendment dated 1-7-15 (K22-D006B)
Certification dated 10-19-15**

Dear Mr. Newell,

Based upon the information provided in your submittal received 10-19-15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Starbucks - Juan Tabo & Copper Building Permit #: _____ City Drainage #: K22D006B

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Portion of Parcel 1-A, Tract B-B, Monarch Village

City Address: 700 Juan Tabo Blvd., NE, Albuquerque, NM 87123

Engineering Firm: Sterling Design Associates, LLC Contact: Jay Newell

Address: 2009 W. Littleton Blvd., #300, Littleton, CO 80120

Phone#: 303-794-4727 Ext. 203 Fax#: _____ E-mail: jay@sterlingdesignassociates.com

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: Freiheit & Ho Contact: Tom Spader

Address: 5209 Lake Washington Blvd. NE #200, Kirkland, WA 98033

Phone#: 310-394-8460 Fax#: _____ E-mail: tspader@fhoarch.com

Other Contact: Wayjohn Surveying Contact: Thomas Johnston

Address: 330 Louisiana Blvd. NE, Albuquerque, NM 87108

Phone#: 505-255-2052 Fax#: _____ E-mail: info@wayjohn.com

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ Resub TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☒ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL

☐ SITE PLAN FOR SUB'D APPROVAL

☐ SITE PLAN FOR BLDG. PERMIT APPROVAL

☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☐ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL

☐ GRADING/ PAD CERTIFICATION

☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: October 9, 2015

By: Jay M. Newell

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____



Sterling Design Associates, LLC

CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

October 19, 2015

Mr. Tom Spader
Freiheit & Ho Architects, Inc., P.S.
5209 Lake Washington Blvd. NE, Suite 200
Kirkland, WA 98033

**RE: Starbucks Coffee Company
700 Juan Tabo NE, Albuquerque, NM
Traffic Conformance Letter**

Mr. Spader:

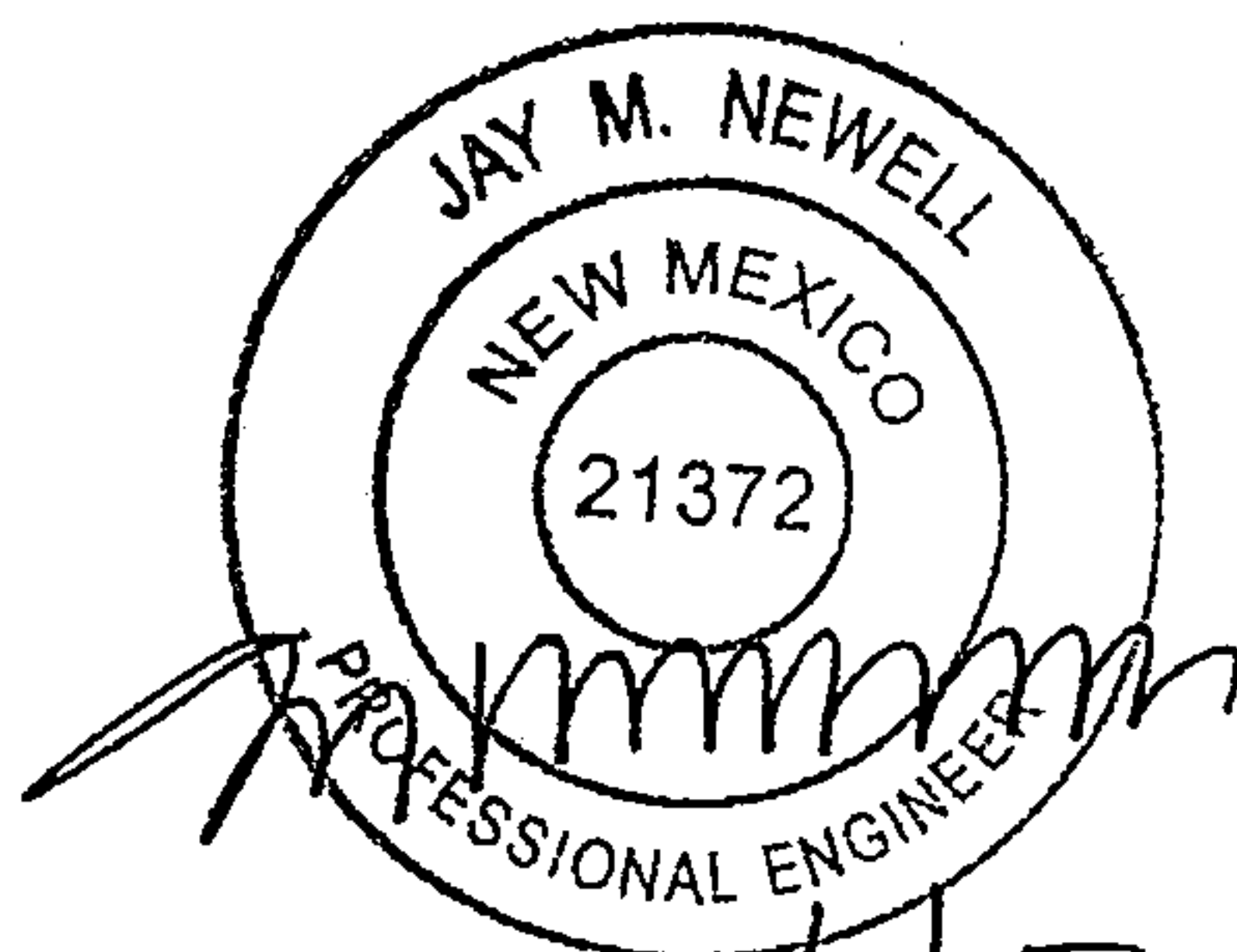
I have reviewed a copy of the as-built plan dated October 5, 2015, prepared and stamped by Thomas D. Johnston, New Mexico Registered Land Surveyor No. 14269, and provided the same as-built information on the red-lined as-built plan provided with this letter.

The review is intended only to determine if the improvements as described solely by the as-built plan are in substantial compliance with the design intent of the traffic aspects of the project as described on the approved plan(s) and in support of a request for a Certificate of Occupancy.

It should be noted that the ATM and its associated concrete pad were removed as indicated on the Administrative Amendment Site Plan approved by the city on January 7, 2015. In addition the proposed radial walk to have provided access to this ATM was not built, again as indicated on the Administrative Amendment Site Plan approved by the city on January 7, 2015. The originally designed pedestrian connection from the site to the public walk along Copper Ave. was constructed in lieu of the direct connection redlined in by the city on the aforementioned plan. A direct connection does not meet ADA slope criteria. The redlined plan which accompanies this letter indicates the pedestrian connection constructed in the field in general conformance with the originally approved plan.

Based on the review described herein, of the information listed herein, and of this information only; it appears the improvements associated with the traffic aspects of the project as described herein are in substantial compliance with the design intent of the approved plan(s).

Respectfully submitted,
Sterling Design Associates, LLC



Jay M. Newell 10/19/15
On behalf of Sterling Design Associates, LLC

**Jay M. Newell, PE
Wayne T. Sterling, RLA, LEED AP**

2009 W. Littleton Blvd., #300
Littleton, CO 80120

303.794.4727
www.SterlingDesignAssociates.com



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Juan Tabo & Copper

Verbal NO
10/13/15

Project Title: Starbucks - Juan Tabo & Copper Building Permit #: City Drainage #: K22D006B

DRB#: EPC#: Work Order#:

Legal Description: Portion of Parcel 1-A, Tract B-B, Monarch Village

City Address: 700 Juan Tabo Blvd., NE, Albuquerque, NM 87123

Engineering Firm: Sterling Design Associates, LLC Contact: Jay Newell

Address: 2009 W. Littleton Blvd., #300, Littleton, CO 80120

Phone#: 303-794-4727 Ext. 203 Fax#: E-mail: jay@sterlingdesignassociates.com

Owner: Contact:

Address:

Phone#: Fax#: E-mail:

Architect: Freiheit & Ho Contact: Tom Spader

Address: 5209 Lake Washington Blvd. NE #200, Kirkland, WA 98033

Phone#: 310-394-8460 Fax#: E-mail: tspader@fhoarch.com

Other Contact: Wayjohn Surveying Contact: Thomas Johnston

Address: 330 Louisiana Blvd. NE, Albuquerque, NM 87108

Phone#: 505-255-2052 Fax#: E-mail: info@wayjohn.com

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: October 9, 2015

By: Jay M. Newell

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



RECEIVED
10-12-15

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____



Sterling Design Associates, LLC

CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

October 9, 2015

Mr. Tom Spader
Freiheit & Ho Architects, Inc., P.S.
5209 Lake Washington Blvd. NE, Suite 200
Kirkland, WA 98033

**RE: Starbucks Coffee Company
700 Juan Tabo NE, Albuquerque, NM
Traffic Conformance Letter**

Mr. Spader:

I have reviewed a copy of the as-built plan dated October 5, 2015, prepared and stamped by Thomas D. Johnston, New Mexico Registered Land Surveyor No. 14269, and provided the same as-built information on the red-lined as-built plan provided with this letter.

The review is intended only to determine if the improvements as described solely by the as-built plan are in substantial compliance with the design intent of the traffic aspects of the project as described on the approved plan(s) and in support of a request for a Certificate of Occupancy.

Based on the review described herein, of the information listed herein, and of this information only; it appears the improvements associated with the traffic aspects of the project are in substantial compliance with the design intent of the approved plan(s).

Respectfully submitted,
Sterling Design Associates, LLC



Jay M. Newell
On behalf of Sterling Design Associates, LLC



**Jay M. Newell, PE
Wayne T. Sterling, RLA, LEED AP**

2009 W. Littleton Blvd., #300
Littleton, CO 80120

303.794.4727
www.SterlingDesignAssociates.com

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

September 24, 2015

Jay Newell, P.E.
Sterling Design Associates, LLC
2009 W.Littleton Blvd., #300
Littleton CO, 80120

**Re: Starbucks
700 Juan Tabo NE
30-Day Temporary Certificate of Occupancy- Transportation Development
Administrative Amendment dated 1-7-15 (K22-D006B)
Certification dated 9-23-15**

Dear Mr. Newell,

Based upon the information provided in your submittal received 9-23-15, Transportation Development has no objection to the issuance of a 30-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

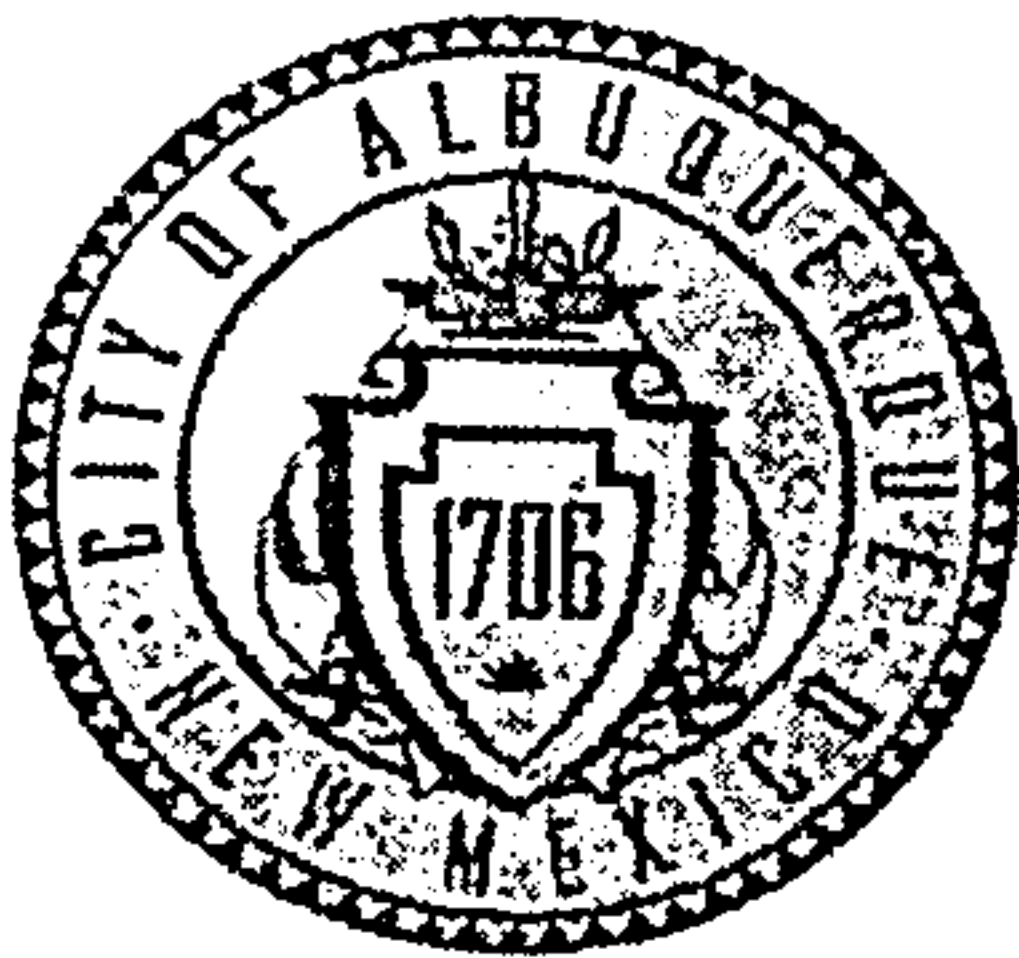
- Completion of ADA ramps and pathway from Right of Way on Copper Ave. to building entrance.

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to PLNDRS@cabq.gov prior to submittal. If you have any questions, please contact me at (505) 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: STARBUCKS - Building Permit #: _____ City Drainage #: K22D006B
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: _____
City Address: 700 JUAN TABO NE
Engineering Firm: STERLING DESIGN ASSOCIATES, LLC Contact: JAY NEWELL, P.E.
Address: 2009 W. LITTLETON BLVD. #300, LITTLETON, CO 80120
Phone#: 303-794-4727 #203 Fax#: N/A E-mail: JAY@STERLINGDESIGNASSOCIATES.CO
Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☒ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☒ PRELIMINARY PLAT APPROVAL
☒ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes _____ No _____ Copy Provided _____

DATE SUBMITTED: 11/19/14

By: STERLING DESIGN ASSOCIATES, LLC

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Rec 9/23/15
GS



Sterling Design Associates, llc

CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

September 23, 2015

Mr. Tom Spader
Freiheit & Ho Architects, Inc., P.S.
5209 Lake Washington Blvd. NE, Suite 200
Kirkland, WA 98033

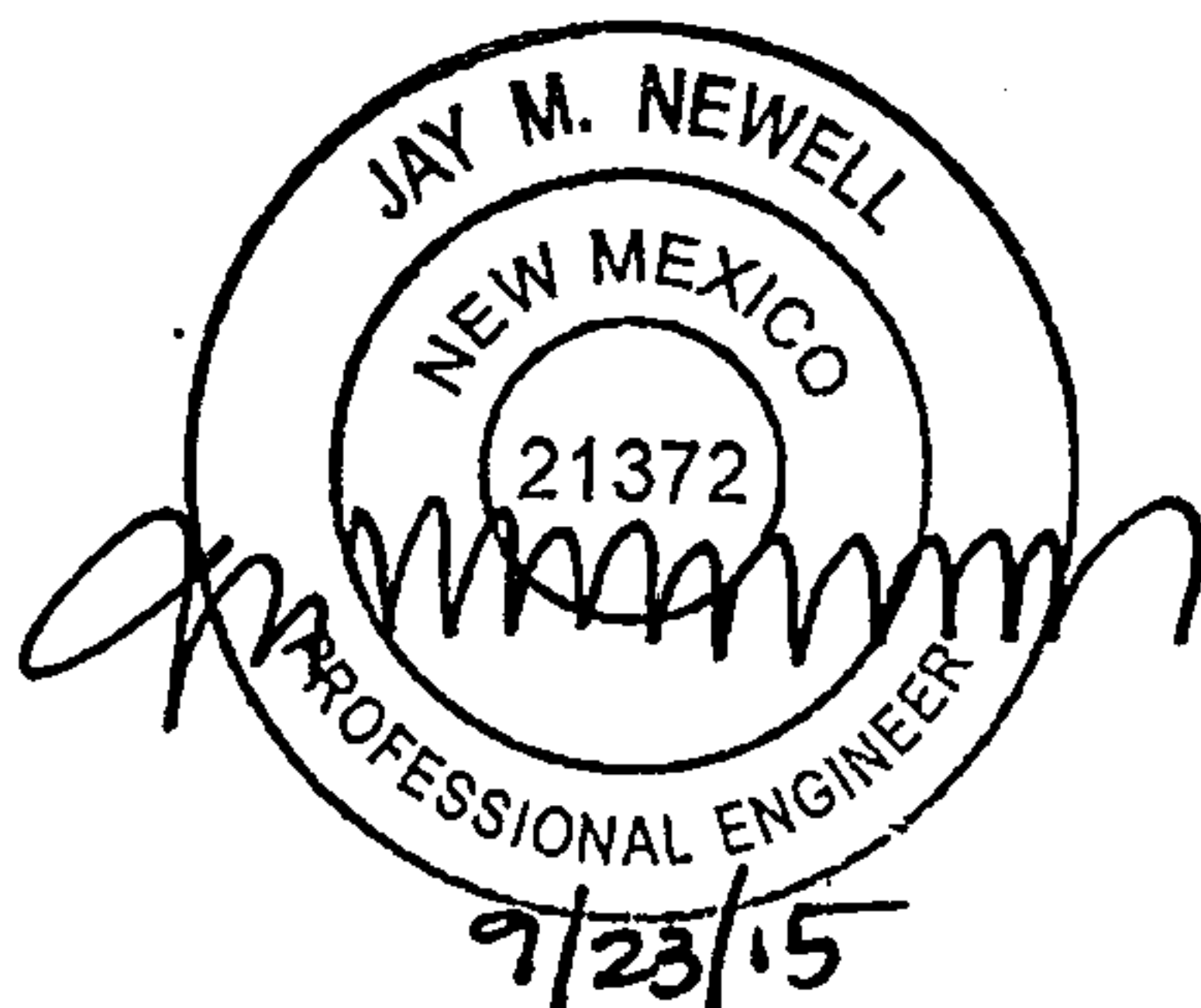
**RE: Starbucks Coffee Company
700 Juan Tabo NE, Albuquerque, NM
Traffic Conformance Letter**

Mr. Spader:

Thank you for providing photographs of the constructed site. Based on your correspondence it is my understanding that the photographs represent the site as it is constructed today, September 23, 2015.

From my review of the photos, it appears the majority of the site improvements; including sidewalks, curb and gutter, parking lot striping, site lighting, and site signage have been located in general conformance with the approved plan(s).

Respectfully submitted,
Sterling Design Associates, llc



Jay M. Newell
On behalf of Sterling Design Associates, LLC

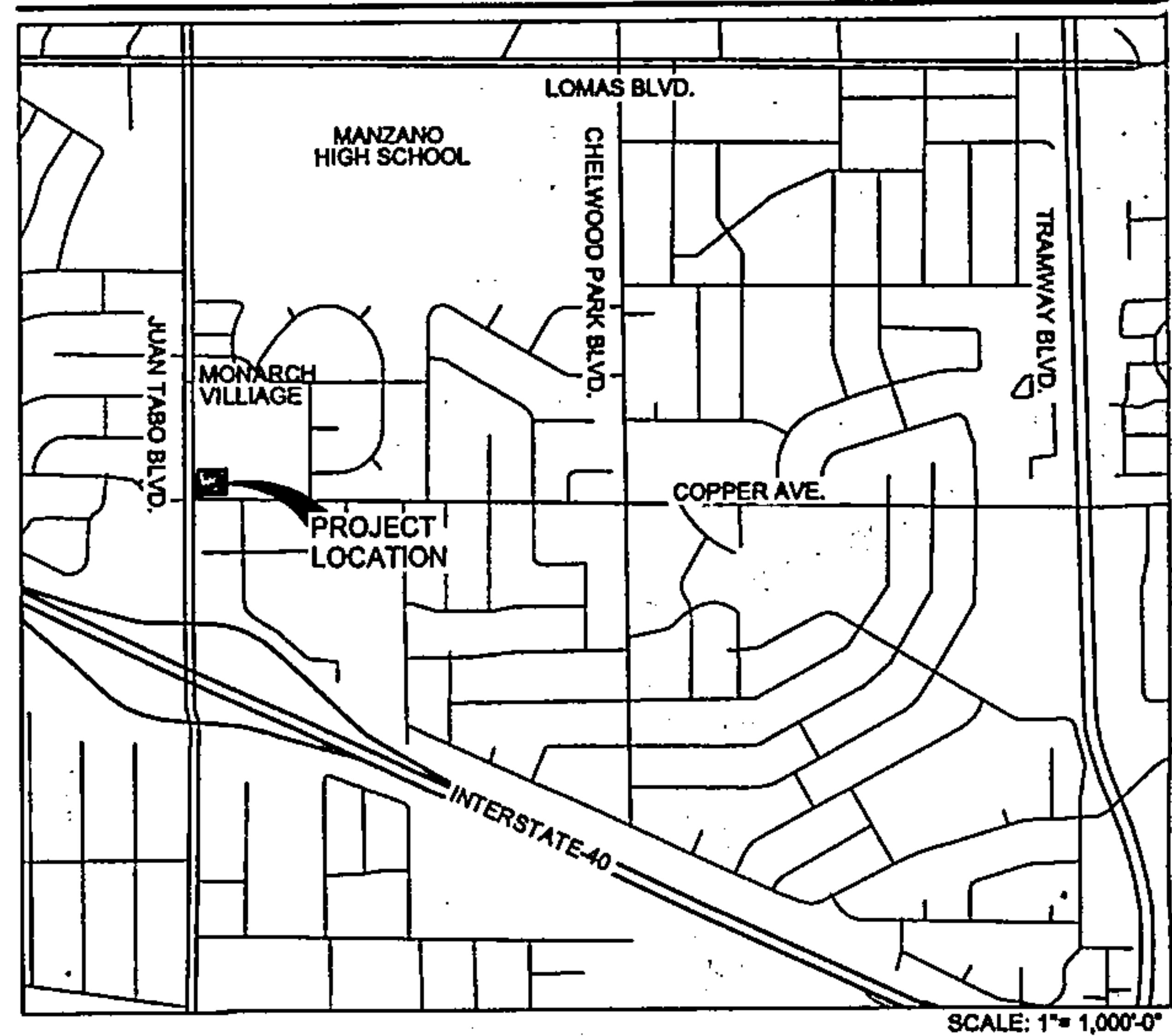
**Jay M. Newell, PE
Wayne T. Sterling, RLA, LEED AP**

2009 W. Littleton Blvd., #300
Littleton, CO 80120

303.794.4727
www.SterlingDesignAssociates.com

STARBUCKS COFFEE COMPANY
PORTION OF PARCEL 1-A, TRACT BB
MONARCH VILLAGE CONT 0.5785 ACRES
CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO, STATE OF NEW MEXICO
SITE DEVELOPMENT PLAN

VICINITY MAP



SHEET INDEX

- 1 OF 7 SITE PLAN
- 2 OF 7 LANDSCAPE PLAN
- 3 OF 7 PRELIMINARY GRADING PLAN
- 4 OF 7 UTILITY PLAN
- 5 OF 7 EXTERIOR ELEVATIONS
- 6 OF 7 SITE SIGNAGE
- 7 OF 7 AMENDED SITE DEVELOPMENT PLAN

PARKING CALCULATIONS

OVERALL TOTAL REQUIRED (1 SPACE/200 SQ FT + 1 SPACE/4 PATIO SEATS)	11 + 3
PROVIDED	29
HANDICAPPED SPACES REQUIRED (INCLUDED IN REQUIRED TOTAL)	2
PROVIDED	2
MOTORCYCLE SPACES REQUIRED (IN ADDITION TO REQUIRED TOTAL)	2
PROVIDED	2
BICYCLE RACKS/SPACES REQUIRED	1/2
PROVIDED	2/4

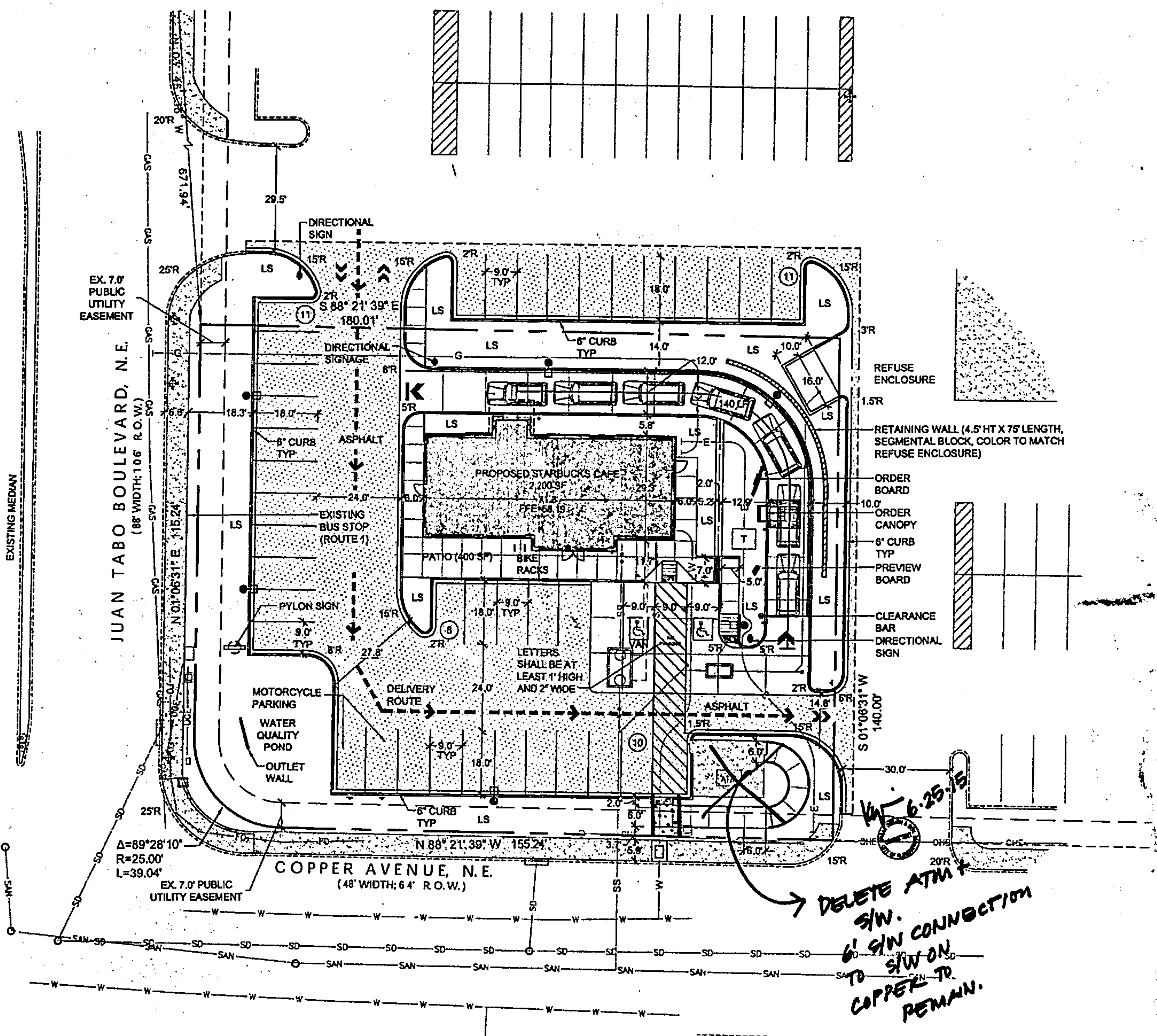
LEGAL DESCRIPTION

A PORTION OF PARCEL 1-A, TRACT BB, MONARCH VILLAGE
CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO, STATE OF NEW MEXICO

CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER (1-800-245-4545) AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.



LEGEND

- PROPERTY LINE
- EASEMENT LINE
- EXIST. CURB & GUTTER
- PROP. CURB & GUTTER
- EXIST. SIDEWALK
- PROP. SIDEWALK
- EXIST. LIGHT POLE
- PROP. LIGHT POLE (20' HT; 325 MH FIXTURE)
- EXIST. SIGN
- PROP. SIGN
- PROP. BOLLARD
- LANDSCAPE AREA
- EXIST. OVERHEAD POWER
- EXIST. WATERLINE
- EXIST. SANITARY SEWER
- EXIST. STORM SEWER
- EXIST. GAS LINE
- EXIST. FIBER OPTIC LINE
- EXIST. UNDERGROUND POWER
- EXIST. WATER VALVE
- EXIST. POWER POLE
- EXIST. ELECTRIC METER
- EXIST. TRAFFIC SIGNAL BOX
- EXIST. ELECTRIC VAULT
- EXIST. TRAFFIC SIGNAL POLE
- EXIST. MANHOLE
- EXIST. INLET
- PROP. GAS
- PROP. ELECTRIC
- PROP. SANITARY SEWER
- PROP. WATER
- PROP. SAWCUT LINE
- PROP. DELIVERY ROUTE
- PROP. TRANSFORMER

Sterling Design Associates, Inc.
CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

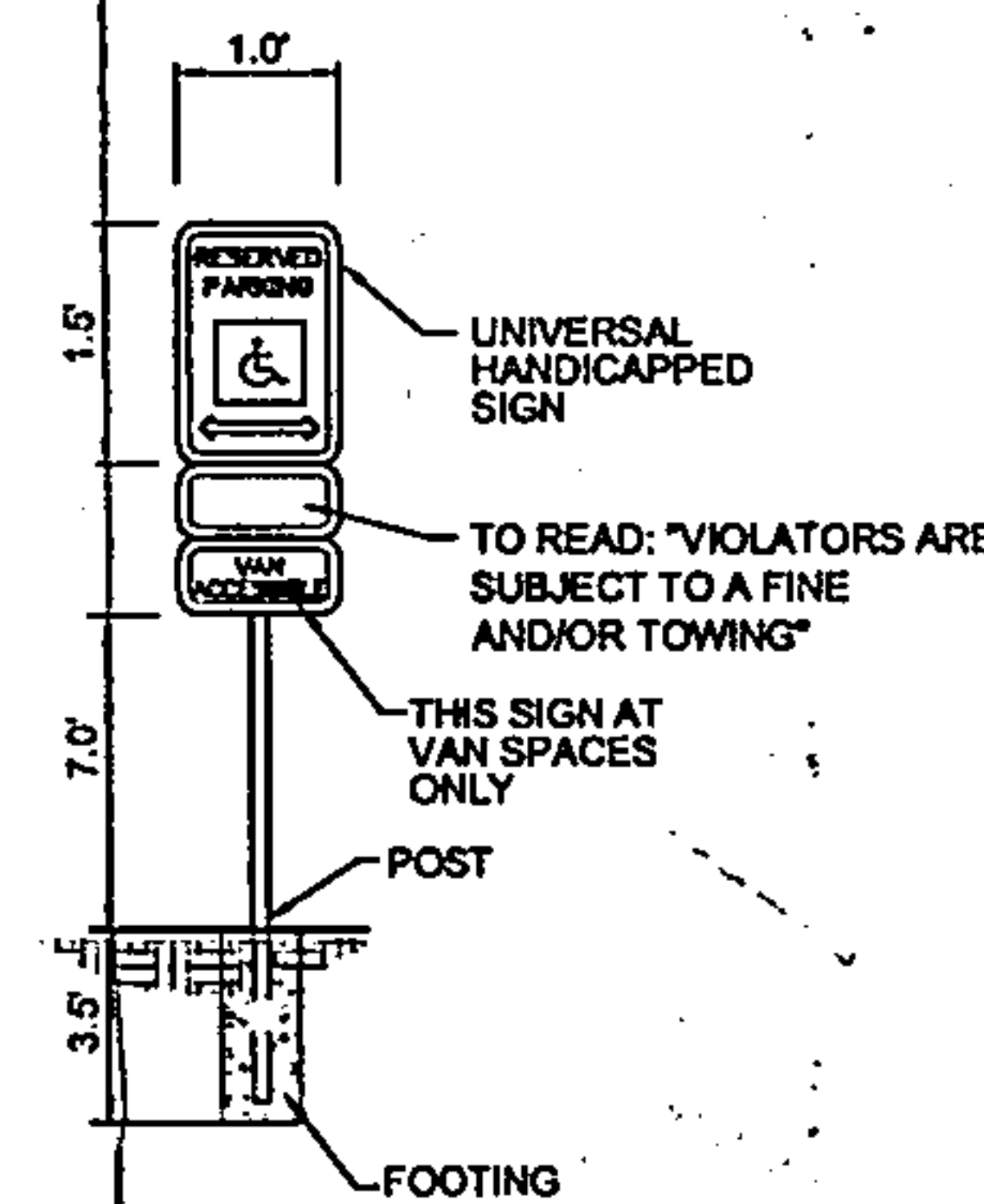
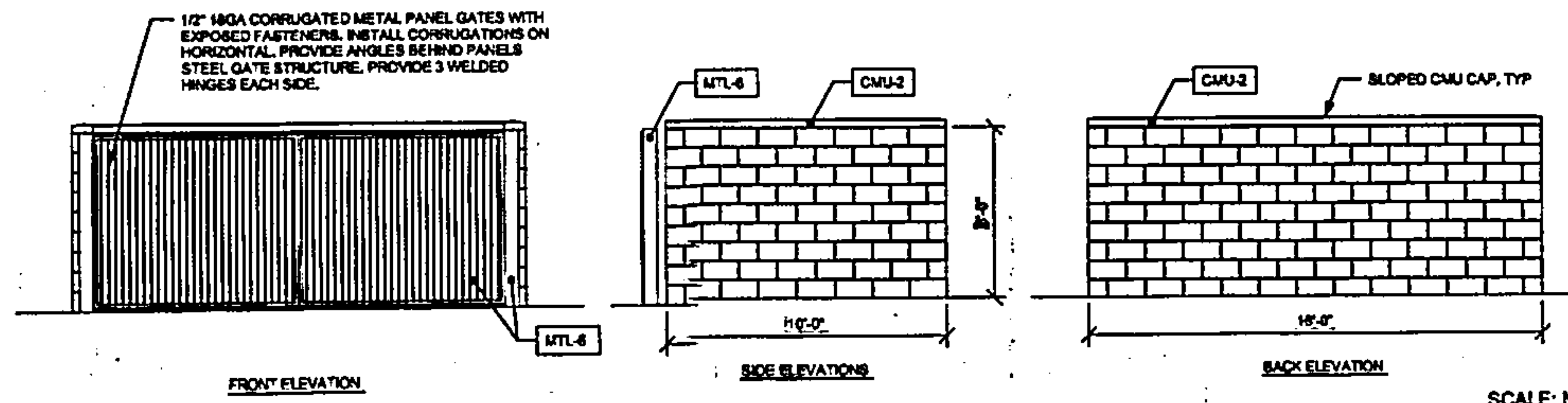
2000 W. Litchford Blvd. #300
Littleton, CO 80120
303.794.4727 ph
www.SterlingDesignAssociates.com

STERLING DESIGN ASSOCIATES, LLC

REVISIONS & REVISIONS		
NO. 1	DATE 11/19/14	BY: AD
DESCRIPTION: CITY COMMENTS		
NO. 2	DATE	BY:
DESCRIPTION:		
NO. 3	DATE	BY:
DESCRIPTION:		
NO. 4	DATE	BY:
DESCRIPTION:		
NO. 5	DATE	BY:
DESCRIPTION:		
NO. 6	DATE	BY:
DESCRIPTION:		
DATE:	SCALE: 1" = 20'-0"	
PROJECT MANAGER:	PROJECT NO.:	
JLO		
DRAWN BY:	DRAWING FILE:	
JLO		

ADMINISTRATIVE AMENDMENT
FILE # 10102 PROJECT # 1003711
APPROVAL OF SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT
FOR STARBUCKS @ 700 JUAN TABO BLVD
APPROVED BY DATE

REFUSE ENCLOSURE



HANDCAP PARKING SIGN

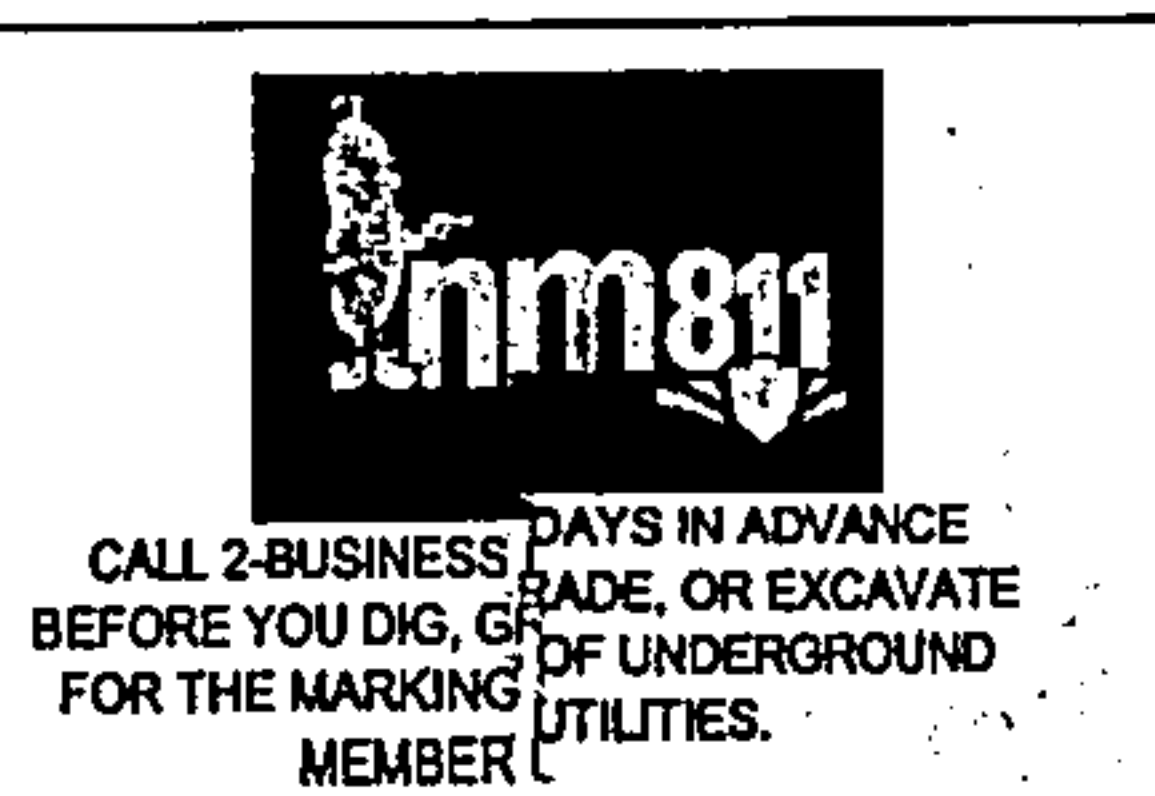
NOT TO SCALE

PROJECT:
63433-001
STARBUCKS DRIVE-THRU
700 JUAN TABO NE
ALBUQUERQUE, NM 87123

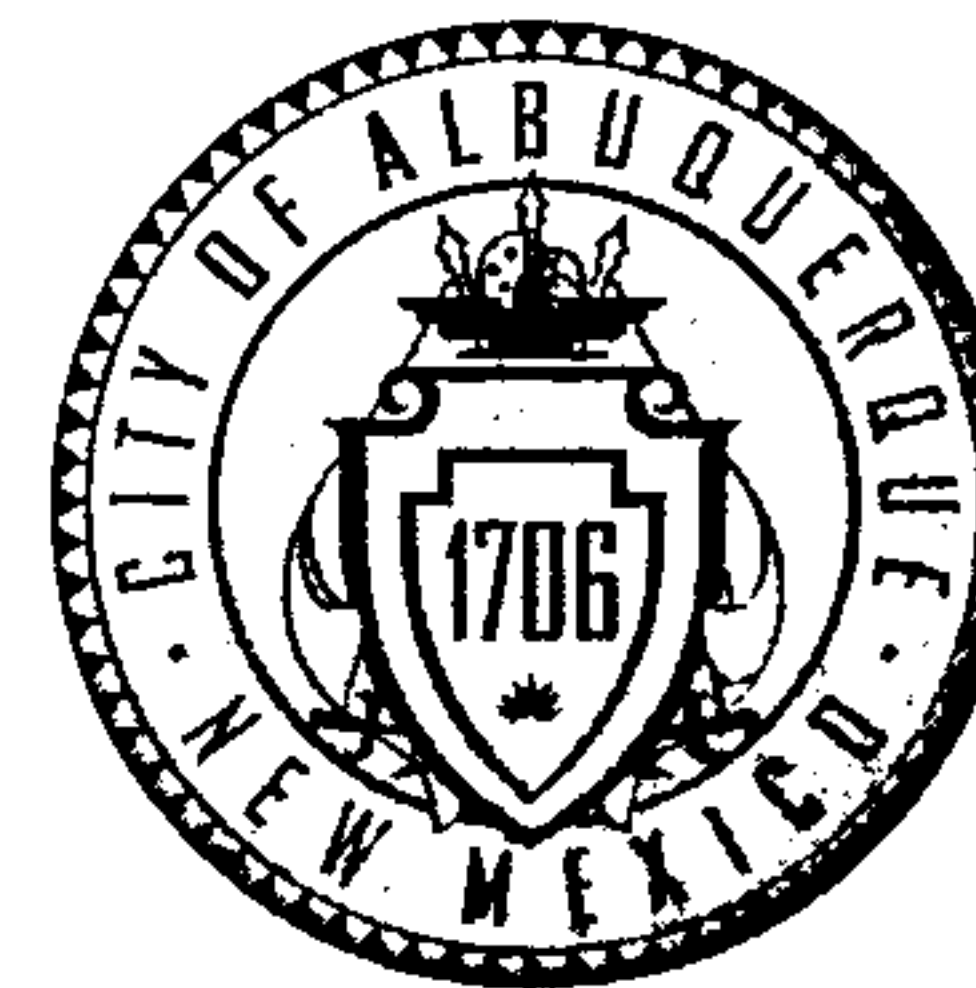
DEVELOPER:
STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WA 98134
(206) 318-1575

SHEET TITLE
SITE PLAN

SHEET NUMBER
1 OF 7



CITY OF ALBUQUERQUE



September 24, 2015

Tom Spader
Freiheit & Ho Architects, Inc., P. S.
5209 Lake Washington Blvd. NE
Suite 200
Kirtland, WA 98033

**Re: Starbuck's
700 Juan Tabo NE
Request Temporary C.O. - Accepted
Engineer's Stamp dated: 3-12-15 (K22D006B)
Certification dated: 8-23-15**

Dear Mr. Spader,

Based on the Certification received 8/23/2015, the site is acceptable for temporary release of Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3695 or Totten Elliott at 924-3982.

Albuquerque

New Mexico 87103

www.cabq.gov

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Hydrology
Planning Department

C: TE/RH
email



Sterling Design Associates, LLC

CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

September 23, 2015

Mr. Tom Spader
Freiheit & Ho Architects, Inc., P.S.
5209 Lake Washington Blvd. NE, Suite 200
Kirkland, WA 98033

**RE: Starbucks Coffee Company
700 Juan Tabo NE, Albuquerque, NM
Drainage Conformance Letter**

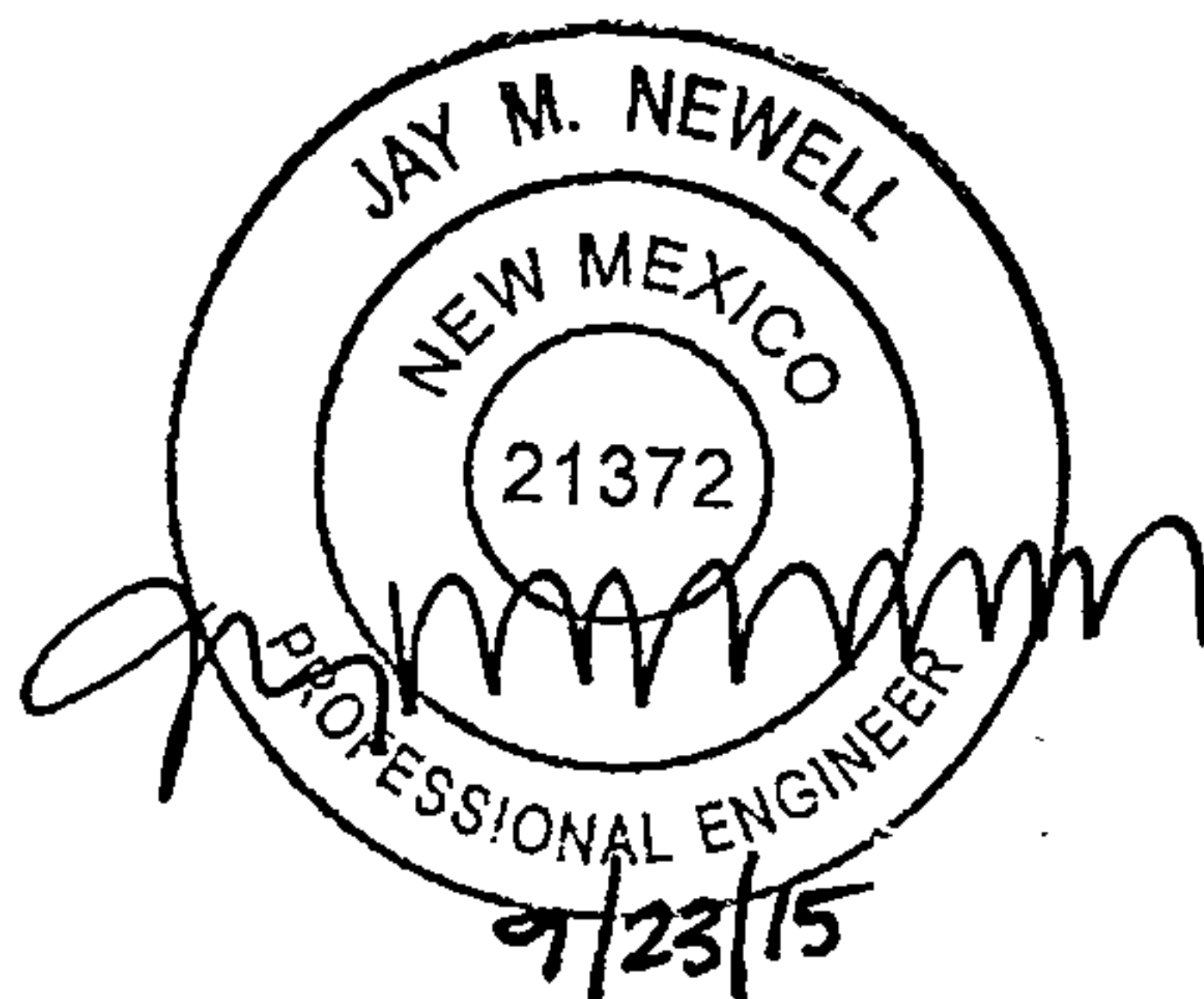
Mr. Spader:

Thank you for providing photographs of the constructed site. Based on your correspondence it is my understanding that the photographs represent the site as it is constructed today, September 23, 2015.

From my review of the photos, it appears the 2-foot wide concrete valley pan to be located between the proposed building and drive-through lane entry has been constructed. The photos also indicate construction of the sidewalk culvert associated with this pan. In addition, the photos indicate one of the four curb openings (at the far southwest corner of the site) to have been constructed.

Based on this review of the photographs provided, and of this information only; it appears the improvements listed herein have been located in general conformance with the approved plan(s).

Respectfully submitted,
Sterling Design Associates, LLC



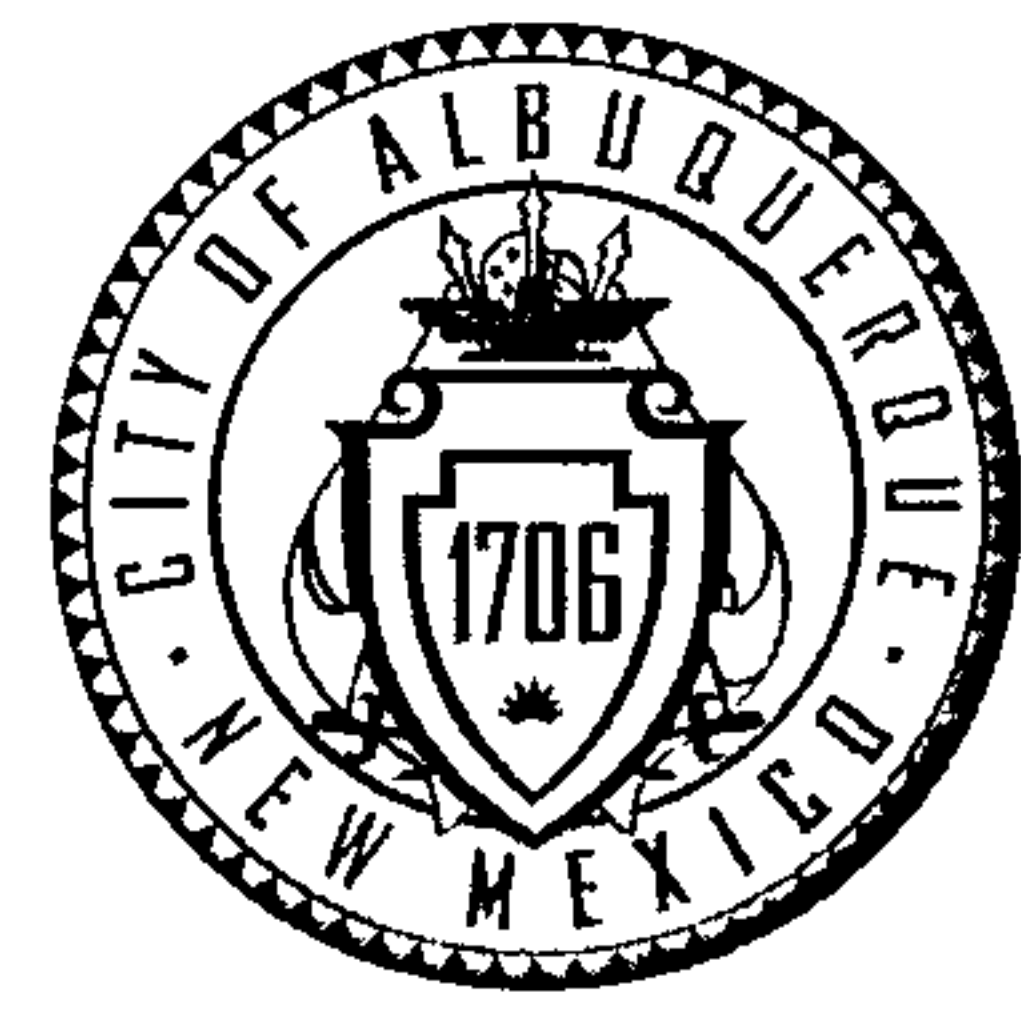
Jay M. Newell
On behalf of Sterling Design Associates, LLC

**Jay M. Newell, PE
Wayne T. Sterling, RLA, LEED AP**

2009 W. Littleton Blvd., #300
Littleton, CO 80120

303.794.4727
www.SterlingDesignAssociates.com

CITY OF ALBUQUERQUE



December 17, 2014

Jay Newell, P.E.
Sterling Design Associates, LLC
2009 W. Littleton Blvd. #300
Littleton, CO 80120

**Re: Starbucks, 700 Juan Tabo NE
Preliminary Grading Plan
Engineer's Stamp Date –no stamp- (K22/D006B)**

Dear Mr. Newell,

Based upon the information provided in your submittal received 11-19-14, the above referenced plan is approved Administrative Amendment to the Site Plan and for Platting action at the DRB. The following comments should be addressed when submitting the grading and drainage plan for Building Permit approval.

- Specify the width of the curb openings. A detail may be helpful if the sides are tapered.
- The refuse enclosure is to drain through a sand filter then to the sanitary sewer.
- It appears the site does not fit on the proposed lot. If construction is to occur on the adjoining lot, written approval from the adjoining lot property owner is required or the proposed lot could be bigger.
- Please include the word "drainage" in the Sheet Title (e.g. Grading and Drainage Plan).

If you have any questions, you can contact me at 924-3986.

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Hydrology
Planning Dept.

C: jay@sterlingdesignassociates.com
file



Sterling Design Associates, LLC

CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

Memo

Date: 11.19.14
To: Curtis Cherne, P.E., Hydrology
From: Jay Newell, P.E.
RE: Starbucks – Juan Tabo & Copper; Project #1003777
Hydrology Formal Comment Responses

Please find our formal responses below:

1. This site was brought to my attention by DMD as they were planning their roadway and drainage improvements for El Pueblo Road. During their drainage research, it was discovered that the drainage plan for this facility was never certified by an engineer to be in compliance with their drainage plan. As it is a large site, the impacts downstream can be significant.

It is Hydrology's understanding that the City has been in contact with the property owner concerning the drainage and that the property owner has engaged an engineer to evaluate the drainage at the site.

Hydrology will approve the Administrative Amendment. A grading and drainage plan will be required for Building Permit approval that should address items to bring the site into compliance with its drainage plan "To maintain peak outflow from the entire site at or below historical conditions."

As discussed by phone on 11.17.14 with Mr. Cherne, these comments are not applicable to the proposed Starbucks project (#1003777). They are listed as pertaining to a different project (#1003477).

Jay M. Newell, PE
Wayne T. Sterling, RLA, LEED AP

2009 W. Littleton Blvd. #300
Littleton, CO 80120

303.794.4727 ph
www.SterlingDesignAssociates.com



Sterling Design Associates, LLC

CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

2. The site plan shows proposed property lines. Since a platting action will be required, this site plan should be processed concurrently with the platting action at DRB.

The platting action, site plan approval, and hydrology approval is being coordinated through Kym Dicome in the city Planning Department. We are submitting this revised Preliminary Grading Plan for approval as requested by Ms. Dicome prior to DRB.

3. In general, sites in Albuquerque are to accept offsite flows and all plans must state how the site will manage the first flush. Submit a conceptual grading plan to Hydrology that includes a narrative that describes the project as well as addresses the comments provided above for DRB approval.

The revised grading plan included with this re-submittal has a revised narrative (see the upper left corner of the plan) describing the project and drainage design.

As discussed by phone on 11.17.14 with Mr. Cherne, minimal off-site flows impact the site. The majority of off-site flows are conveyed in the proposed curb and gutter at the project site's north and east sides through existing drive entrances to the overall shopping center; and are discharged directly to the surrounding public street drainage system in their historic manner. The refuse enclosure is the only on-site area tributary to the off-site shopping center.

First flush calculations (included on the plan) indicate a required volume of 497 cf (based on 17,543 sf of impervious area on the proposed lot). The grading plan indicates a pond of volume 501 cf in the landscape area at the southwest corner of the site. Two curb openings convey a portion of the proposed lot's runoff to the pond. A third curb opening at the northwest corner of the site conveys a portion of the proposed lot's runoff across the adjacent landscaped island and to the existing public street system in Juan Tabo Boulevard, N.E. As discussed by phone, providing a first flush volume in this area is constrained by the proposed slopes and minimal available area. As an alternative, providing volume in the landscaped area immediately north of the proposed drive-through lane was explored. The adjacent parking to the north slopes significantly from east to west, resulting in a low point and associated curb opening entrance to the alternative pond below the attainable ponding elevation. In addition, even with 3:1 slopes, the narrow aspect of the landscaped area does not afford significant volume. Subsequently, parking stalls at the proposed site's southwest corner were removed to make room for the entire volume in this location.

**Jay M. Newell, PE
Wayne T. Sterling, RLA, LEED AP**

2009 W. Littleton Blvd. #300
Littleton, CO 80120

303.794.4727 ph
www.SterlingDesignAssociates.com



Sterling Design Associates, llc

CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

The first flush pond will discharge across the adjacent landscaped area and to the existing public street system in Juan Tabo Boulevard, N.E. and Copper Avenue, N.E. Major storm runoff will follow similar patterns to those described for the first flush.

In addition to provision of the first flush volume, it should be noted that the site's existing impervious area (as parking for the overall shopping center) is 20,942 sf; and that the proposed site reduces this impervious area to 17,543 sf representing a 16-percent reduction in impervious area. Parking islands and landscape areas immediately adjacent to the proposed lot reduce the existing overall shopping center impervious area by an additional 864 sf.

If you have any questions or comments, please feel free to contact me via email at jennifer@sterlingdesignassociates.com or via phone at 303.794.4727 ex. 207. Thank you!

Jay M. Newell, P.E.

Sterling Design Associates, LLC

Civil Engineers – Landscape Architects

Jay M. Newell, PE
Wayne T. Sterling, RLA, LEED AP

2009 W. Littleton Blvd. #300
Littleton, CO 80120

303.794.4727 ph
www.SterlingDesignAssociates.com



Sterling Design Associates, LLC

CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

Transmittal

Date: 12/3/2014 Project: Starbucks – 700 Juan Tabo NE

To: Planning Department - Hydrology

600 2nd NW

Albuquerque, NM 87103

Attn: Curtis Cherne

Cc:

Via:

Overnight

Delivery

Mail

x

For:

Your Use

Comment

Approval

x

Copies:	Description:
2	Information Sheet
2	Grading and Drainage Plan
2	Comment Responses

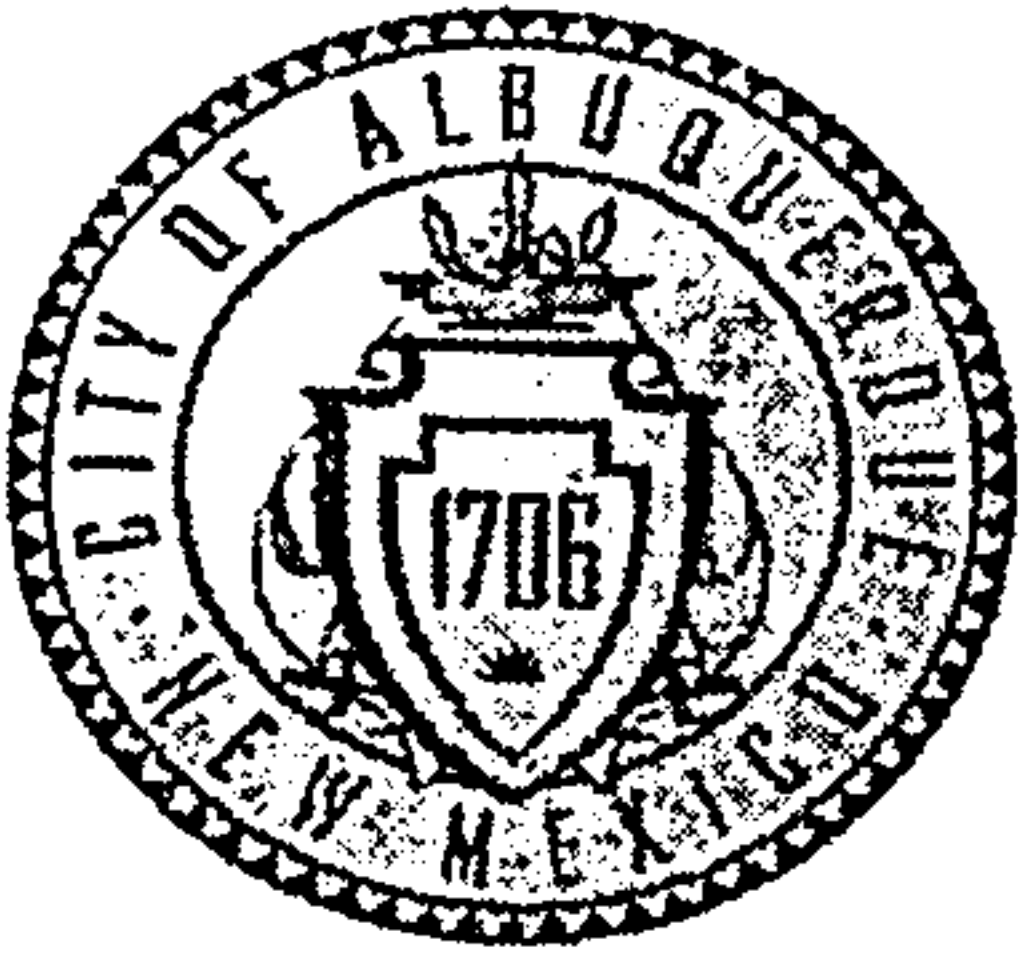
Comments:

By: Jay M. Newell, PE

Jay M. Newell, PE
Wayne T. Sterling, RLA, LEED AP

2009 W. Littleton Blvd. #300
Littleton, CO 80120

303.794.4727
www.SterlingDesignAssociates.com



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: STARBUCKS - Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: 700 JUAN TABO NE

Engineering Firm: STERLING DESIGN ASSOCIATES, LLC Contact: JAY NEWELL, P.E.

Address: 2009 W. LITTLETON BLVD. #300, LITTLETON, CO 80120

Phone#: 303-794-4727 #203 Fax#: N/A E-mail: JAY@STERLINGDESIGNASSOCIATES.CO

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☒ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☒ PRELIMINARY PLAT APPROVAL
- ☒ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes _____ No _____ Copy Provided _____

DATE SUBMITTED: 11/19/14 By: STERLING DESIGN ASSOCIATES, LLC

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



Sterling Design Associates, LLC

CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

Memo

Date: 11.19.14
To: Curtis Cherne, P.E., Hydrology
From: Jay Newell, P.E.
RE: Starbucks – Juan Tabo & Copper; Project #1003777
Hydrology Formal Comment Responses

Please find our formal responses below:

1. This site was brought to my attention by DMD as they were planning their roadway and drainage improvements for El Pueblo Road. During their drainage research, it was discovered that the drainage plan for this facility was never certified by an engineer to be in compliance with their drainage plan. As it is a large site, the impacts downstream can be significant.

It is Hydrology's understanding that the City has been in contact with the property owner concerning the drainage and that the property owner has engaged an engineer to evaluate the drainage at the site.

Hydrology will approve the Administrative Amendment. A grading and drainage plan will be required for Building Permit approval that should address items to bring the site into compliance with its drainage plan "To maintain peak outflow from the entire site at or below historical conditions."

As discussed by phone on 11.17.14 with Mr. Cherne, these comments are not applicable to the proposed Starbucks project (#1003777). They are listed as pertaining to a different project (#1003477).

Jay M. Newell, PE
Wayne T. Sterling, RLA, LEED AP

2009 W. Littleton Blvd. #300
Littleton, CO 80120

303.794.4727 ph
www.SterlingDesignAssociates.com



Sterling Design Associates, LLC

CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

2. The site plan shows proposed property lines. Since a platting action will be required, this site plan should be processed concurrently with the platting action at DRB.

The platting action, site plan approval, and hydrology approval is being coordinated through Kym Dicome in the city Planning Department. We are submitting this revised Preliminary Grading Plan for approval as requested by Ms. Dicome prior to DRB.

3. In general, sites in Albuquerque are to accept offsite flows and all plans must state how the site will manage the first flush. Submit a conceptual grading plan to Hydrology that includes a narrative that describes the project as well as addresses the comments provided above for DRB approval.

The revised grading plan included with this re-submittal has a revised narrative (see the upper left corner of the plan) describing the project and drainage design.

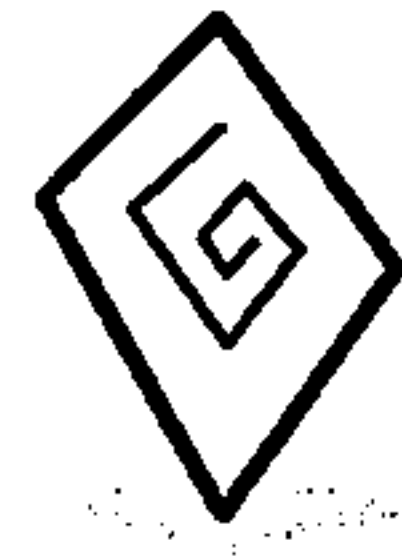
As discussed by phone on 11.17.14 with Mr. Cherne, minimal off-site flows impact the site. The majority of off-site flows are conveyed in the proposed curb and gutter at the project site's north and east sides through existing drive entrances to the overall shopping center; and are discharged directly to the surrounding public street drainage system in their historic manner. The refuse enclosure is the only on-site area tributary to the off-site shopping center.

First flush calculations (included on the plan) indicate a required volume of 497 cf (based on 17,543 sf of impervious area on the proposed lot). The grading plan indicates a pond of volume 501 cf in the landscape area at the southwest corner of the site. Two curb openings convey a portion of the proposed lot's runoff to the pond. A third curb opening at the northwest corner of the site conveys a portion of the proposed lot's runoff across the adjacent landscaped island and to the existing public street system in Juan Tabo Boulevard, N.E. As discussed by phone, providing a first flush volume in this area is constrained by the proposed slopes and minimal available area. As an alternative, providing volume in the landscaped area immediately north of the proposed drive-through lane was explored. The adjacent parking to the north slopes significantly from east to west, resulting in a low point and associated curb opening entrance to the alternative pond below the attainable ponding elevation. In addition, even with 3:1 slopes, the narrow aspect of the landscaped area does not afford significant volume. Subsequently, parking stalls at the proposed site's southwest corner were removed to make room for the entire volume in this location.

**Jay M. Newell, PE
Wayne T. Sterling, RLA, LEED AP**

2009 W. Littleton Blvd. #300
Littleton, CO 80120

303.794.4727 ph
www.SterlingDesignAssociates.com



Sterling Design Associates, llc

CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

The first flush pond will discharge across the adjacent landscaped area and to the existing public street system in Juan Tabo Boulevard, N.E. and Copper Avenue, N.E. Major storm runoff will follow similar patterns to those described for the first flush.

In addition to provision of the first flush volume, it should be noted that the site's existing impervious area (as parking for the overall shopping center) is 20,942 sf; and that the proposed site reduces this impervious area to 17,543 sf representing a 16-percent reduction in impervious area. Parking islands and landscape areas immediately adjacent to the proposed lot reduce the existing overall shopping center impervious area by an additional 864 sf.

If you have any questions or comments, please feel free to contact me via email at jennifer@sterlingdesignassociates.com or via phone at 303.794.4727 ex. 207. Thank you!

Jay M. Newell, P.E.

Sterling Design Associates, LLC

Civil Engineers – Landscape Architects

Jay M. Newell, PE
Wayne T. Sterling, RLA, LEED AP

2009 W. Littleton Blvd. #300
Littleton, CO 80120

303.794.4727 ph
www.SterlingDesignAssociates.com



Sterling Design Associates, LLC

CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

Transmittal

Date: 12/3/2014 Project: Starbucks – 700 Juan Tabo NE

To: Planning Department - Hydrology - (Curtis)

600 2nd NW

Albuquerque, NM 87103

Attn: Curtis Cherne

Cc: _____

Via:

Overnight

Delivery

Mail

x

For:

Your Use

Comment

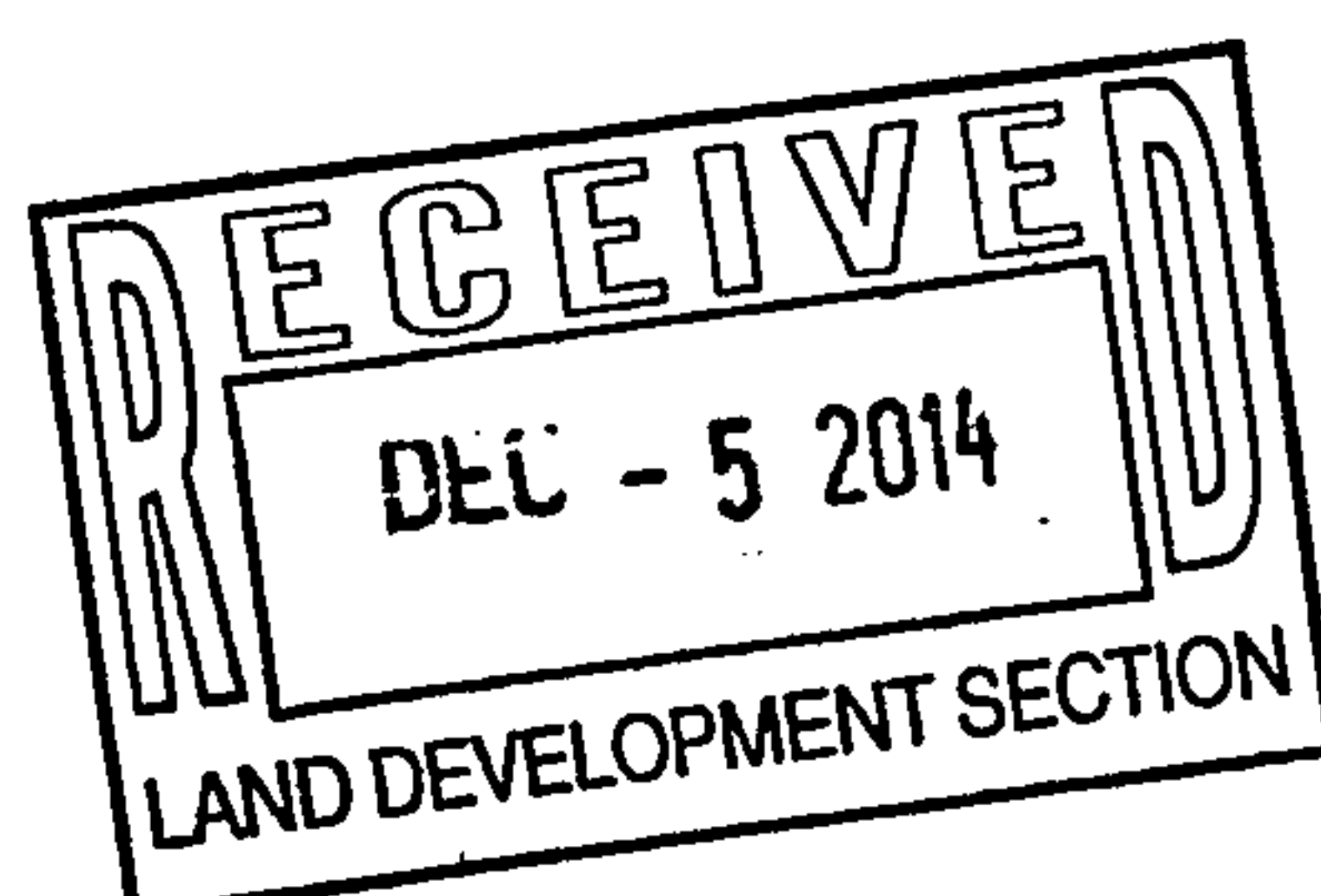
Approval

x

Copies:	Description:
2	Information Sheet
2	Grading and Drainage Plan
2	Comment Responses

Comments:

By: Jay M. Newell, PE



Jay M. Newell, PE
Wayne T. Sterling, RLA, LEED AP

2009 W. Littleton Blvd. #300
Littleton, CO 80120

303.794.4727
www.SterlingDesignAssociates.com