

NOTE: PRIOR TO BEGINNING ANY SITE WORK & ORDERING OF MATERIALS, CONTRACTOR SHALL FIELD VERIFY ALL UTILITY & DRAINAGE CONNECTIONS TO EXISTING SYSTEMS BY POT HOLING AND SHALL NOTIFY ENGINEER OF NEEDED CHANGES: FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR BEING RESPONSIBLE FOR ALL REVISION COSTS AND DELAYS.

EROSION CONTROL & MAINTENANCE PLAN NOTES:

- 1. RETAIN FLOATABLE WIND BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES. CHECK ADJACENT AREAS DAILY AND PICK UP CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED OFF SITE.
- 2. PERMANENTLY STABILIZE ALL SURFACE AREA WITHIN AND ADJACENT TO THIS SITE THAT IS DISTURBED BY VEHICLES, GRADING AND OTHER CONSTRUCTION FOR THE PROPOSED FACILITY. STABILIZATION IS OBTAINED WHEN THE DISTURBED SURFACE IS COVERED WITH STRUCTURES, PAVING AND OR PERENNIAL VEGETATION HAVING A UNIFORM COVERAGE DENSITY OF AT LEAST 70%. STABILIZATION OF ALL DISTURBED AREA IS REQUIRED BEFORE TERMINATING MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES.
- 3. CONTRACTORS SHALL INSPECT POLLUTION CONTROL MEASURES AT LEAST ONCE EVERY 14 DAYS AND WITHIN 24 HOURS AFTER A STORM EVENT OF 12 INCH OR GREATER. DAMAGED MEASURES THAT PROVE TO BE INEFFECTIVE SHALL BE REPLACED WITH MORE EFFECTIVE MEASURES OR ADDITIONAL MEASURES WITHIN SEVEN DAYS. REPEATED FAILURE OF A CONTROL MEASURE REQUIRES INSTALLATION OF A MORE SUITABLE DEVICE TO PREVENT DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.
- 4. INSTALLATION OF ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE CITY OR STATE. CONTRACTOR TO VERIFY REQUIREMENTS PRIOR TO BEGINNING ANY WORK ON PROJECT SITE.
- 5. CARE SHALL BE TAKEN TO MINIMIZE THE ENCROACHMENT OF SEDIMENT INTO ALL STORM DRAIN APPURTENANCES, PUBLIC STREETS, AND ONTO PRIVATE PROPERTY UNTIL IMPERVIOUS MATERIAL (ROAD/PARKING AREA SURFACE) IS APPLIED OR UNTIL PROPOSED LANDSCAPE HAS BEEN ESTABLISHED.
- 6. REFER TO 10/03 FOR SILT FENCE CONSTRUCTION.
- 7. ALL GRASS SLOPES WHICH EXCEED 3:1 (H/V) SHALL UTILIZE CONTOUR CONSTRUCTION PRODUCTS PERMANENT TURF REINFORCEMENT MAT 450 OR APPROVED EQUAL. MATS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND STANDARDS. CONTRACTOR SHALL COORDINATE INSTALLATION INSPECTION WITH MANUFACTURER.

CONSTRUCTION EGRESS NOTES:

- 1. CONSTRUCTION EGRESS SHALL BE 25" MINIMUM WIDTH AND 3/8" MIN THICKNESS OF STONE (1.5" 3/5") COARSE AGGREGATE WITH GEOTEXTILE UNDERLAYER. REFER TO THE CITY OR STATE FOR ANY ADDITIONAL REQUIREMENTS.
- 2. THE EXIST SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1.5-3.5 INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURE USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OR SITE ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- 3. WHEELS MUST BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN LOCATED PER THE CITY OR STATE REQUIREMENTS.

RIP-RAP NOTE:

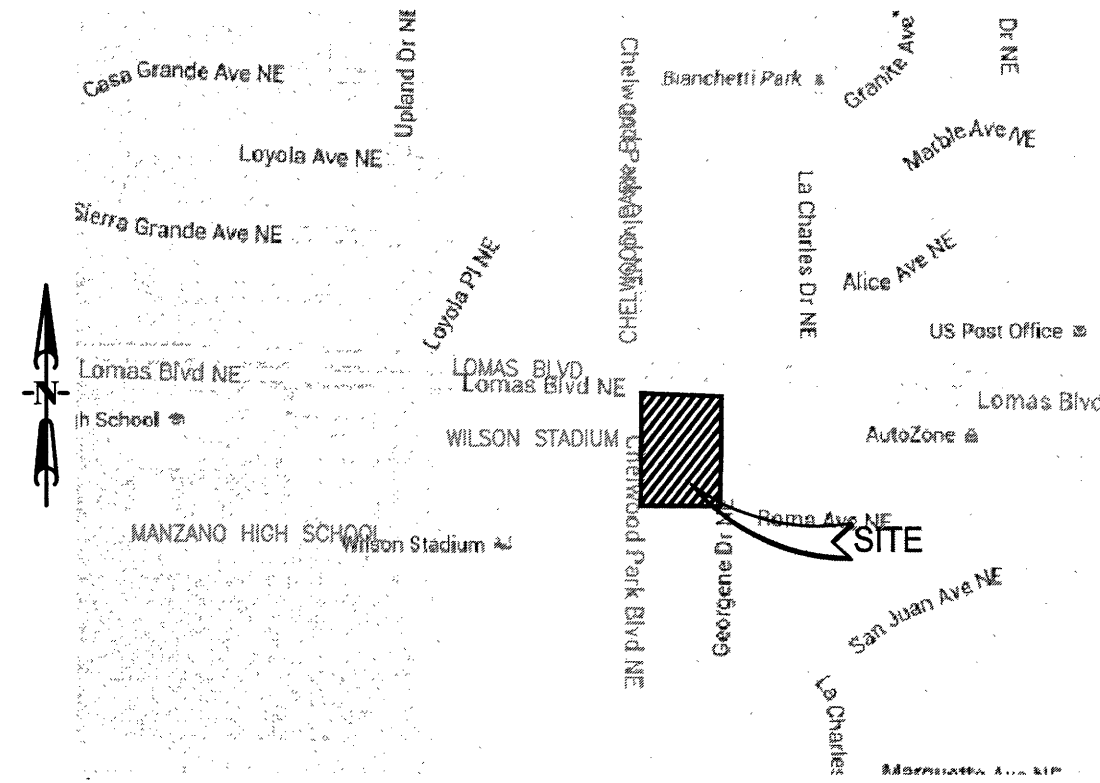
HAND PLACE RIP-RAP IN ALL PLACES AS INDICATED ON THE PLAN. THE STONE FOR RIP-RAP SHALL CONSIST OF FIELD STONE OR ROUGH LIMESTONE QUARRY STONE AS NEARLY AS UNIFORM IN SECTION AS PRACTICAL. THE STONES SHALL BE DENSE, RESISTANT TO THE ACTION OF AIR AND WATER, AND SUITABLE IN ALL ASPECTS FOR THE PURPOSE INTENDED UNLESS OTHERWISE SPECIFIED. ALL STONES USED AS RIP-RAP SHALL WEIGH BETWEEN 30-150 POUNDS EACH, AND AT LEAST 80 PERCENT OF THE STONES SHALL WEIGH MORE THAN 100 POUNDS EACH. STONES SHALL BE A MINIMUM OF 6" IN DIAMETER AND PLACED A MINIMUM OF 18" BELOW FINISH GRADE.

STAGES OF CONSTRUCTION:

- 1. CONTRACTOR TO PERFORM DETAILED SITE INSPECTION TO LOCATE ALL EXISTING UTILITIES AND VERIFY ANY POSSIBLE CONFLICTS WITH PROPOSED IMPROVEMENTS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTACT OWNER WITH ANY CONFLICTS. MONTH 1
- 2. INSTALLATION OF CONSTRUCTION ENTRANCE. MONTH 1
- 3. INSTALLATION OF EROSION CONTROL FENCE. MONTH 1
- 4. DEMOLITION OF EXISTING SITE IMPROVEMENTS. MONTH 1
- 5. REMOVAL OF EXISTING PAVEMENT ON THE SITE. MONTH 1
- 6. INSTALLATION OF ALL STORM WATER DRAINAGE IMPROVEMENTS. MONTH 1
- 7. ROUGH GRADING. MONTH 1 & MONTH 2
- 8. CONSTRUCTION OF NEW SITE IMPROVEMENTS. MONTH 2
- 9. FINAL GRADING. MONTH 3
- 10. PLACEMENT OF FINAL LANDSCAPING ITEMS AND SOD. MONTH 3
- 11. REMOVAL OF EROSION CONTROL FENCE. MONTH 3

KEY NOTES:

- E1 LIMITS OF TEMPORARY EROSION CONTROL FENCE: REFER TO DETAIL 10/C3.
- E2 INSTALL CONSTRUCTION EGRESS PER NOTE.
- E3 INSTALL RIP RAP LINED RETENTION POND. REFER TO RIP-RAP NOTES.
- E4 INSTALL TYPE "A" INLET PROTECTION PER DETAIL 2/C4.
- E5 STREET IN THE AREA TO BE SWEEP DAILY WHEN WORKING IN THE CITY ROW IF SEDIMENT IS PRESENT.
- E6 INSTALL CURB INLET PROTECTION PER DETAIL 3/C4.



VICINITY MAP:
(NOT TO SCALE)
ZONE ATLAS PAGE: K-22-Z

ANDERSON ENGINEERING, INC.
ENGINEERS - SURVEYORS - LABORATORIES - DRILLING
2045 W. WOODLAND - SPRINGFIELD, MISSOURI 65807 • PHONE (417) 886-2741
ANDERSON ENGINEERING, INC. CONF 2920767 • NELS S. BRADY, P.E. 18230

PROJ. #
10143-15

BY: MRR
CHK: NSB

REVISIONS:
DRAWING #
WB-110-427

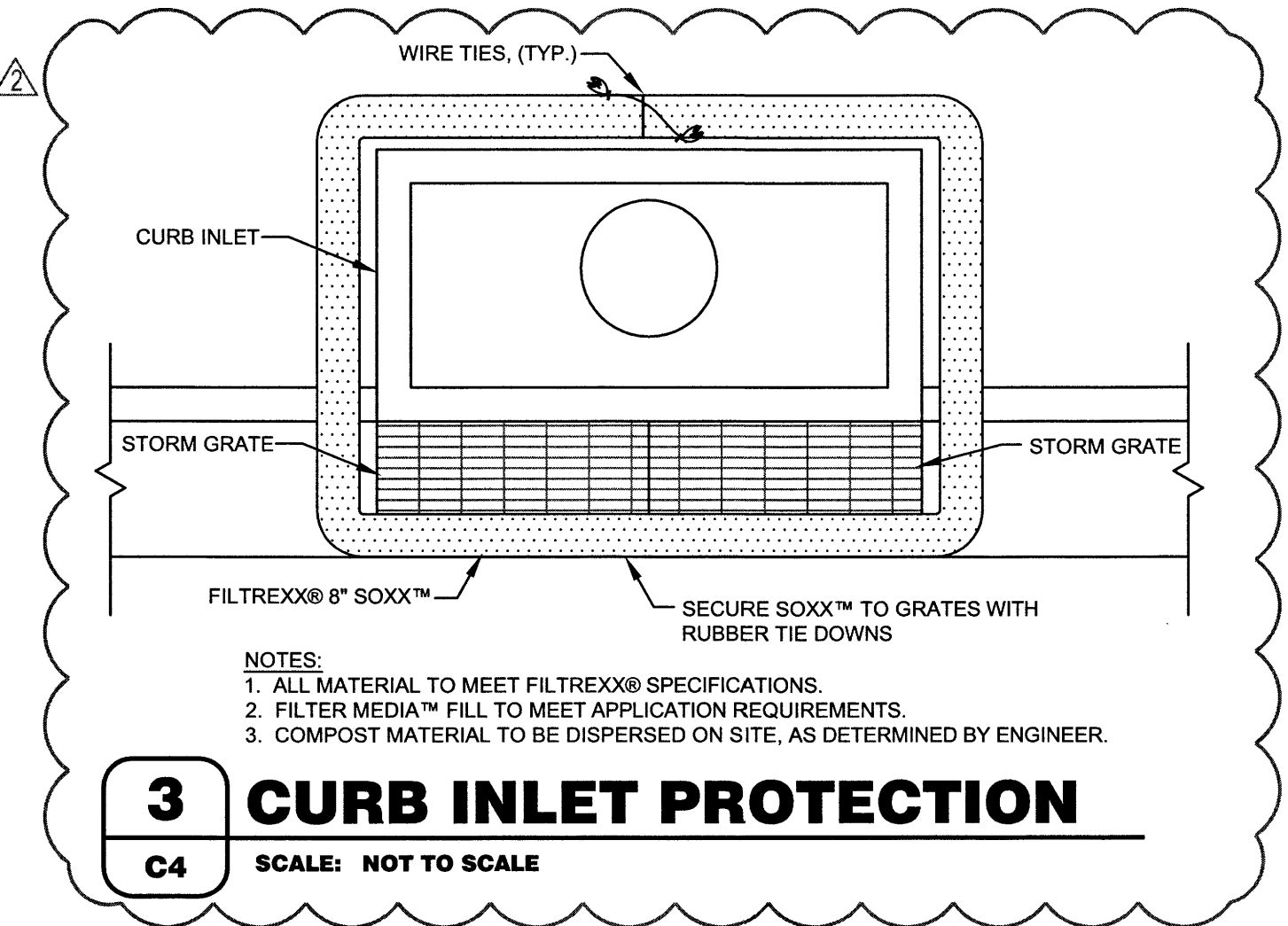
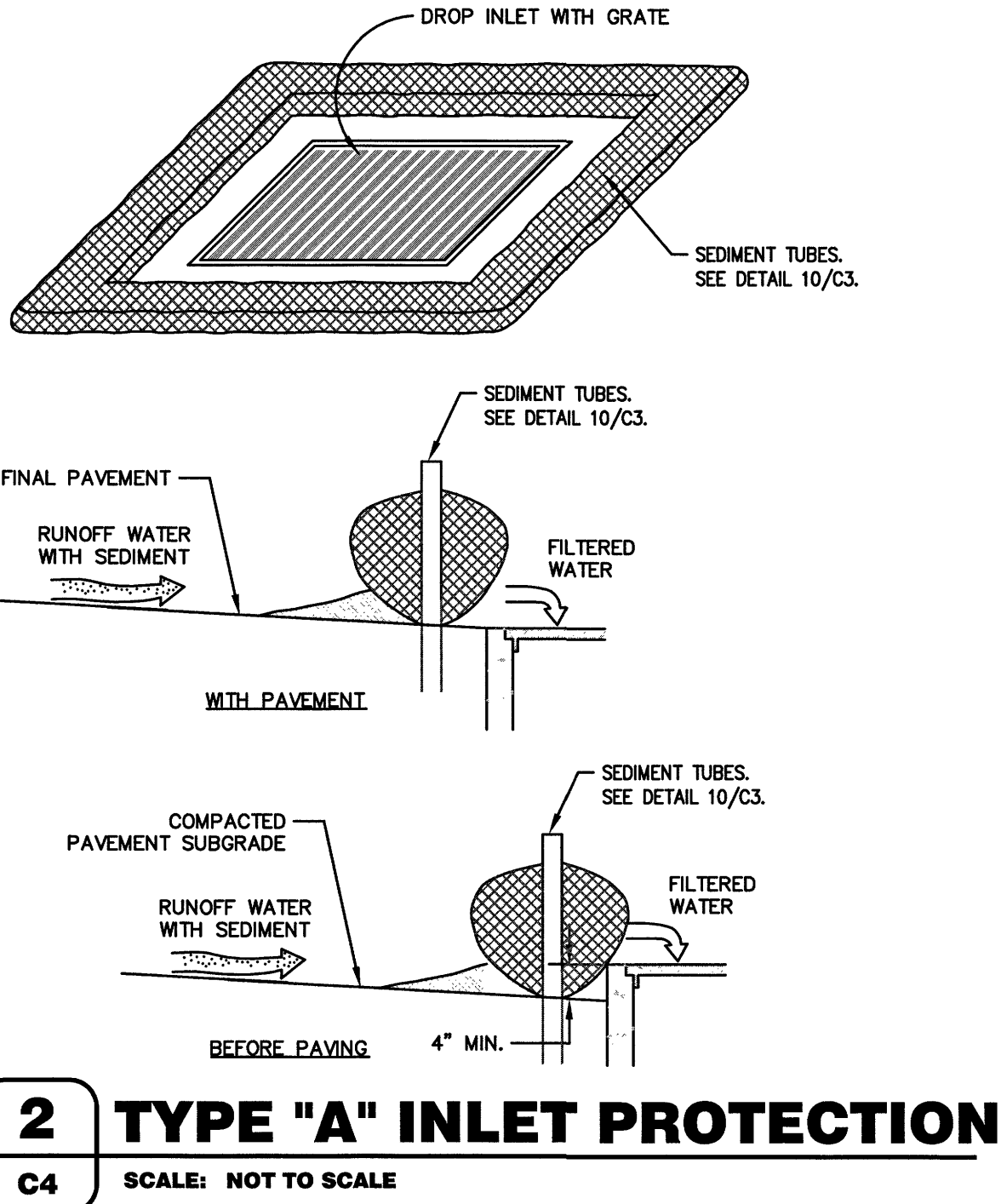
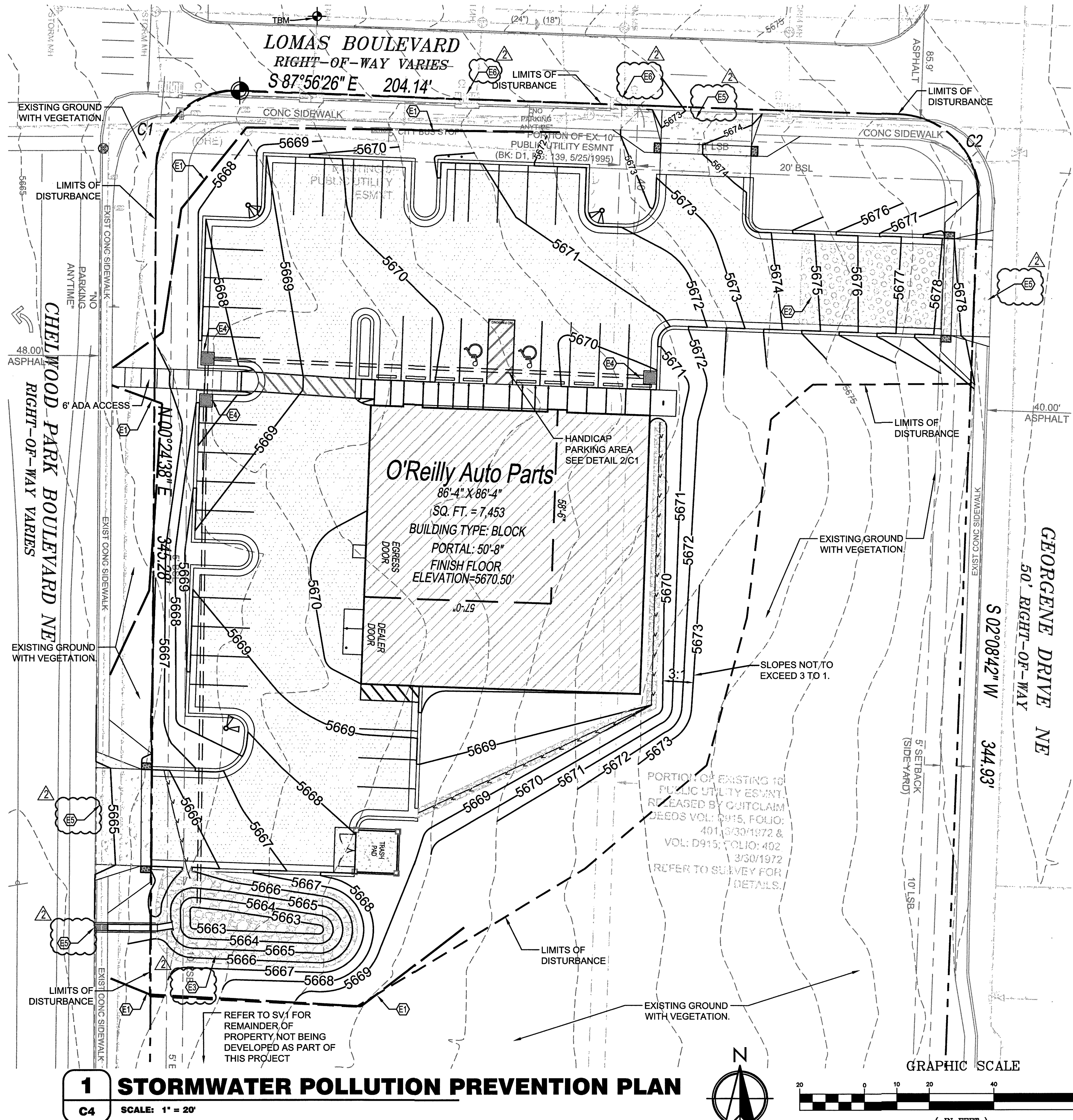
O'Reilly AUTO PARTS




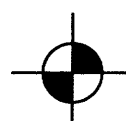
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
417-862-2674 PHONE

PROJECT:
NEW O'REILLY AUTO PARTS STORE
12700 LOMAS BLVD NE
ALBUQUERQUE, NM 87123
STORMWATER POLLUTION PREVENTION PLAN

Professional Engineer
NELS S. BRADY
18230
1-25-16

DRAWN: MRR
CHECKED: NSB
DATE: 12-11-2015
JOB NO.: 315621 (A15)
SHEET: C4
SHEET 5 OF 6



SYMBOLS LEGEND				
REFER TO SURVEY (SV1) FOR EXISTING CONDITION SYMBOLS LEGEND AND SITE CONTROL.				
---	EXISTING GRADE LINES	* 5670.00 PVT	NEW SPOT ELEVATIONS	<u>ABBREVIATION</u> NONE SW TW TC PVT GD CONC ETC EGD EPVT ESW FL TOP
—5670—	PROPOSED NEW GRADE LINES		LIST GRADE SIDEWALK TOP OF WALL TOP OF CURB TOP OF PAVEMENT NEW GRADE CONCRETE EXISTING TOP OF CURB EXISTING GRADE EXISTING PAVEMENT EXISTING SIDEWALK FLOW LINE TOP OF BERM	
	NEW BUILDING CONSTRUCTION			
	NEW CONCRETE PAVING BLOCK			
—	SILT FENCE			
	SURFACE FLOW ARROW		TEMPORARY BENCHMARK: THE TEMPORARY ELEVATION BENCHMARK UTILIZED FOR THIS SURVEY IS THE RIM OF STORM MANHOLE (#583). ELEV. = 5669.62' (NAVD 88 DATUM)	