

CITY OF ALBUQUERQUE

Planning Department

Suzanne Lubar, Director



Mayor Richard J. Berry

February 2, 2016

Paul J. Engel, P.E.
Anderson Engineering, Inc.
2045 W. Woodland
Springfield MO, 87123

**RE: O'Reily Auto Parts
12700 Lomas Blvd NE
Grading and Drainage Plan
Engineers Stamp Date 1/28/16 (K22D019)**

Dear Mr. Engel,

Based upon the information provided in your submittal received 2/1/2016, this plan is approved for Grading Permit, Paving Permit and Building Permit. However, before construction may begin an ESC permit must be approved before any work may commence.

Please inform the Architect/Owner or the contractor to attach a copy of this approved plan dated 1/28/16 to the construction sets in the permitting process prior to sign-off by Hydrology. If this plan is not with the construction plan sets the permitting process will be held up until the plan is provided.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Abiel Carrillo, P.E.
Principal Engineer, Hydrology
Planning Department

RR/AC
C: File

NOTE: PRIOR TO BEGINNING ANY SITE WORK & ORDERING OF MATERIALS, CONTRACTOR SHALL FIELD VERIFY ALL UTILITY & DRAINAGE CONNECTIONS TO EXISTING SYSTEMS BY POT HOLING AND SHALL NOTIFY ENGINEER OF NEEDED CHANGES: FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR BEING RESPONSIBLE FOR ALL REVISION COSTS AND DELAYS.

GENERAL NOTES:

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. SITE CONDITIONS BASED UPON SURVEY SUBMITTED BY OWNER. FIELD VERIFY EXISTING CONDITIONS BY DETAILED SITE INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- C. FIELD VERIFY SANITARY SEWER SERVICE CONNECTIONS INVERT PRIOR TO ESTABLISHING FINAL FINISH FLOOR ELEVATION.
- D. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.

SITE EXCAVATION REQUIREMENTS:

- 1. A GEOTECHNICAL ANALYSIS HAS BEEN PERFORMED ON THIS SITE. REFER TO PROJECT MANUAL.
- 2. FOLLOW GEOTECHNICAL ANALYSIS RECOMMENDATION FOR SITE EXCAVATION.
- 3. REFER TO STRUCTURAL DRAWINGS FOR BUILDING EXCAVATION REQUIREMENTS.

PIPES NOTES:

- 1. PIPE MATERIALS SHALL BE IN ACCORDANCE WITH AND AS APPROVED BY THE CITY OR APPLICABLE AUTHORITY. REINFORCED CONCRETE PIPE (RCP) AND HIGH DENSITY POLYETHYLENE (HDPE) MAY BE USED AS ALLOWED BY LOCAL GUIDELINES.
- 2. ALL PIPE IS TO BE INSTALLED PER THE MANUFACTURER'S REQUIREMENTS AND MEET COVER REQUIREMENTS PER THE MANUFACTURER.

SPECIAL NOTE:
CONTRACTOR SHALL COMPLY WITH
CITY OF ALBUQUERQUE NOISE
ORDINANCE DURING CONSTRUCTION.

SPECIAL NOTE:
CONTRACTOR SHALL FIELD VERIFY SANITARY SEWER
CONNECTION INVERT PRIOR TO CONSTRUCTION
BUILDING PAD AT FINAL FINISH FLOOR ELEVATION.
REFER TO SITE UTILITIES PLAN.

SPECIAL NOTE:
CONTRACTOR SHALL FIELD VERIFY PROPOSED
GRADES MATCH EXISTING PAVEMENT AT
DRIVEWAY ENTRANCES. CONTRACTOR SHALL
NOTIFY ENGINEER IF DISCREPANCY OCCURS.

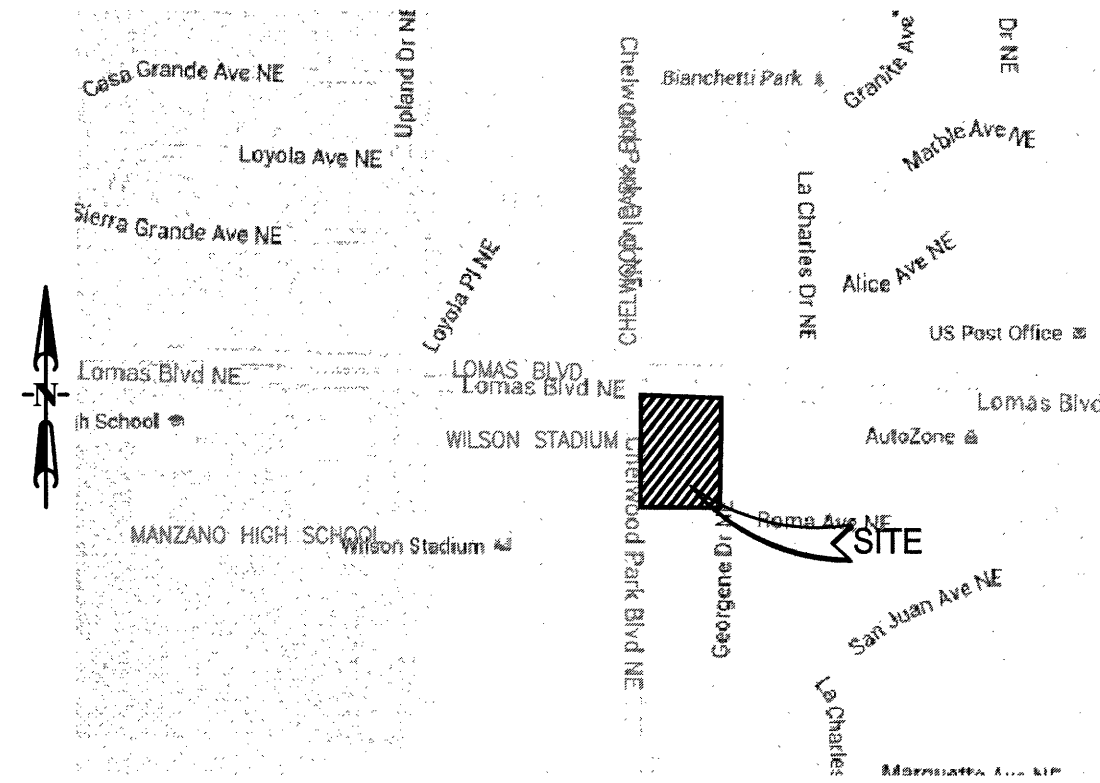
KEY NOTES:

- C1 INSTALL 3" CURB CUT.
- C2 INSTALL 4" X 4" AREA INLET.
RIM = 5669.8' INV = 5668.6'
REFER TO DETAIL 3C1.
- C3 INSTALL APPROX. 133 LF OF 12" PIPE.
REFER TO PIPE NOTES.
- C4 INSTALL 4" X 4" AREA INLET.
RIM = 5667.4' INV = 5664.4'
REFER TO DETAIL 3C1.
- C5 INSTALL APPROX. 10 LF OF 12" PIPE.
REFER TO PIPE NOTES.
- C6 INSTALL 4" X 4" AREA INLET.
RIM = 5667.4' INV = 5664.4'
REFER TO DETAIL 4C1.
- C7 INSTALL APPROX. 154 LF OF 12" PIPE.
DAYLIGHT PIPE INTO RETENTION POND AT
INV = 5663.5'. REFER TO PIPE NOTES.
- C8 INSTALL APPROX. 5 LF OF CONCRETE
RUNDOWN. CONSTRUCT IN RETENTION POND
AT FL = 5664.8' AND AT SIDEWALK CULVERT
AT INV = 5664.8'. TERMINATE RUNDOWN AT
SIDEWALK CULVERT. REFER TO DETAIL 5C1.
- C9 INSTALL DRAINAGE SIDEWALK CULVERT
WITH STEEL PLATE TOP PER CITY OF
ALBUQUERQUE STANDARD DRAWING 2236
AND DETAIL 4C1. TOP = 5665.3' AND INV =
5664.8'. EXTEND 2' INTO PROPERTY.
- C10 INSTALL RIP RAP LINED RETENTION POND.
REFER TO RIP-RAP NOTES ON SHEET C4.
- C11 INSTALL 3x168" RIP RAP LINED CHANNEL.
REFER TO RIP-RAP NOTES ON SHEET
C4.

FLOOD ZONE:

THE PROPERTY IS LOCATED INSIDE FLOOD ZONE "X", AREAS
DETERMINED TO HAVE MINIMAL FLOODING BY FLOOD
INSURANCE RATE MAP (FIRM) NO. 35001C0359G, REVISED
DATE: SEPTEMBER 26, 2008.

SPECIAL NOTE:
DEPRESS ALL LANDSCAPED AREAS TO RETAIN
STORMWATER.



VICINITY MAP:
(NOT TO SCALE)
ZONE ATLAS PAGE: K-22-Z

ANDERSON
ENGINEERING, INC.

ENGINEERS - SURVEYORS - LABORATORIES - DRILLING

2045 W. WOODLAND - SPRINGFIELD, MISSOURI 65807 • PHONE (417) 866-2741

ANDERSON ENGINEERING, INC. COAF 2920767 • NELL S. BRADY, PEF 16260

BY: MRR

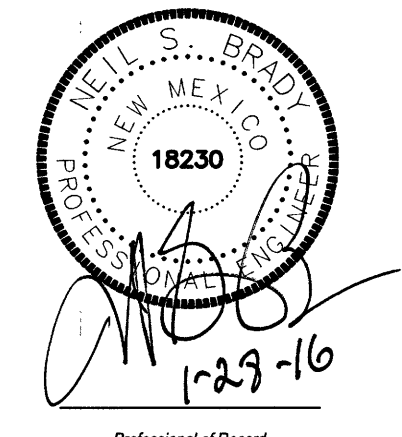
10143-15

WB-110-427

REVISIONS:		
CODE / ADD #1	12/11/15	
CODE / ADD #2	2/1/16	

O'Reilly AUTO PARTS

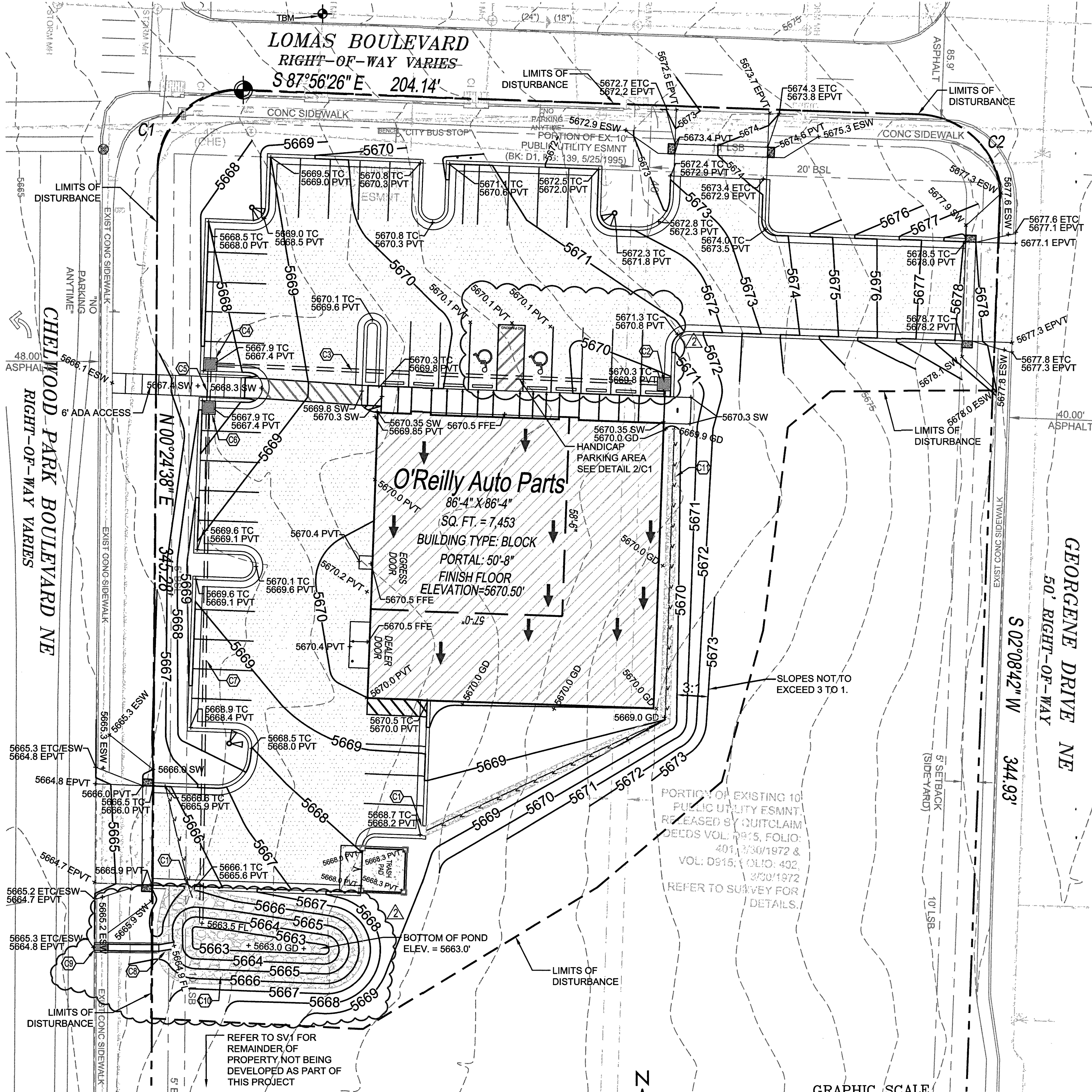
PROJECT:
NEW O'REILLY AUTO PARTS STORE
12700 LOMAS BLVD NE
ALBUQUERQUE, NM 87123
SITE GRADING PLAN



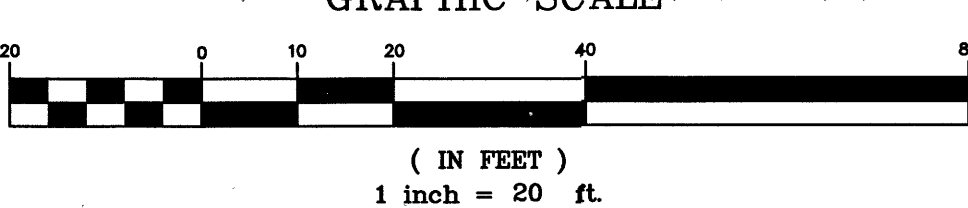
DRAWN: MRR
CHECKED: NSB
DATE: 10-08-2015
JOB NO.: 315621 (A15)

SHEET:
C1
SHEET 1 OF 6

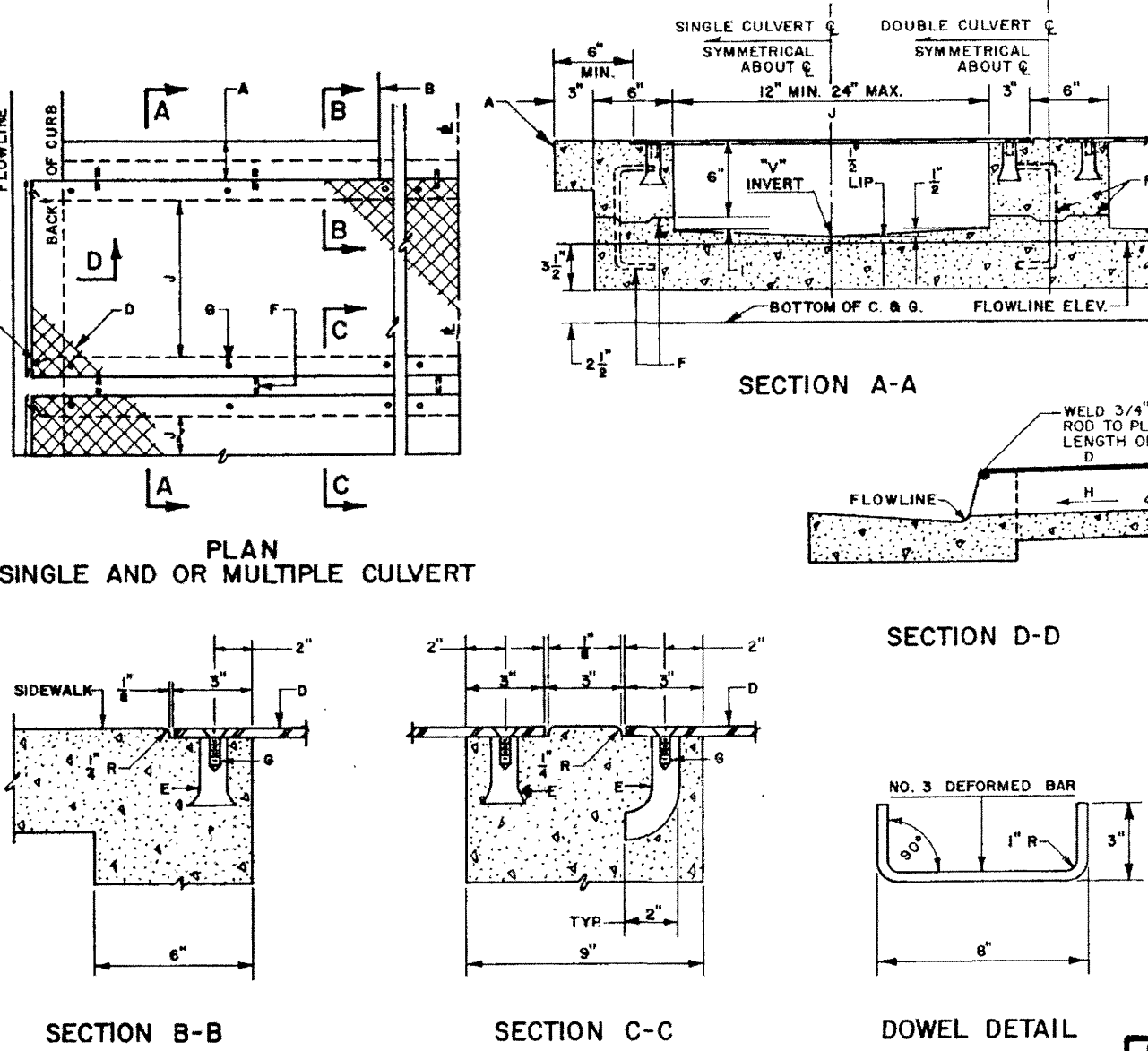
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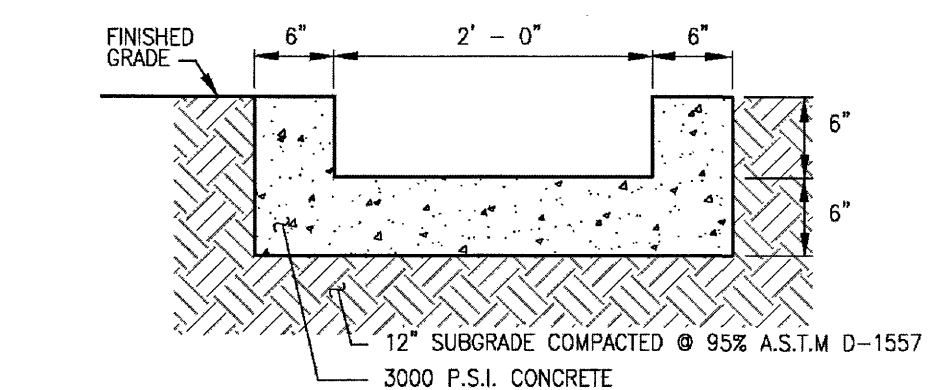
1 SITE GRADING PLAN
C1
SCALE: 1" = 20'



2 HANDICAP PARKING DETAIL
C1
SCALE: 1" = 10'



4 STANDARD DRAWING 2236 - DRAINAGE
SIDEWALK CULVERT WITH STEEL PLATE TOP
C1
SCALE: NOT TO SCALE



5 CONCRETE RUNDOWN DETAIL
C1
SCALE: NOT TO SCALE

PRIVATE DRAINAGE FACILITIES
WITHIN CITY RIGHT-OF-WAY
NOTICE TO CONTRACTOR
(SPECIAL ORDER 19~"SO-19")

- 1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- 2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" (OR (505) 260-1990) FOR THE LOCATION OF EXISTING UTILITIES.
- 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- 6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

GENERAL NOTES:

- 1. PLACING OF DRAIN THRU EXIST. SIDEWALK AND CURB & BUTTER REQUIRE THAT ENTIRE SIDEWALK AND C & S STONES BE REMOVED AND REPLACED AS DETAILER HEREIN.
- 2. BOTTOM SLAB OF CULVERT SHALL BE Poured MONOLITHICALLY WITH NEW CONCRETE.
- 3. THE INVERT SHALL BE TOLERANCED TO PRODUCE A HARD POLISHED SURFACE OF MAX. DENSITY AND SMOOTHNESS. THE INVERT SHALL BE V-SHAPED TO WITHIN 3" OF OUTLET, THEN HAPPED TO PARALLEL FLOWLINE AT OUTLET.
- 4. ALL EXPOSED CONC. SURFACE SHALL MATCH GRADE, COLOR, FINISH AND SCORING OF ADJACENT CONC. AND SIDEWALK.
- 5. SIDEWALK REPLACED DURING CONSTRUCTION SHALL BE Poured MONOLITHICALLY WITH CULVERT WALLS.
- 6. IF ROD ANCHORS ARE USED, WELD & TAP FOR PLATE AND SECURE PLATE IN PLACE PRIOR TO POURING OF WALLS.
- 7. LENGTH OF EACH PLATE SHALL BE SUCH THAT THE WEIGHT WILL NOT EXCEED 200 LBS. AND SHALL BE STRESS RELIEVED AFTER FABRICATION. CLEAN SURFACE OF PLATE AND FRAMING MEMBERS AND PAINT W/ ONE SHOP COAT RED OXIDE AND TWO FINISH COATS ALUMINUM PAINT (ASTM D 690).
- 8. THE CITY WILL NOT ASSUME RESPONSIBILITY FOR MAINTENANCE OF ANY SIDEWALK CULVERT INSTALLED BY OR FOR PRIVATE PROPERTY OWNERS.

CONSTRUCTION NOTES:

- A. MATCH NEAREST CONTROL JOINT. INSTALL 1/2" EXPANSION JOINT.
- B. CODE OF SIDEWALK OR SETBACK (VARIABLE).
- C. 3" RADIUS AT ALL CORNERS.
- D. 3/8" CHECKERED STEEL PLATE (PAINT PER NOTE 1, ABOVE).
- E. FOR SECURING PLATE USE 1/2" X 5/8" S.S. ROD ANCHOR. WELD HEAD MULTI-SET IT 3/8"-3/4" ANCHOR OR APPROVED EQUIV. INSTALL PER MANUFACTURER'S INSTRUCTIONS AT MAX. 24" O.C. MINIMUM OF 2' PER SIDE AND ONE WITHIN 6" OF EACH END.
- F. CONSTRUCTION JOINT IS OPTIONAL. IF USED, SPACE DOWELS AT 18" O.C. MAX. 1 1/2" MAXIMUM FORM FACE OF CONCRETE.
- G. 3/4" - 16 x 1 1/4" CORNER DOWEL, F.W., STAINLESS STEEL, MACHINE SCREW.
- H. SLOPE 1/4" PER FT. MIN.
- I. DRAIN WIDTH PER PLAN (12" MIN., 24" MAX.).

3 4' X 4' AREA INLET
C1
SCALE: NOT TO SCALE

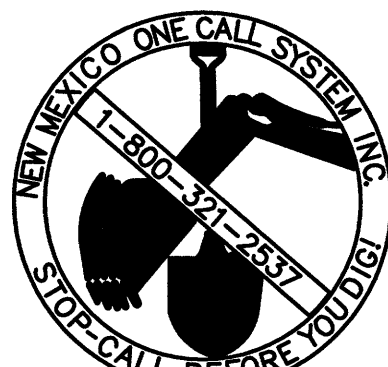
LEGAL DESCRIPTION (AS-SURVEYED):
ALL OF BLOCK ONE (1) OF CHELWOOD PARK, LYING WITHIN SECTION 22, T.10N., R.4E., N.M.P.M., WITHIN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS SHOWN ON PLAT OF SURVEY FILED ON MAY 25, 1955, IN PLAT BOOK D1, FOLIO 139, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.

SYMBOLS LEGEND

REFER TO SURVEY (SV1) FOR EXISTING CONDITION SYMBOLS LEGEND AND SITE CONTROL.		
---	EXISTING GRADE LINES	NEW SPOT ELEVATIONS LIST GRADE SIDEWALK TOP OF WALL TOP OF CURB TOP OF PAVEMENT NEW GRADE CONCRETE EXISTING TOP OF CURB ETC EXISTING GRADE EXISTING PAVEMENT EXISTING SIDEWALK FLOW LINE TOP OF BERM
---	PROPOSED NEW GRADE LINES	
---	NEW BUILDING CONSTRUCTION	
---	NEW CONCRETE PAVING BLOCK	
---	SILT FENCE	TEMPORARY BENCHMARK: THE TEMPORARY ELEVATION BENCHMARK UTILIZED FOR THIS SURVEY IS THE RIM OF STORM MANHOLE (#1033). ELEV. = 5669.52' (NAVD 83 DATUM)
---	SURFACE FLOW ARROW	

STAGES OF CONSTRUCTION:

1. CONTRACTOR TO PERFORM DETAILED SITE INSPECTION TO LOCATE ALL EXISTING UTILITIES AND VERIFY ANY POSSIBLE CONFLICTS WITH PROPOSED IMPROVEMENTS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTACT OWNER WITH ANY CONFLICTS. MONTH 1
2. INSTALLATION OF CONSTRUCTION ENTRANCE. MONTH 1
3. INSTALLATION OF EROSION CONTROL FENCE. MONTH 1
4. DEMOLITION OF EXISTING SITE IMPROVEMENTS. MONTH 1
5. REMOVAL OF EXISTING PAVEMENT ON THE SITE. MONTH 1
6. INSTALLATION OF ALL STORM WATER DRAINAGE IMPROVEMENTS. MONTH 1
7. ROUGH GRADING. MONTH 1 & MONTH 2
8. CONSTRUCTION OF NEW SITE IMPROVEMENTS. MONTH 2
9. FINAL GRADING. MONTH 3
10. PLACEMENT OF FINAL LANDSCAPING ITEMS AND SOD. MONTH 3
11. REMOVAL OF EROSION CONTROL FENCE. MONTH 3



GENERAL NOTES:

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. ALL SITE DIMENSIONS TO THE FACE OF CURB, CONCRETE OR PROPERTY LINE UNLESS OTHERWISE NOTED. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND STARTING CONSTRUCTION.
- C. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- D. REFER TO STRUCTURAL PLANS FOR DEVELOPMENT OF SIDEWALKS ADJACENT TO FOUNDATIONS.

SPECIAL NOTE:
ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. REFER TO CITY OF ALBUQUERQUE STANDARD DRAWING 2430.

GENERAL INFORMATION:

TYPE OF DEVELOPMENT: COMMERCIAL RETAIL
SIZE OF DEVELOPMENT: BUILDING = 7,453 SQ. FT.
PARKING LOT = 23,477 SQ. FT.
7,453 / 200 = 37.27 = 38 SPACES
PARKING SPACES REQUIRED: 38 SPACES
PARKING SPACES PROVIDED: 38 SPACES
MOTORCYCLE SPACES PROVIDED: 2 SPACES
BICYCLE SPACES PROVIDED: 2 SPACES
HANDICAP SPACES PROVIDED: 2 SPACES

EXECUTIVE SUMMARY:

THIS COMMERCIAL PROJECT IS LOCATED AT 12700 LOMAS BLVD NE ALBUQUERQUE, NM. O'REILLY AUTO PARTS IS PROPOSING A 7,453 SQ. FT. BUILDING AND 23,050 SQ. FT. OF PARKING LOT. THE PARKING LOT PROVIDES 38 TOTAL PARKING SPACES WITH 2 HANDICAP SPACES, 2 MOTORCYCLE SPACES, 2 BICYCLE SPACES AND AN UNLOADING ZONE. THE PARKING LAYOUT PROVIDES 3 DRIVEWAY ACCESSES WITH 30' WIDE DRIVE AISLES.

LEGAL DESCRIPTION (AS-SURVEYED):
ALL OF BLOCK ONE (1) OF CHELWOOD PARK, LYING WITHIN SECTION 22, T.10N., R.4E., N.M.P.M., WITHIN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS SHOWN ON PLAT OF SURVEY FILED ON MAY 25, 1955, IN PLAT BOOK D1, FOLIO 138, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.

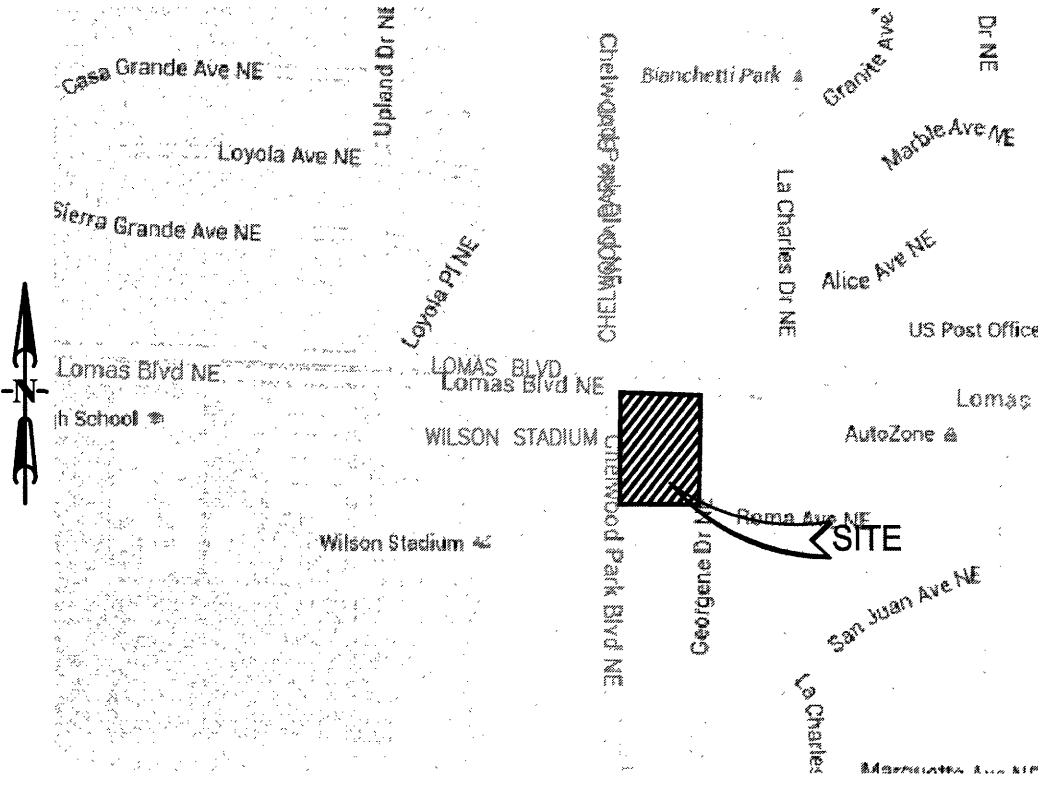
KEY NOTES:

1. CONCRETE PAVING:
REFER TO DETAIL 1C3.
2. NOT USED.
3. CONCRETE CURB:
REFER TO DETAIL 3C3.
4. CONCRETE SIDEWALK:
REFER TO DETAIL 4C3.
5. CONCRETE DOOR LANDING:
REFER TO DETAIL 4C3 AND STRUCTURAL DETAILS. RAMP PAVING AS INDICATED. LANDING TO BE POURED MONOLITHIC IF CONCRETE PAVING IS USED.
6. STEEL BOLLARD:
REFER TO DETAIL 8C3. PROVIDE (2) AT TRASH PAD AND (2) AT OVERHEAD DOOR. PROVIDE (8) AT SIDEWALK AND (2) AT MOTORCYCLE PARKING SPACES. REFER TO STRUCTURAL PLAN FOR LOCATION.
7. HANDICAP PARKING SIGN:
REFER TO DETAIL 7C3 AND THIS SHEET.
8. NEW CURB:
NEW CURB TO MATCH EXISTING ADJACENT CURB.
9. HANDICAP PARKING SYMBOL:
REFER TO DETAIL 9C3.
10. HANDICAP ACCESS UNLOADING ZONE:
SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN. ACCESS AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE. PAVED AS SHOWN ON PLANS.
11. SCREEN FENCE:
REFER TO DETAIL 11C3.
12. SCREEN FENCE GATES:
REFER TO DETAIL 12C3.
13. CONCRETE BUMPER BLOCK:
8" x 5" x 6'-0" LONG CONCRETE. ANCHOR TO PAVING WITH (2) 1'-5" LONG #4 REBAR (TO SIT LEVEL WITH PAVING).
14. PARKING LOT LIGHTING:
REFER TO SITE LIGHTING PLAN FOR LOCATION AND TYPE.
15. LIMITS OF NEW PAVING:
MATCH EXISTING PER CITY AND OR STATE STANDARDS.
16. CONSTRUCTION LIMIT LINE.
17. NOT USED.
18. STRIPING:
PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT- WHITE (2 COATS)
19. 3' CURB CUT.
20. CONCRETE HANDICAP RAMP:
REFER TO DETAIL 8C3.
21. MOTORCYCLE PARKING SIGN:
REFER TO DETAIL 2C3.1.
22. PROVIDE 2 BICYCLE PARKING SPACES.
REFER TO DETAIL 8C3.
23. CONCRETE PAVING IN TRASH ENCLOSURE:
REFER TO DETAIL 1C3.1.
24. INSTALL DRIVEPADS PER COA STD DWG 2425.
REFER TO DETAIL 3C2.
25. INSTALL 3' X 2' TRUNCATED DOMES PER ADA STANDARDS.

SYMBOLS LEGEND

REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND

	NEW BUILDING CONSTRUCTION
	AREA OF CONCRETE
	AREA OF PAVING
	NEW CONCRETE PAVING BLOCK
	NEW LIGHT POLE LOCATION
	CONSTRUCTION LIMIT LINE



VICINITY MAP:
(NOT TO SCALE)
ZONE ATLAS PAGE: K-22-Z

ANDERSON ENGINEERING, INC.
ENGINEERS - SURVEYORS - LABORATORIES - DRILLING
2045 W. WOODLAND, SPRINGFIELD, MISSOURI 65807 • PHONE (417) 882-2741
ANDERSON ENGINEERING, INC. CONF 2620707 • NEIL S. BRADY, P.E. 16260

PROJ # 10143-15
BY: MRR
CHECKED: NSB
DRAWING # WB-110-427



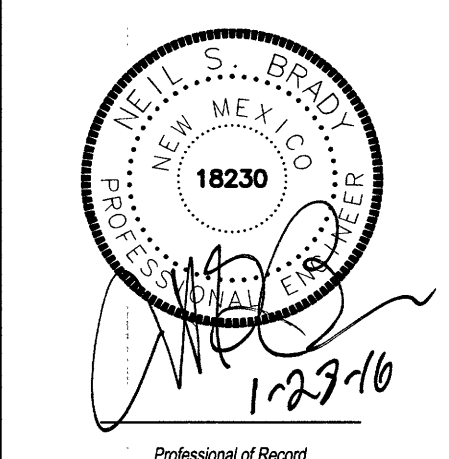
PROJECT MANAGERS
10877 Watson Road
St. Louis, MO 63127
Phone: (314) 621-1100

REVISIONS:		
1	CODE / ADD #1	12/11/15
2	CODE / ADD #2	2/1/16

O'Reilly AUTO PARTS

CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
417-882-2674 PHONE

PROJECT: NEW O'REILLY AUTO PARTS STORE
12700 LOMAS BLVD NE
ALBUQUERQUE, NM 87123
TRAFFIC CIRCULATION LAYOUT PLAN

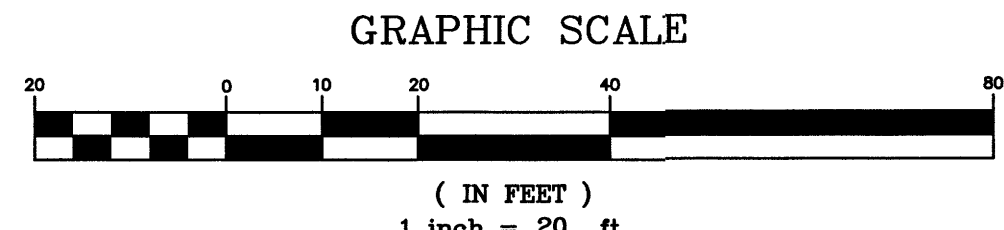


DRAWN: MRR
CHECKED: NSB
DATE: 10-08-2015
JOB NO.: 315621 (A15)
SHEET:

C2
SHEET 2 OF 6

1 TRAFFIC CIRCULATION LAYOUT PLAN

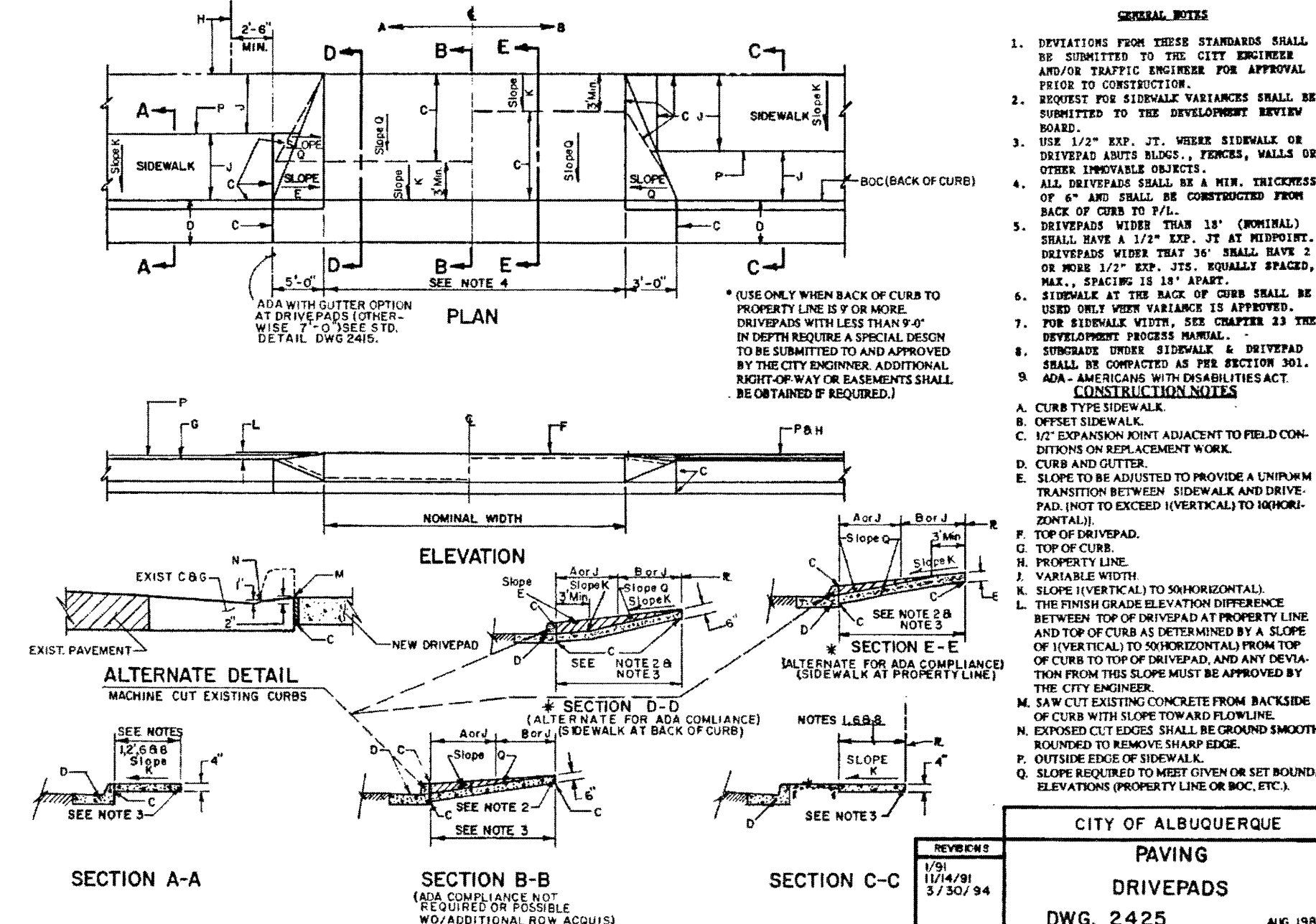
C2 SCALE: 1" = 20'



REFER TO LANDSCAPE PLAN
FOR PLANTINGS

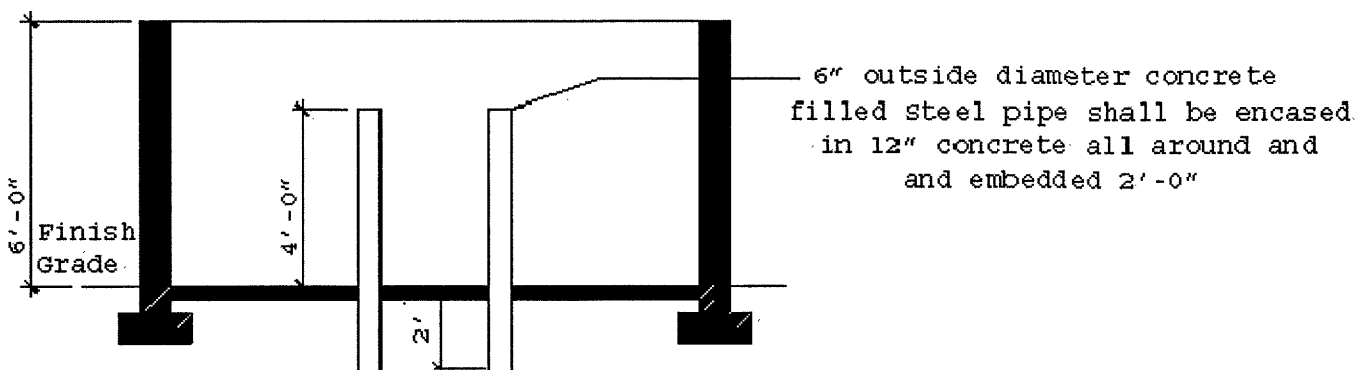
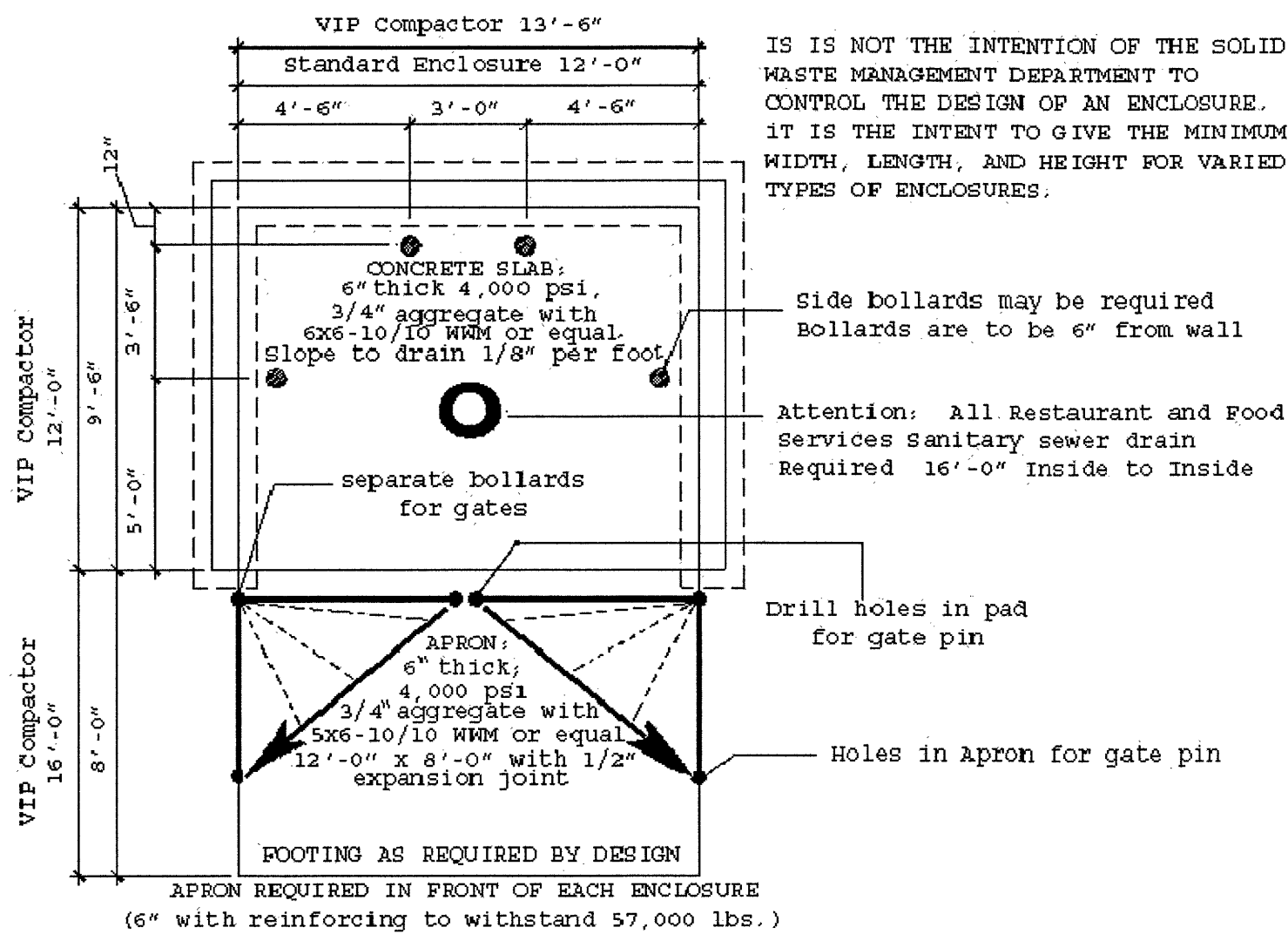
3 COA STD DWG 2425

C2 SCALE: NOT TO SCALE



CITY OF ALBUQUERQUE
PAVING
DRIVEPADS
DWG. 2425
AUG. 1986

Dimensions given are to the inside of enclosure walls and are the minimum sizes required for the slab itself. Footing will vary with the design of the enclosure.

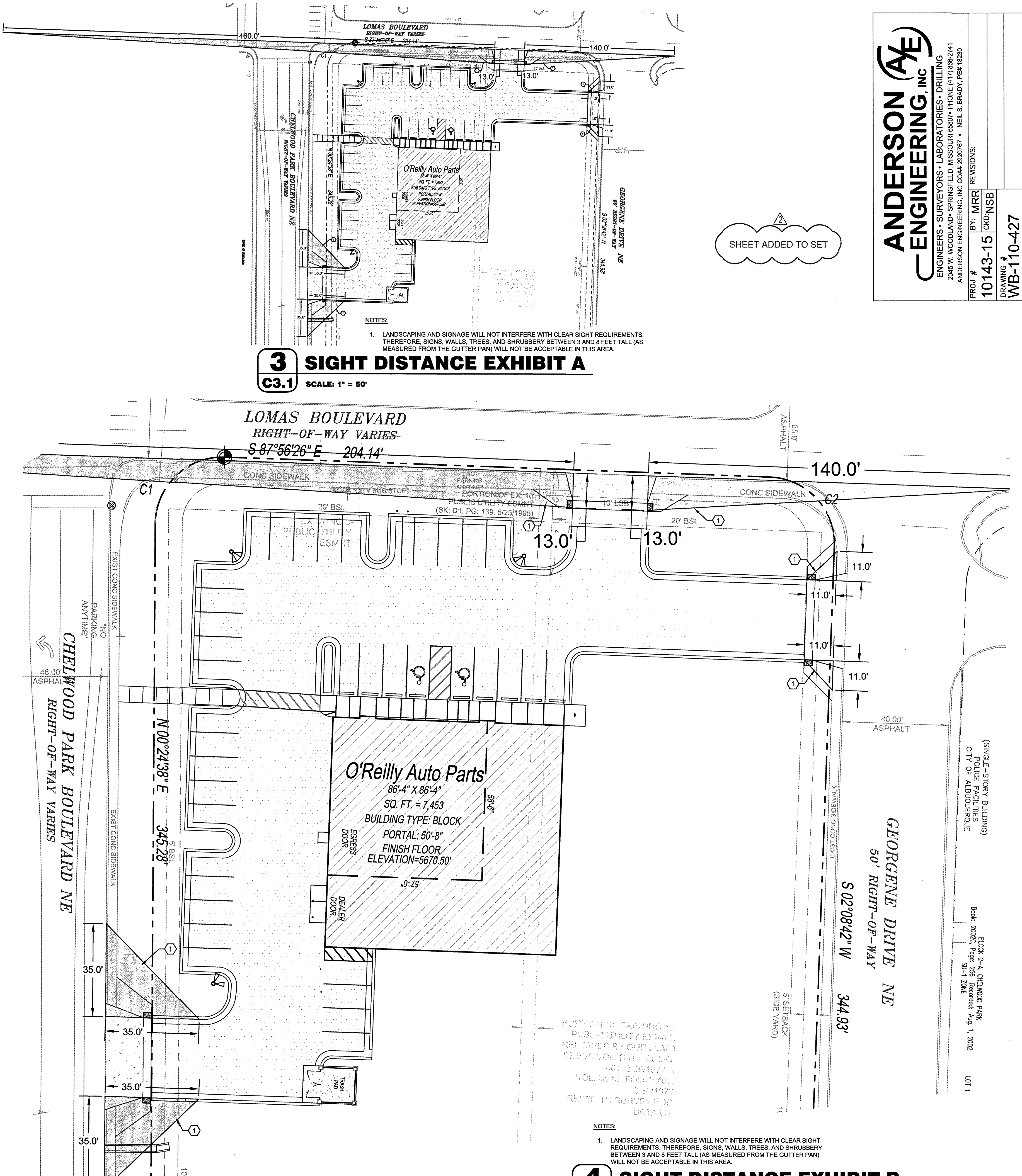


1 TRASH PAD ENCLOSURE DETAIL

C3.1 SCALE: NOT TO SCALE

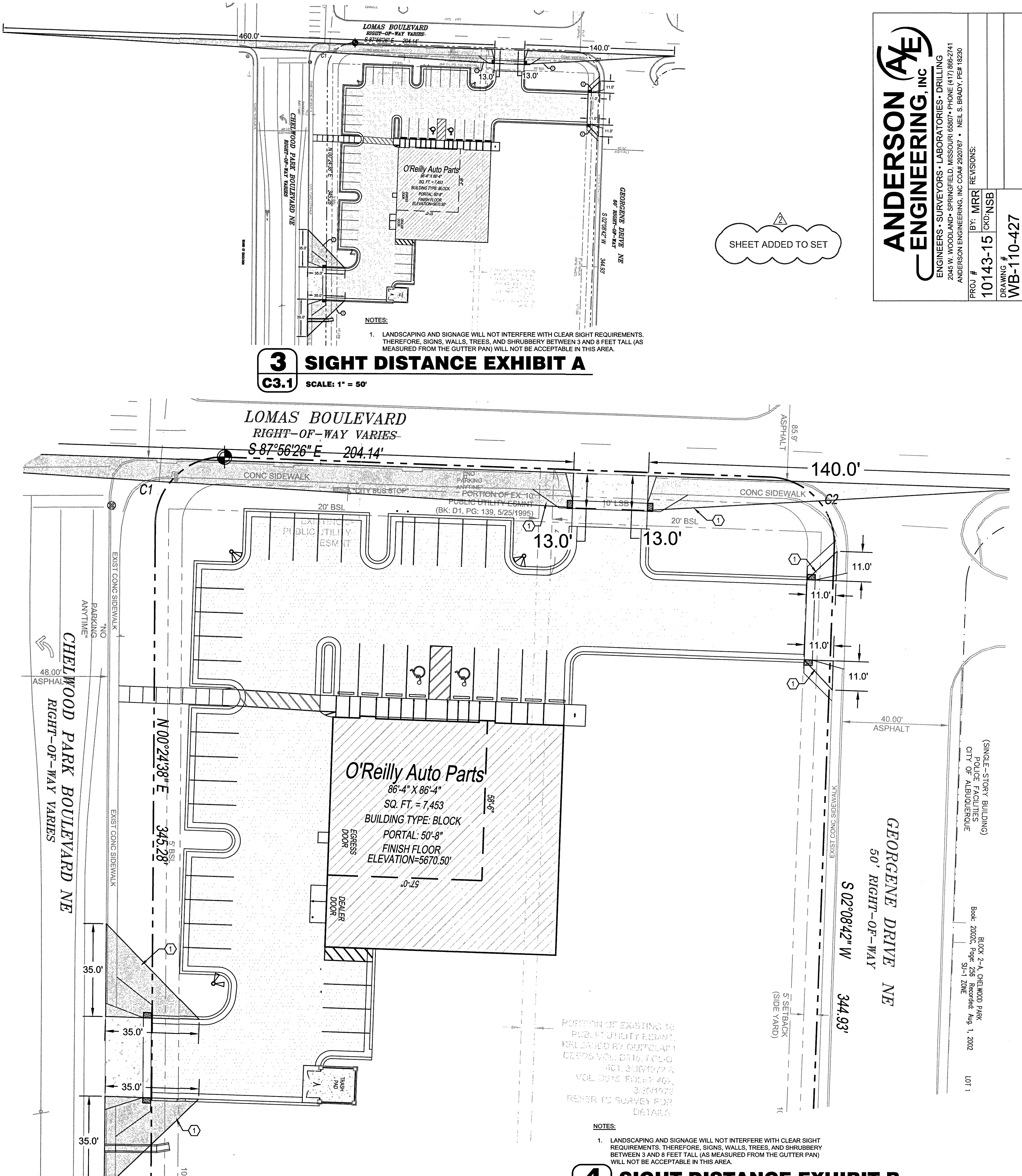
2 MOTORCYCLE PARKING SIGN

C3.1 SCALE: NOT TO SCALE



3 SIGHT DISTANCE EXHIBIT A

C3.1 SCALE: 1" = 50'



4 SIGHT DISTANCE EXHIBIT B

C3.1 SCALE: 1" = 20'

ANDERSON (AE) ENGINEERING, INC.
ENGINEERS, SURVEYORS, LABORATORIES, DRILLING
2045 W. WOODLAND, SPRINGFIELD, MISSOURI 65807 • PHONE (417) 866-2741
ANDERSON ENGINEERING, INC. CO#44 2020787 • NEIL S. BRADY, P.E. 18220

REVISIONS:

BY: MRR

10143-15

OK: NSB

DRAWING #

WB-110-427



O'Reilly AUTO PARTS

PROJECT: **NEW O'REILLY AUTO PARTS STORE**

**12700 LOMAS BLVD NE
ALBUQUERQUE, NM 87123**

SITE DETAILS



DRAWN: MRR

CHECKED: NSB

DATE: 2-1-2016


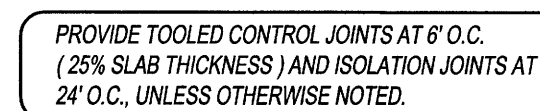
JOB NO.: 315621 (A15)

SHEET:

C3.1

SHEET 4 OF 6

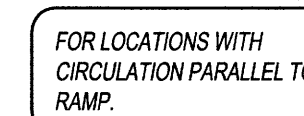
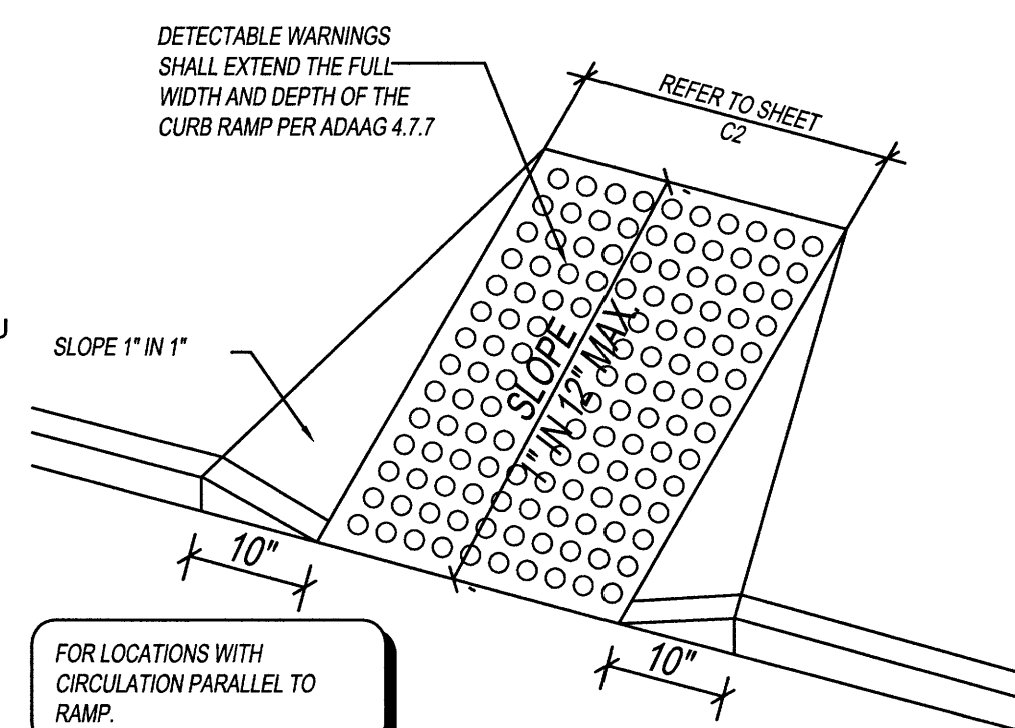
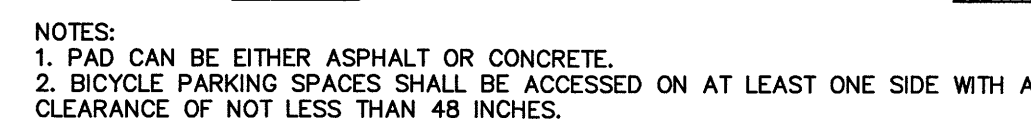
PROVIDE CONTROL JOINTS AT 12' O.C.
(25% SLAB THICKNESS)



CASCO

PROJECT MANAGERS
10877 Watson Road
St. Louis, MO 63127
Phone: (314) 821-1100

REVISIONS:		
1	CODE / ADD #1	12/11/1
2	CODE / ADD #2	2/1/16



NOTE:

1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS OR APPROVED EQUAL.
2. SILTXXX™ COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS.
3. SILTXXX™ DEPICTED IS FOR MINIMUM SLOPES. GREATER SLOPES MAY REQUIRE LARGER SOCKS PER THE ENGINEER.
4. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.



O'Reilly AUTO PARTS

CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
417 862 2674 PHONE

PROJECT:
NEW O'REILLY AUTO PARTS STORE
12700 LOMAS BLVD NE
ALBUQUERQUE, NM 87123

SITE DETAILS



DRAWN:	MRR
CHECKED:	NSB
DATE:	10-08-2015
JOB NO.:	315621 (A)
SHEET:	

C3
SHEET 2 OF 2

NOTE: PRIOR TO BEGINNING ANY SITE WORK & ORDERING OF MATERIALS, CONTRACTOR SHALL FIELD VERIFY ALL UTILITY & DRAINAGE CONNECTIONS TO EXISTING SYSTEMS BY POT HOLING AND SHALL NOTIFY ENGINEER OF NEEDED CHANGES: FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR BEING RESPONSIBLE FOR ALL REVISION COSTS AND DELAYS.

EROSION CONTROL & MAINTENANCE PLAN NOTES:

- 1. RETAIN FLOATABLE WIND BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES. CHECK ADJACENT AREAS DAILY AND PICK UP CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED OFF SITE.
- 2. PERMANENTLY STABILIZE ALL SURFACE AREA WITHIN AND ADJACENT TO THIS SITE THAT IS DISTURBED BY VEHICLES, GRADING AND OTHER CONSTRUCTION FOR THE PROPOSED FACILITY. STABILIZATION IS OBTAINED WHEN THE DISTURBED SURFACE IS COVERED WITH STRUCTURES, PAVING AND OR PERENNIAL VEGETATION HAVING A UNIFORM COVERAGE DENSITY OF AT LEAST 70%. STABILIZATION OF ALL DISTURBED AREA IS REQUIRED BEFORE TERMINATING MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES.
- 3. CONTRACTORS SHALL INSPECT POLLUTION CONTROL MEASURES AT LEAST ONCE EVERY 14 DAYS AND WITHIN 24 HOURS AFTER A STORM EVENT OF 12 INCH OR GREATER. DAMAGED MEASURES THAT PROVE TO BE INEFFECTIVE SHALL BE REPLACED WITH MORE EFFECTIVE MEASURES OR ADDITIONAL MEASURES WITHIN SEVEN DAYS. REPEATED FAILURE OF A CONTROL MEASURE REQUIRES INSTALLATION OF A MORE SUITABLE DEVICE TO PREVENT DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.
- 4. INSTALLATION OF ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE CITY OR STATE. CONTRACTOR TO VERIFY REQUIREMENTS PRIOR TO BEGINNING ANY WORK ON PROJECT SITE.
- 5. CARE SHALL BE TAKEN TO MINIMIZE THE ENCROACHMENT OF SEDIMENT INTO ALL STORM DRAIN APPURTENANCES, PUBLIC STREETS, AND ONTO PRIVATE PROPERTY UNTIL IMPERVIOUS MATERIAL (ROAD/PARKING AREA SURFACE) IS APPLIED OR UNTIL PROPOSED LANDSCAPE HAS BEEN ESTABLISHED.
- 6. REFER TO 10/03 FOR SILT FENCE CONSTRUCTION.
- 7. ALL GRASS SLOPES WHICH EXCEED 3:1 (H/V) SHALL UTILIZE CONTOUR CONSTRUCTION PRODUCTS PERMANENT TURF REINFORCEMENT MAT 450 OR APPROVED EQUAL. MATS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND STANDARDS. CONTRACTOR SHALL COORDINATE INSTALLATION INSPECTION WITH MANUFACTURER.

CONSTRUCTION EGRESS NOTES:

- 1. CONSTRUCTION EGRESS SHALL BE 25" MINIMUM WIDTH AND 3/8" MIN THICKNESS OF STONE (1.5" 3/32") COARSE AGGREGATE WITH GEOTEXTILE UNDERLAYER. REFER TO THE CITY OR STATE FOR ANY ADDITIONAL REQUIREMENTS.
- 2. THE EXIST SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1.5-3.5 INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURE USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OR SITE ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- 3. WHEELS MUST BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN LOCATED PER THE CITY OR STATE REQUIREMENTS.

RIP-RAP NOTE:

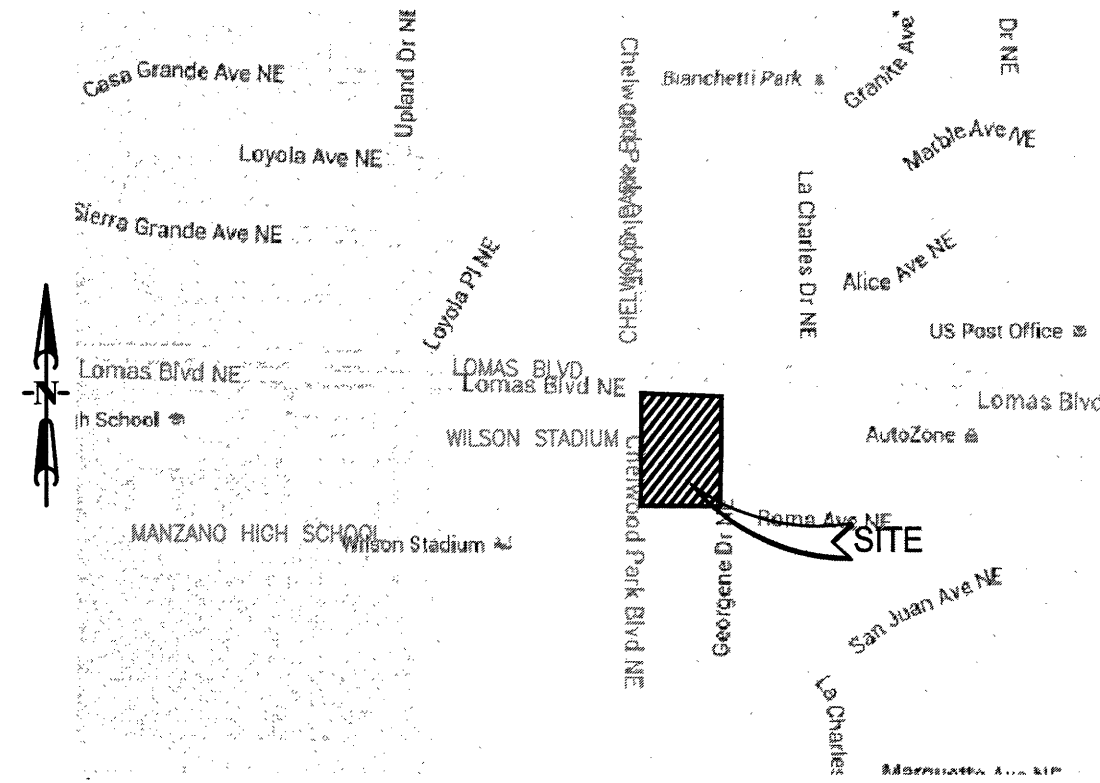
HAND PLACE RIP-RAP IN ALL PLACES AS INDICATED ON THE PLAN. THE STONE FOR RIP-RAP SHALL CONSIST OF FIELD STONE OR ROUGH LIMESTONE QUARRY STONE AS NEARLY AS UNIFORM IN SECTION AS PRACTICAL. THE STONES SHALL BE DENSE, RESISTANT TO THE ACTION OF AIR AND WATER, AND SUITABLE IN ALL ASPECTS FOR THE PURPOSE INTENDED UNLESS OTHERWISE SPECIFIED. ALL STONES USED AS RIP-RAP SHALL WEIGH BETWEEN 30-150 POUNDS EACH, AND AT LEAST 80 PERCENT OF THE STONES SHALL WEIGH MORE THAN 100 POUNDS EACH. STONES SHALL BE A MINIMUM OF 6" IN DIAMETER AND PLACED A MINIMUM OF 18" BELOW FINISH GRADE.

STAGES OF CONSTRUCTION:

- 1. CONTRACTOR TO PERFORM DETAILED SITE INSPECTION TO LOCATE ALL EXISTING UTILITIES AND VERIFY ANY POSSIBLE CONFLICTS WITH PROPOSED IMPROVEMENTS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTACT OWNER WITH ANY CONFLICTS. MONTH 1
- 2. INSTALLATION OF CONSTRUCTION ENTRANCE. MONTH 1
- 3. INSTALLATION OF EROSION CONTROL FENCE. MONTH 1
- 4. DEMOLITION OF EXISTING SITE IMPROVEMENTS. MONTH 1
- 5. REMOVAL OF EXISTING PAVEMENT ON THE SITE. MONTH 1
- 6. INSTALLATION OF ALL STORM WATER DRAINAGE IMPROVEMENTS. MONTH 1
- 7. ROUGH GRADING. MONTH 1 & MONTH 2
- 8. CONSTRUCTION OF NEW SITE IMPROVEMENTS. MONTH 2
- 9. FINAL GRADING. MONTH 3
- 10. PLACEMENT OF FINAL LANDSCAPING ITEMS AND SOD. MONTH 3
- 11. REMOVAL OF EROSION CONTROL FENCE. MONTH 3

KEY NOTES:

- E1 LIMITS OF TEMPORARY EROSION CONTROL FENCE: REFER TO DETAIL 10/C3.
- E2 INSTALL CONSTRUCTION EGRESS PER NOTE.
- E3 INSTALL RIP RAP LINED RETENTION POND. REFER TO RIP-RAP NOTES.
- E4 INSTALL TYPE "A" INLET PROTECTION PER DETAIL 2/C4.
- E5 STREET IN THE AREA TO BE SWEEP DAILY WHEN WORKING IN THE CITY ROW IF SEDIMENT IS PRESENT.
- E6 INSTALL CURB INLET PROTECTION PER DETAIL 3/C4.



VICINITY MAP:
(NOT TO SCALE)
ZONE ATLAS PAGE: K-22-Z

ANDERSON ENGINEERING, INC.
ENGINEERS - SURVEYORS - LABORATORIES - DRILLING
2045 W. WOODLAND - SPRINGFIELD, MISSOURI 65807 • PHONE (417) 886-2741
ANDERSON ENGINEERING, INC. CONF 2920767 • NELS S. BRADY, P.E. 18230

PROJ. #
10143-15

BY: MRR
CHK: NSB

REVISIONS:
DRAWING #
WB-110-427

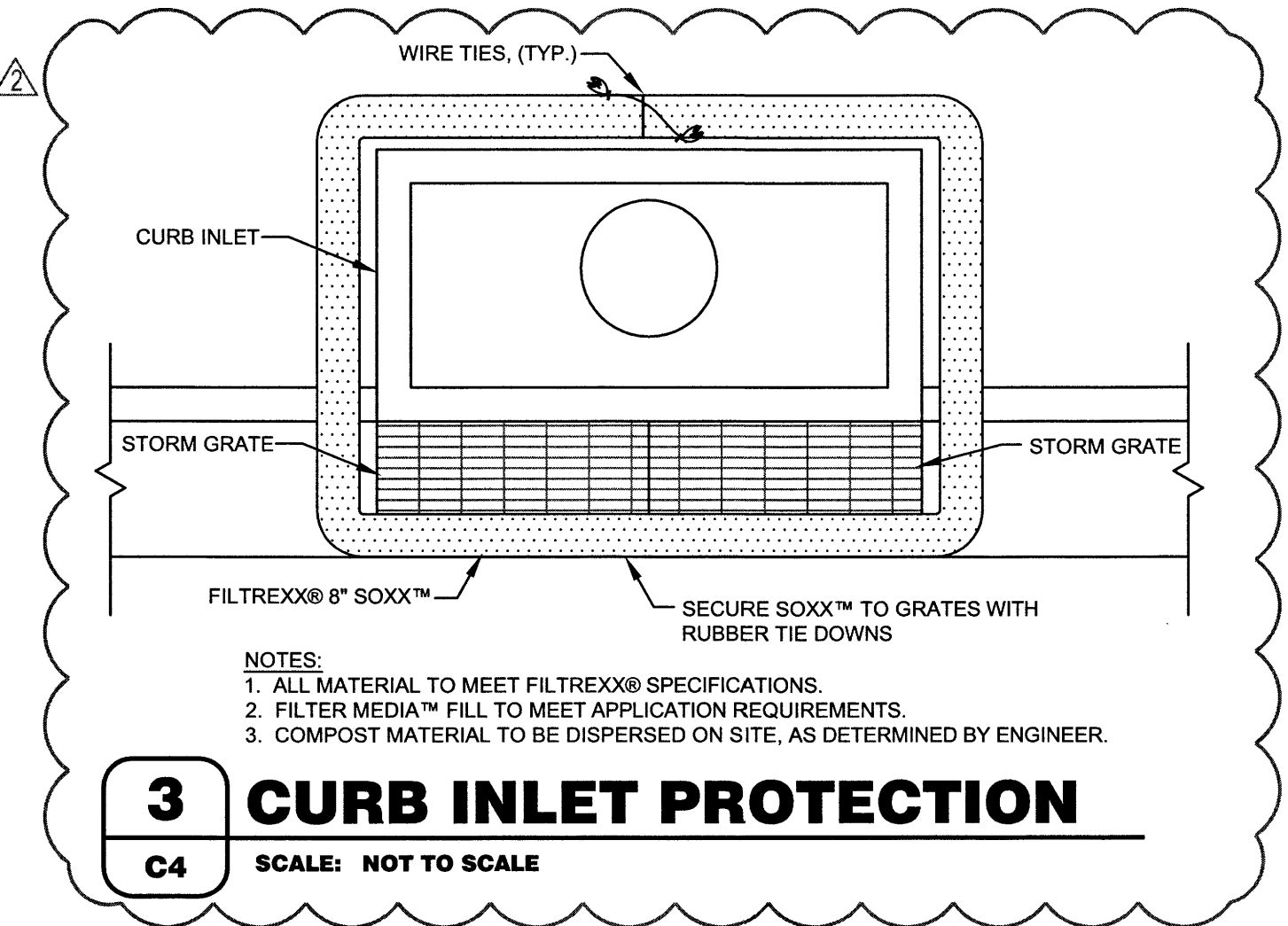
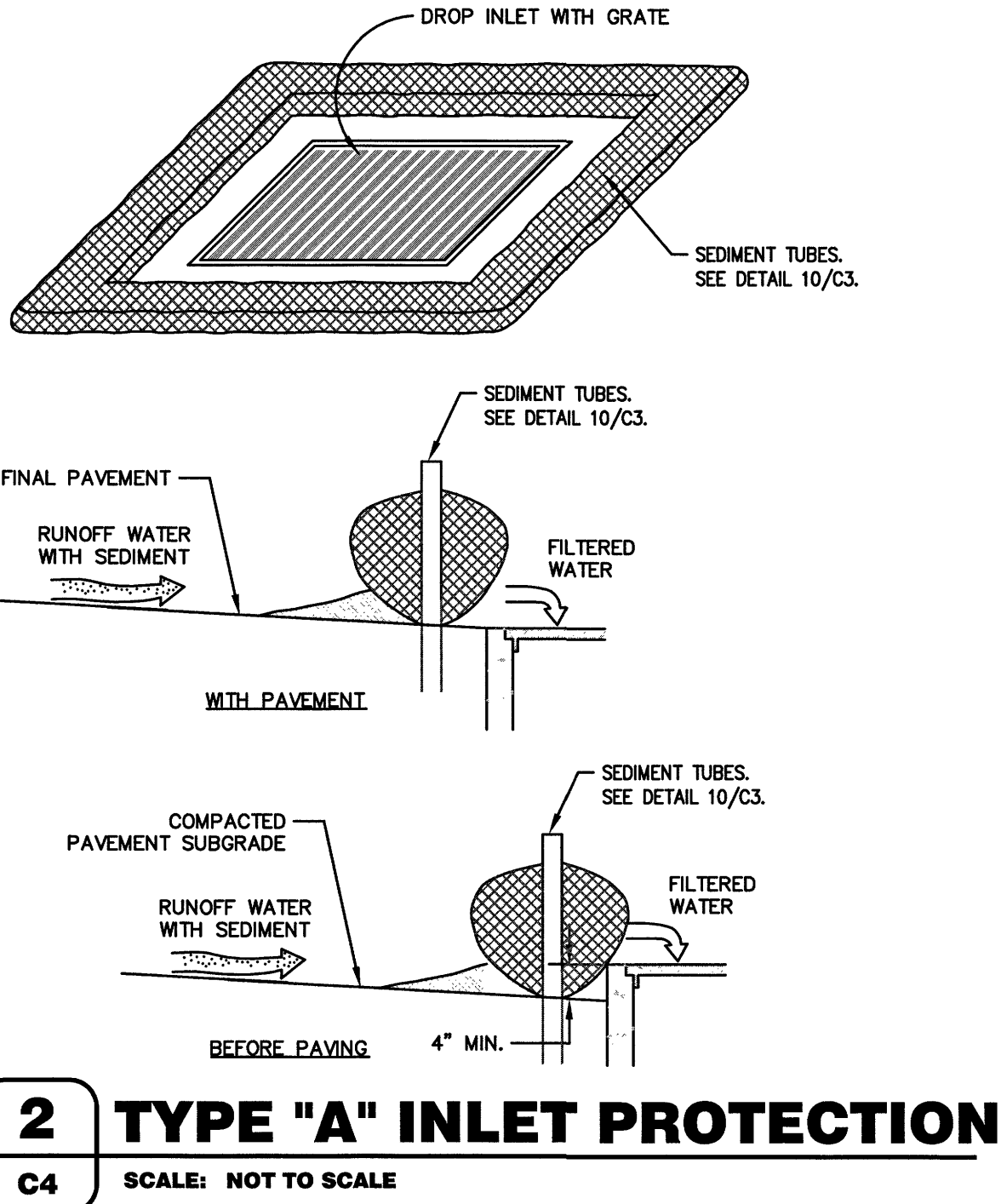
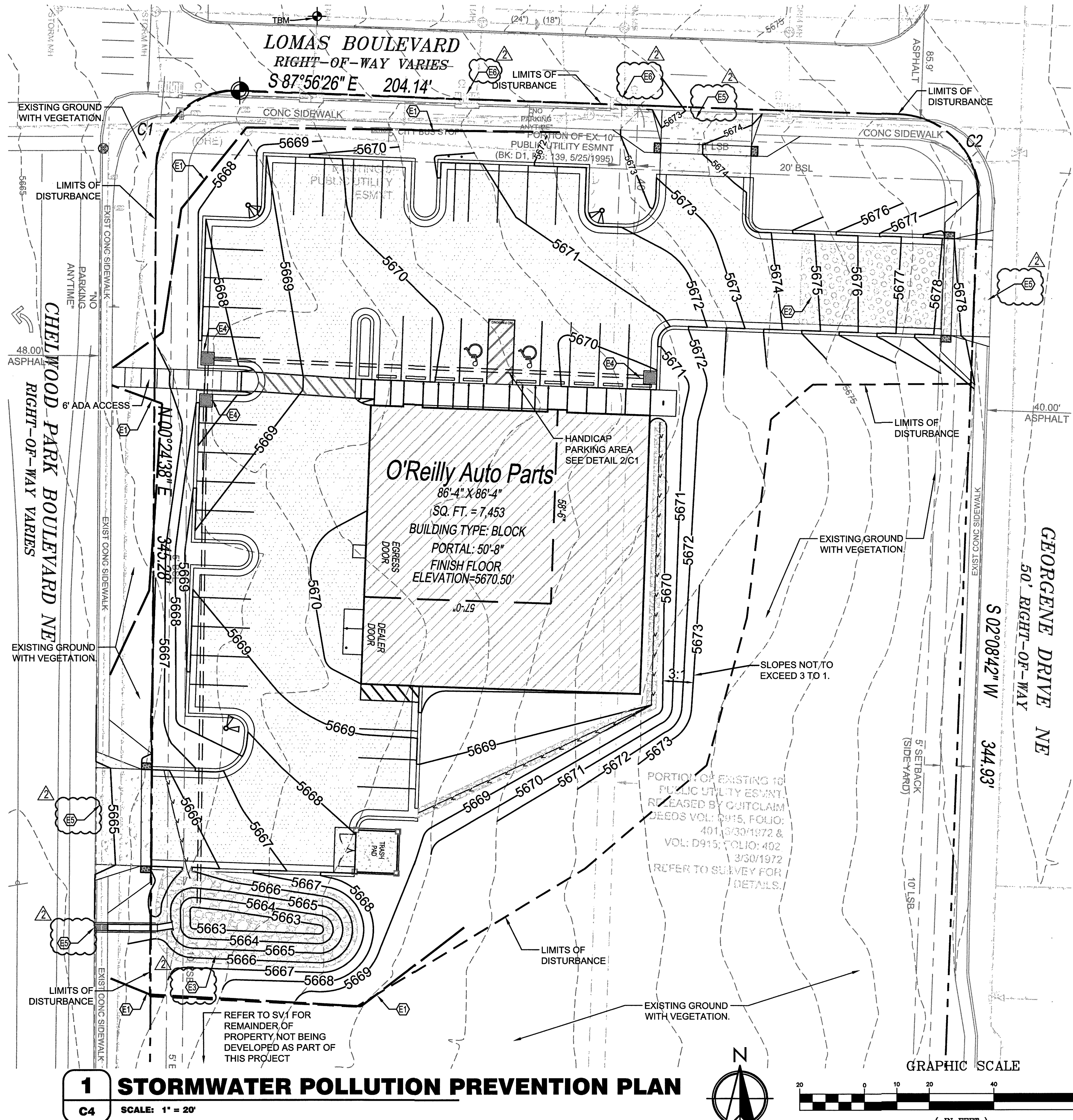
O'Reilly AUTO PARTS




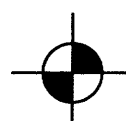
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
417-862-2674 PHONE

PROJECT:
NEW O'REILLY AUTO PARTS STORE
12700 LOMAS BLVD NE
ALBUQUERQUE, NM 87123
STORMWATER POLLUTION PREVENTION PLAN

Professional Engineer
NELS S. BRADY
18230
1-25-16

DRAWN: MRR
CHECKED: NSB
DATE: 12-11-2015
JOB NO.: 315621 (A15)
SHEET: C4
SHEET 5 OF 6



SYMBOLS LEGEND				
REFER TO SURVEY (SV1) FOR EXISTING CONDITION SYMBOLS LEGEND AND SITE CONTROL.				
---	EXISTING GRADE LINES	* 5670.00 PVT	NEW SPOT ELEVATIONS	<u>ABBREVIATION</u> NONE SW TW TC PVT GD CONC ETC EGD EPVT ESW FL TOP
---	PROPOSED NEW GRADE LINES		LIST	
	NEW BUILDING CONSTRUCTION		GRADE	
	NEW CONCRETE PAVING BLOCK		SIDEWALK	
---	SILT FENCE		TOP OF WALL	
	SURFACE FLOW ARROW	TOP OF CURB	TOP OF PAVEMENT	
			NEW GRADE	
			CONCRETE	
			EXISTING TOP OF CURB	
			EXISTING GRADE	
			EXISTING PAVEMENT	
			EXISTING SIDEWALK	
			FLOW LINE	
			TOP OF BERM	
			TEMPORARY BENCHMARK: THE TEMPORARY ELEVATION BENCHMARK UTILIZED FOR THIS SURVEY IS THE RIM OF STORM MANHOLE (#583). ELEV. = 5669.62' (NAVD 88 DATUM)	

EXECUTIVE SUMMARY:

THIS COMMERCIAL PROJECT IS LOCATED AT 12700 LOMAS BLVD NE ALBUQUERQUE, NM. O'REILLY AUTO PARTS IS PROPOSING A 7,453 SQ. FT. BUILDING AND 23,050 SQ. FT. OF PARKING LOT. THE DRAINAGE FOR THIS SITE IS DIRECTED THROUGH THE PROPOSED CATCH BASINS AND PIPES TO THE PROPOSED WATER QUALITY RETENTION POND TO THE SOUTH OF THE DRIVEWAY OFF OF CHELWOOD PARK. THE WATER QUALITY VOLUME OF 876 CUFT WILL BE RETAINED AND INFILTRATED. ALL LARGER STORM EVENTS WILL BE DIRECTED THROUGH THE CONCRETE RUNDOWN AND SIDEWALK CULVERT TO CHELWOOD PARK. THERE ARE NO OFF-SITE FLOWS CONVEYED THROUGH THE SITE. THE PROPOSED DEVELOPMENT WILL INCREASE THE DISCHARGE FROM THE SITE BY 1.08 CFS. DUE TO THE SMALL INCREASE IN RUNOFF, NO DOWNSIDE CAPACITIES WERE CALCULATED. REFER TO SHEET C4 STORMWATER POLLUTION PREVENTION PLAN FOR STORMWATER POLLUTION POTENTIAL DURING CONSTRUCTION.

LEGAL DESCRIPTION (AS-SURVEYED):

ALL OF BLOCK ONE (1) OF CHELWOOD PARK, LYING WITHIN SECTION 22, T.10N., R.4E., N.M.P.M., WITHIN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS SHOWN ON PLAT OF SURVEY FILED ON MAY 25, 1955, IN PLAT BOOK D1, FOLIO 139, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.

EXISTING CONDITIONS:

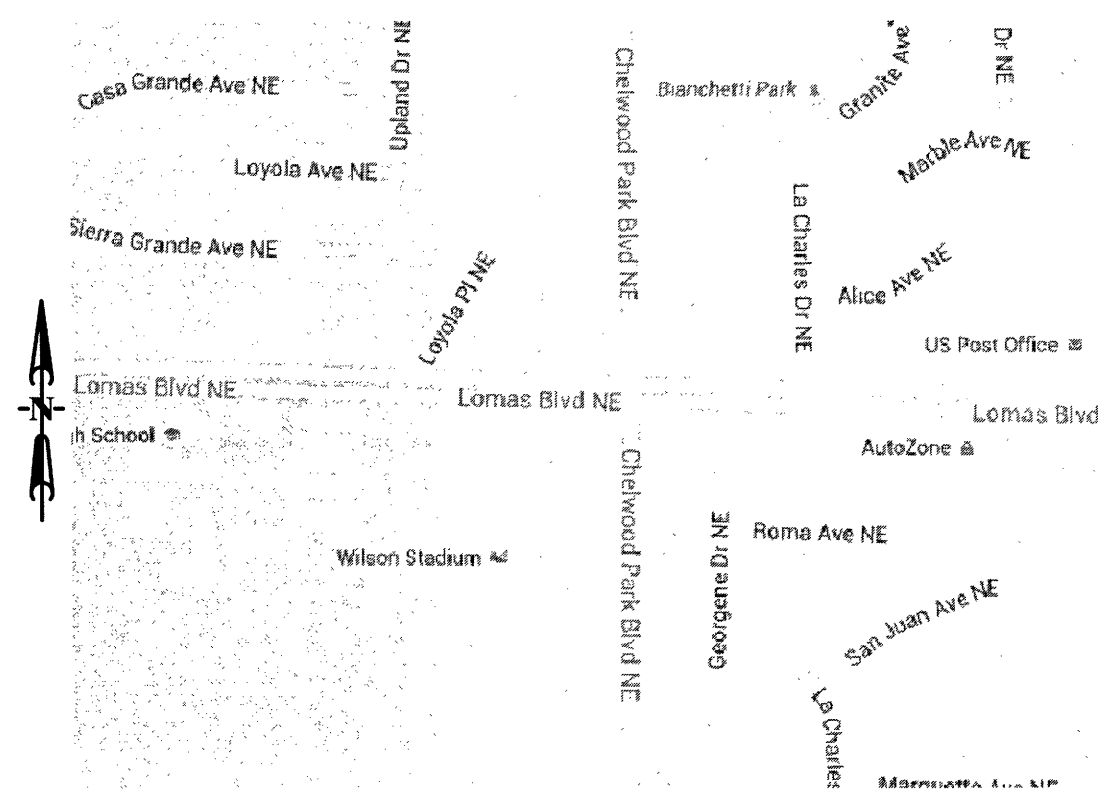
THE EXISTING SITE DRAINAGE SHEET FLOWS ACROSS THE PROPERTY TO CHELWOOD PARK TO THE WEST. THERE ARE NO EXISTING ON-SITE DRAINAGE FACILITIES. THERE ARE NO OFF-SITE DRAINAGE CONVEYED THROUGH THE SITE. REFER TO DETAIL 1/C4 FOR THE OFF-SITE DRAINAGE PATTERNS AND FACILITIES.

FLOOD ZONE:

THE PROPERTY IS LOCATED INSIDE FLOOD ZONE "X"; AREAS DETERMINED TO HAVE MINIMAL FLOODING BY FLOOD INSURANCE RATE MAP (FIRM) NO. 3500103395G, REVISED DATE: SEPTEMBER 26, 2008.

SPECIAL NOTE:
DEPRESS ALL LANDSCAPED AREAS TO RETAIN STORMWATER.

SITE INFORMATION:
THE PROPOSED SITE IS OWNED AND WILL BE OPERATED AND MAINTAINED BY O'REILLY AUTOMOTIVE STORES, INC.



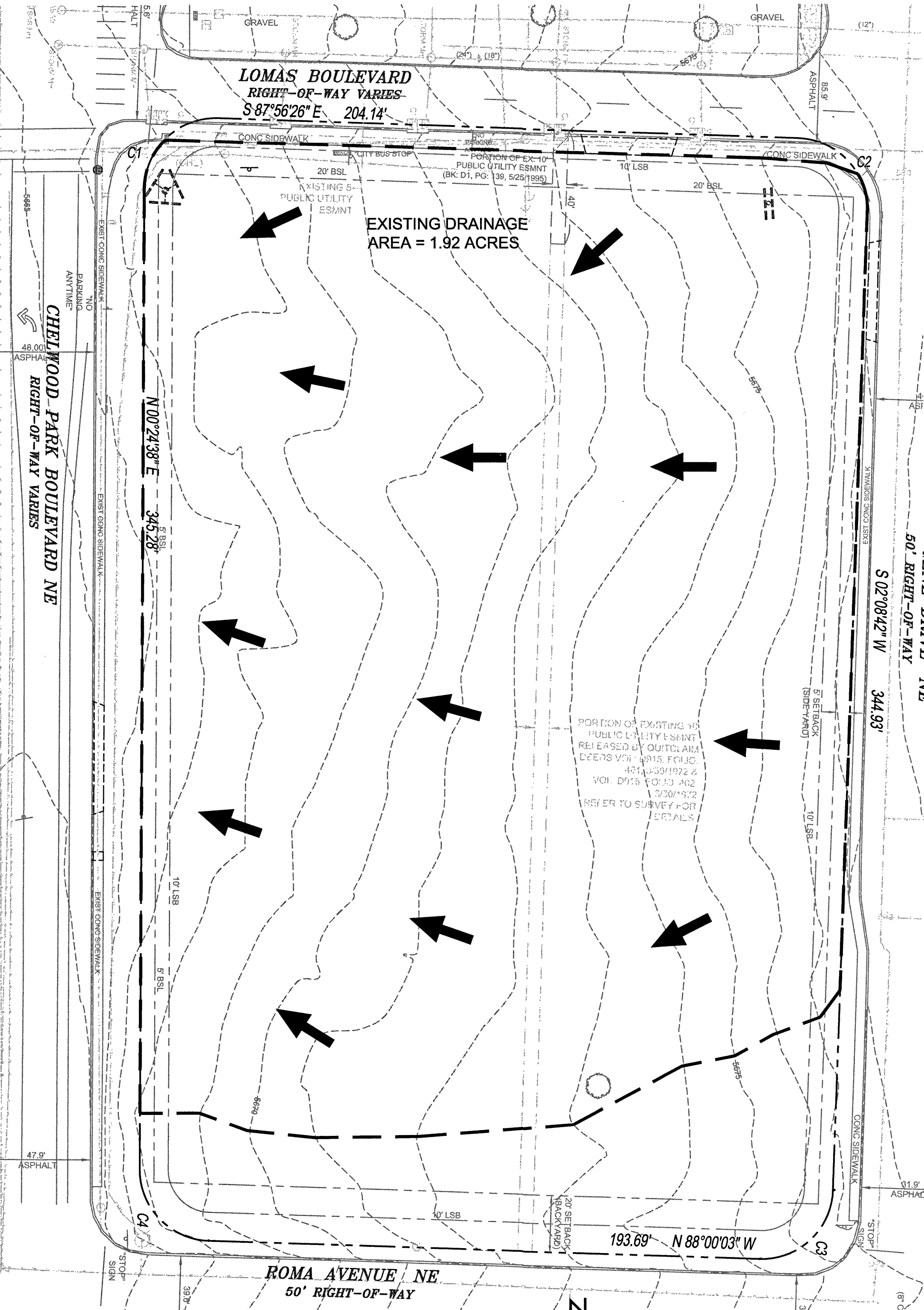
VICINITY MAP:
(NOT TO SCALE)
ZONE ATLAS PAGE: K-22-Z

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ANDERSON ENGINEERING, INC. COMM. 2520767 • NEIL S. BRADY, P.E. 16220

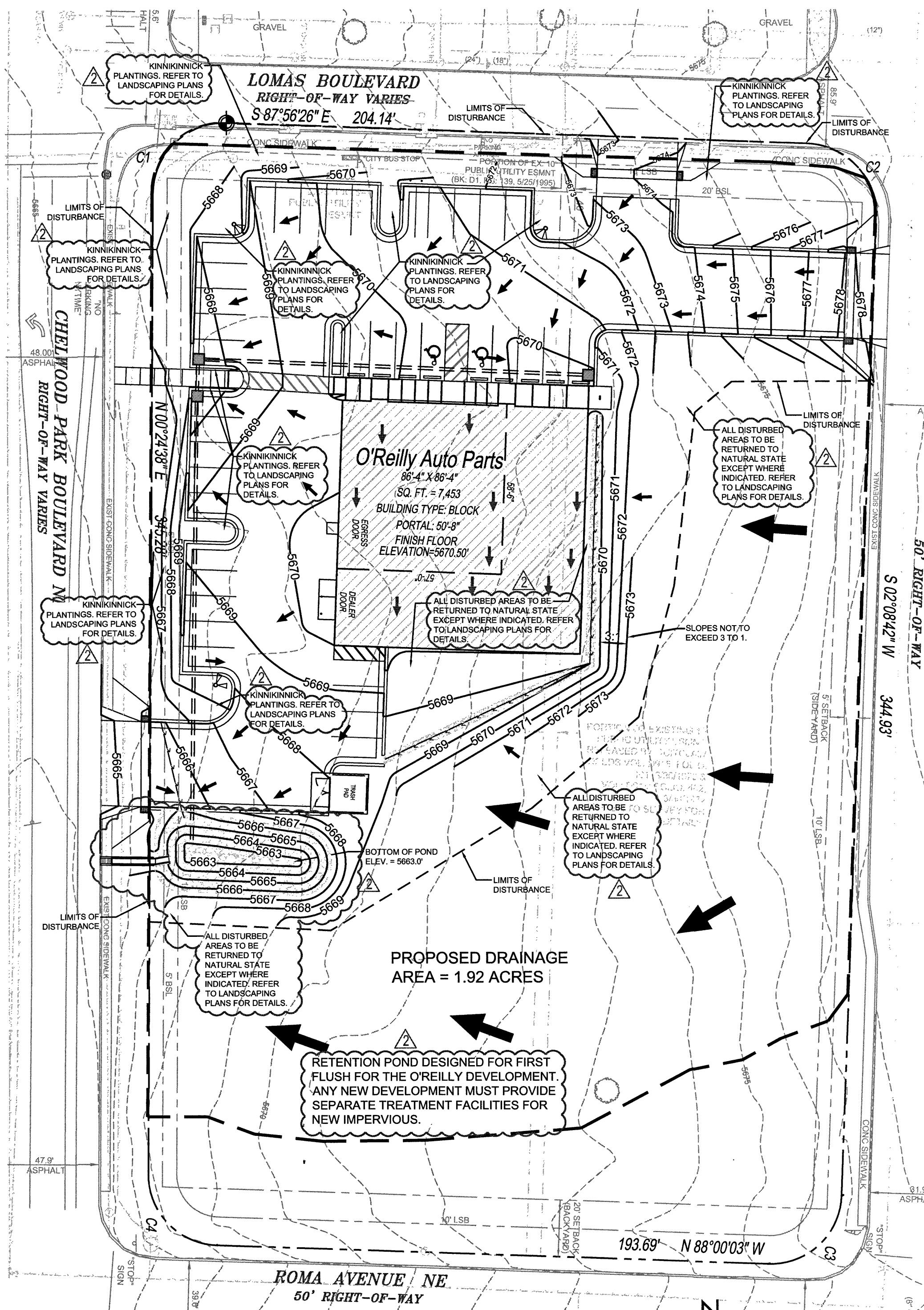
PROJ. # 10143-15
BY: MRR
REVISIONS:
CHK: NSB
DRAWING # WB-110-427

CASCO
PROJECT MANAGERS
10877 Watson Road
St. Louis, MO 63127
Phone: (314) 821-1100

REVISIONS:
CODE / ADD #1 11/12/15
CODE / ADD #2 2/1/16



1 EXISTING DRAINAGE PLAN
SCALE: 1"=30'
GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.



2 PROPOSED DRAINAGE PLAN
SCALE: 1"=30'
GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.

STORM WATER RUNOFF SUMMARY:

TOTAL PROPERTY AREA= 2.25 ACRES
TOTAL DISTURBED AREA = 1.21 ACRES > 1.0 ACRES THEREFORE A LAND DISTURBANCE PERMIT IS REQUIRED.

1. EXISTING DISCHARGE AND VOLUME CALCULATIONS:
DRAINAGE AREA = 1.92 ACRES
PRECIPITATION ZONE 4, PER TABLE A-1
DESIGN STORM: 6 HOUR, 100 YEAR
LAND TREATMENT TYPE C, PER TABLE A-4:
AREA = 1.92 ACRES
VOLUME:
EXCESS PRECIPITATION, E = 1.46 INCHES
WEIGHTED E = [(E1*A1)+(E2*A2)]/(A1 + A2) PER EQUATION a-5
WEIGHTED E = [(1.46*1.92)]/1.92
WEIGHTED E = 1.46 INCHES
VOLUME = WEIGHTED E * (A1 + A2) PER EQUATION a-6
VOLUME = (1.46*1.92) * (1.92*43,560)
VOLUME = 10,176 CUFT
DISCHARGE:
Qpa = 3.73 CFS/ACRE
Aa = 1.92 ACRES
Qp = Qpa*Aa + Qpb*Ab PER EQUATION a-10
Qp = 3.73*1.92
Qp = 7.16 CFS
2. PROPOSED DISCHARGE AND VOLUME CALCULATIONS:
DRAINAGE AREA = 1.92 ACRES
PRECIPITATION ZONE 4, PER TABLE A-1
DESIGN STORM: 6 HOUR, 100 YEAR
LAND TREATMENT TYPE C, PER TABLE A-4:
AREA = 1.21 ACRES
LAND TREATMENT TYPE D, PER TABLE A-4:
AREA = 0.71 ACRES
VOLUME:
EXCESS PRECIPITATION, E TYPE C = 1.46 INCHES
EXCESS PRECIPITATION, E TYPE D = 2.64 INCHES
WEIGHTED E = [(E1*A1)+(E2*A2)]/(A1 + A2) PER EQUATION a-5
WEIGHTED E = [(1.46*1.21) + (2.64*0.71)]/(0.50 + 0.71)
WEIGHTED E = 2.15 INCHES
VOLUME = WEIGHTED E * (A1 + A2) PER EQUATION a-6
VOLUME = (2.15*1.92) * (1.21 + 0.71) * 43,560
VOLUME = 19,117 CUFT
DISCHARGE:
Qpa, TYPE C = 3.73 CFS/ACRE
Aa = 1.21 ACRES
Qpb, TYPE D = 5.25 CFS/ACRE
Ab = 0.71 ACRES
Qp = Qpa*Aa + Qpb*Ab PER EQUATION A-10
Qp = 3.73*1.21 + 5.25*0.71
Qp = 8.24 CFS

STORM WATER RUNOFF TREATMENT:

TOTAL PROPERTY AREA= 2.25 ACRES
TOTAL DISTURBED AREA = 1.21 ACRES > 1.0 ACRES THEREFORE A LAND DISTURBANCE PERMIT IS REQUIRED.

1. ON-SITE AREAS & CURVE NUMBERS:
DRAINAGE AREA = 1.92 ACRES
PRE-DEVELOPMENT:
PERVIOUS AREA: 1.92 ACRES (LAND TREATMENT TYPE C)
IMPERVIOUS AREA: 0.00 ACRES (LAND TREATMENT TYPE D)
POST-DEVELOPMENT:
DEVELOPED GRASS GOOD CONDITION
PERVIOUS AREA = 1.92 ACRES (LAND TREATMENT TYPE C)
PARKING LOT & BUILDING:
IMPERVIOUS AREA = 0.71 ACRES (LAND TREATMENT TYPE D)
2. FIRST FLUSH RETENTION CALCULATIONS:
IMPERVIOUS AREA = 0.71 ACRES
PERVIOUS AREA = 30,930 SF
FIRST FLUSH DEPTH = 0.44 INCHES
INITIAL ABSTRACTIONS DEPTH = 0.10 INCHES
DESIGN DEPTH = 0.44 - 0.10 = 0.34 INCHES
DESIGN DEPTH = 0.0283 INCHES
REQUIRED RETENTION VOLUME:
V = (30,930 SF) * (0.0283 FT)
V = 876 CUFT
3. RETENTION VOLUME PROVIDED:
ELEVATION SUM SUM
(ft) (cu) (cu)
5663.00 0 0.000
5664.00 340 0.008
5665.00 1,011 0.023
5666.00 2,067 0.047

THE FIRST FLUSH RETENTION VOLUME REQUIREMENT IS PROVIDED WITH A RETENTION POND SOUTH OF THE SOUTHWEST DRIVEWAY AND IS MET AT 5664.80' IN THE POND. ALL STORM WATER WILL BE CONVEYED THROUGH THE STORM WATER SYSTEM TO THE RETENTION POND. THE REQUIRED RUNOFF TREATMENT VOLUME OF 876 CUFT WILL STORE IN THE POND AND INFILTRATE. ALL LARGER STORM WATER EVENTS WILL BE CONVEYED OUT OF THE SITE THROUGH THE OVERFLOW CONCRETE RUNDOWN IN THE RETENTION POND AND THE SIDEWALK CULVERT ALONG CHELWOOD PARK BOULEVARD NE. THE POND PROVIDES 1.2' OF FREEBOARD. THE RETENTION POND IS DESIGNED TO HAVE CAPACITY FOR FIRST FLUSH FOR THE O'REILLY DEVELOPMENT. ANY NEW DEVELOPMENT MUST PROVIDE SEPARATE TREATMENT FACILITIES FOR NEW IMPERVIOUS.

SYMBOLS LEGEND			
REFER TO SURVEY (SV1) FOR EXISTING CONDITION SYMBOLS LEGEND AND SITE CONTROL.			
---5670---	EXISTING GRADE LINES	+ 5670.00 PVT	NEW SPOT ELEVATIONS
—5670—	PROPOSED NEW GRADE LINES		LIST
[Symbol]	NEW BUILDING CONSTRUCTION		GRADE
[Symbol]	NEW CONCRETE PAVING BLOCK		SIDEWALK
[Symbol]	SILT FENCE		TOP OF WALL
[Symbol]	SURFACE FLOW ARROW		TOP OF CURB
			TOP OF PAVEMENT
			NEW GRADE
			CONCRETE
			EXISTING TOP OF CURB
			ETC
			EXISTING GRADE
			EPIT
			EXISTING SIDEWALK
			FL
			TOP
			TEMPORARY BENCHMARK: THE TEMPORARY ELEVATION BENCHMARK UTILIZED FOR THIS SURVEY IS THE RIM OF STORM MANHOLE (#1023). ELEV. = 5666.82' (NAVD 88 DATUM)

O'Reilly AUTO PARTS

PROJECT:
NEW O'REILLY AUTO PARTS STORE
12700 LOMAS BLVD NE
ALBUQUERQUE, NM 87123
SITE DRAINAGE PLAN

CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
417-862-2674 PHONE

Professional of Record
1-25-16
DRAWN: MRR
CHECKED: NSB
DATE: 12-11-2015
JOB NO.: 315621 (A15)
SHEET: C5
SHEET 6 OF 6

UNDERGROUND UTILITY NOTE:

UNDERGROUND UTILITY NOTE-ALL ON-SITE UTILITY FACILITIES INCLUDING BUT NOT LIMITED TO WIRES, CABLES, PIPES, CONDUITS AND APPURTENANT EQUIPMENT, CARRYING OR USED IN CONNECTION WITH THE FURNISHING OF ELECTRIC, TELEPHONE, TELEGRAPH, CABLE TELEVISION OR SIMILAR SERVICE TO A DEVELOPMENT SUBJECT TO THE PROVISIONS OF THIS CHAPTER SHALL BE PLACED UNDERGROUND EXCEPT, HOWEVER, THE FOLLOWING SHALL BE PERMITTED ABOVE GROUND. ALL ON-SITE UTILITY FACILITIES INCLUDING BUT NOT LIMITED TO WIRES, CABLES, PIPES, CONDUITS AND APPURTENANT EQUIPMENT, CARRYING OR USED IN CONNECTION WITH THE FURNISHING OF ELECTRIC, TELEPHONE, TELEGRAPH, CABLE TELEVISION OR SIMILAR SERVICE TO A DEVELOPMENT SUBJECT TO THE PROVISIONS OF THIS CHAPTER SHALL BE PLACED UNDERGROUND EXCEPT, HOWEVER, THE FOLLOWING SHALL BE PERMITTED ABOVE GROUND:

(1) ELECTRIC TRANSMISSION LINES AND FACILITIES IN EXCESS OF FIFTY (50) KILOVOLTS;

(2) EQUIPMENT SUCH AS ELECTRIC DISTRIBUTION TRANSFORMERS, SWITCH GEAR, METER PEDESTALS, TELEPHONE PEDESTALS, CATTY PEDESTALS AND POWER SUPPLIES; OUTDOOR LIGHTING POLES OR STANDARDS, RADIO ANTENNAE, TRAFFIC CONTROL DEVICES, AND ASSOCIATED EQUIPMENT, WHICH IS, UNDER ACCEPTED UTILITY PRACTICES, NORMALLY INSTALLED ABOVE GROUND;

(3) METERS, SERVICE CONNECTIONS AND SIMILAR EQUIPMENT NORMALLY ATTACHED TO THE OUTSIDE WALL OF THE CUSTOMER'S PREMISES;

(4) TEMPORARY ABOVEGROUND FACILITIES REQUIRED IN CONJUNCTION WITH AN AUTHORIZED CONSTRUCTION PROJECT.

SEPTIC AND WELL NOTE:

IF SEPTIC OR WELL SERVICES ARE LOCATED, THEY MUST BE PROPERLY ABANDONED. CONTRACTOR TO COORDINATE ALL WORK WITH APPROPRIATE REGULATING AGENCY FOR SEPTIC AND/OR WELL ABANDONMENT.

GENERAL NOTES:

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. SITE CONDITIONS BASED UPON SURVEY SUBMITTED BY OWNER. FIELD VERIFY EXISTING CONDITIONS BY DETAILED SITE INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- C. REMOVE ALL EXISTING SITE CONSTRUCTION AND DELETERIOUS MATERIALS UNLESS OTHERWISE NOTED.
- D. REFER TO SITE UTILITIES PLAN FOR DEMOLITION OF EXISTING UTILITIES.
- E. ALL DEMOLISHED MATERIALS SHALL BECOME PROPERTY OF CONTRACTOR FOR PROPER DISPOSAL UNLESS OTHERWISE NOTED.

SPECIAL HAZARDOUS MATERIALS NOTE:

1. AN ENVIRONMENTAL ANALYSIS HAS BEEN PERFORMED ON THE EXISTING SITE. REFER TO PROJECT MANUAL.
2. IF THIS PROJECT CONTAINS HAZARDOUS MATERIALS CONTRACTOR IS TO PROVIDE PROPER HANDLING, REMOVAL AND DISPOSAL PER ENVIRONMENTAL ANALYSIS RECOMMENDATIONS.



ANDERSON
ENGINEERING, INC.

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ANDERSON ENGINEERING, INC. CONF 2320767 • N.E.L. S. BRADY, P.E. 16250

PROJ. # 10143-15

BY: MRR

CD: NSB

DRAWING # WB-110-427



PROJECT MANAGERS
10877 Watson Road
St. Louis, MO 63127
Phone: (314) 821-1100

REVISIONS:

CODE / ADD #1	12/11/15

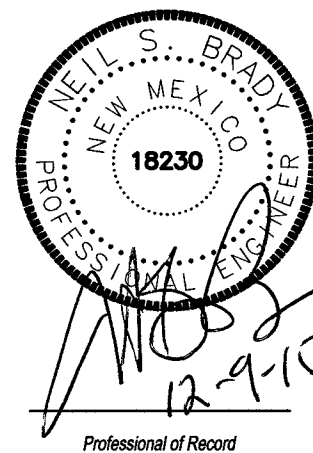
O'Reilly AUTO PARTS

CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
417-882-2674 PHONE

PROJECT: NEW O'REILLY AUTO PARTS STORE

12700 LOMAS BLVD NE
ALBUQUERQUE, NM 87123

SITE DEMOLITION PLAN

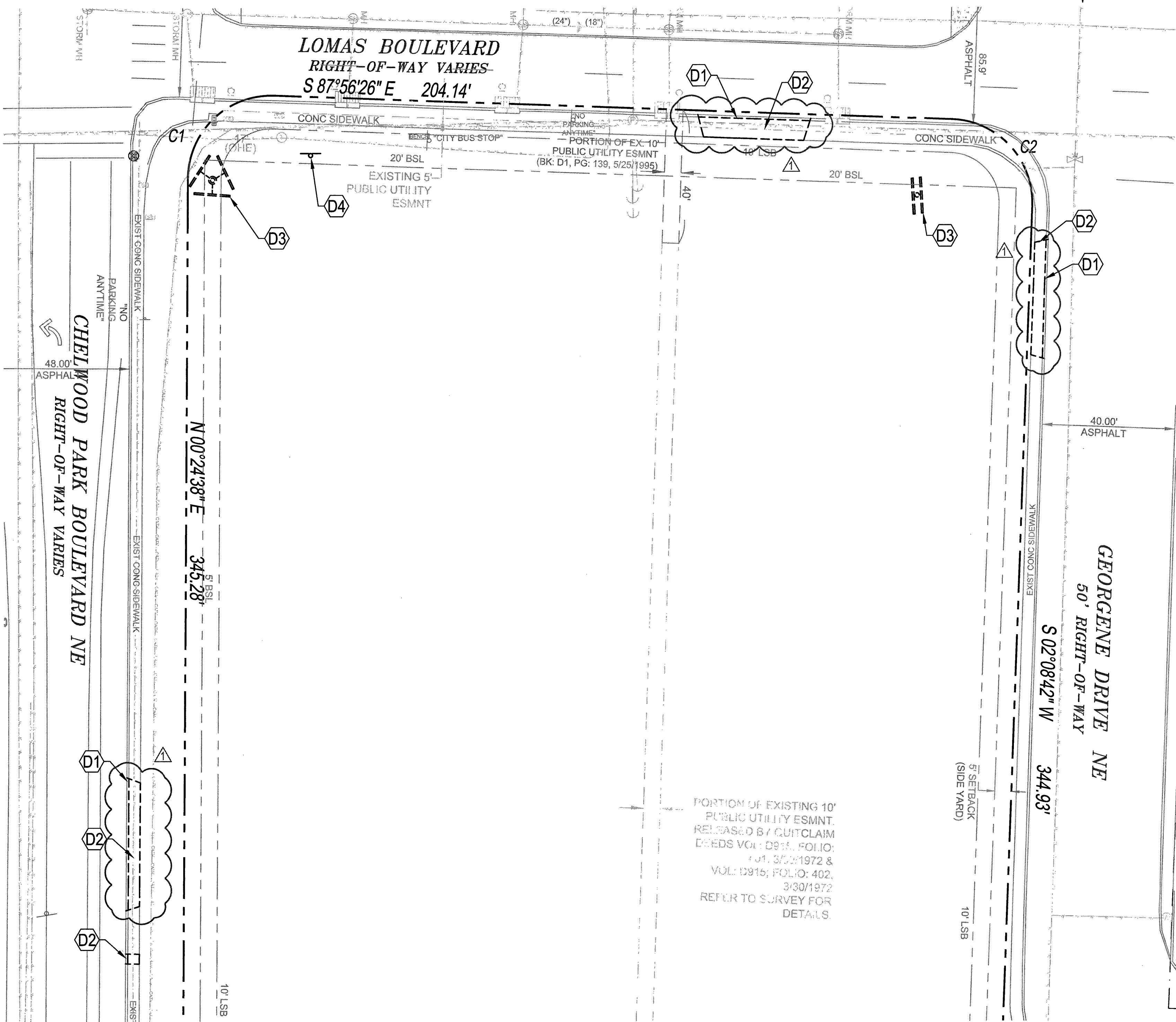


DRAWN: MRR
CHECKED: NSB
DATE: 10-08-2015
JOB NO.: 315621 (A15)
SHEET:

D1

SHEET 1 OF 1

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KEY NOTES:

- D1) EXISTING CURB TO BE REMOVED.
- D2) EXISTING SIDEWALK TO BE REMOVED.
- D3) EXISTING ADVERTISEMENT SIGN TO BE REMOVED.
- D4) EXISTING "FOR SALE" SIGN TO BE REMOVED.

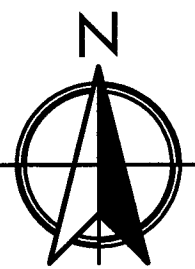
SYMBOLS LEGEND

REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS
LEGEND

EXISTING ITEMS TO BE REMOVED

1 SITE DEMOLITION PLAN

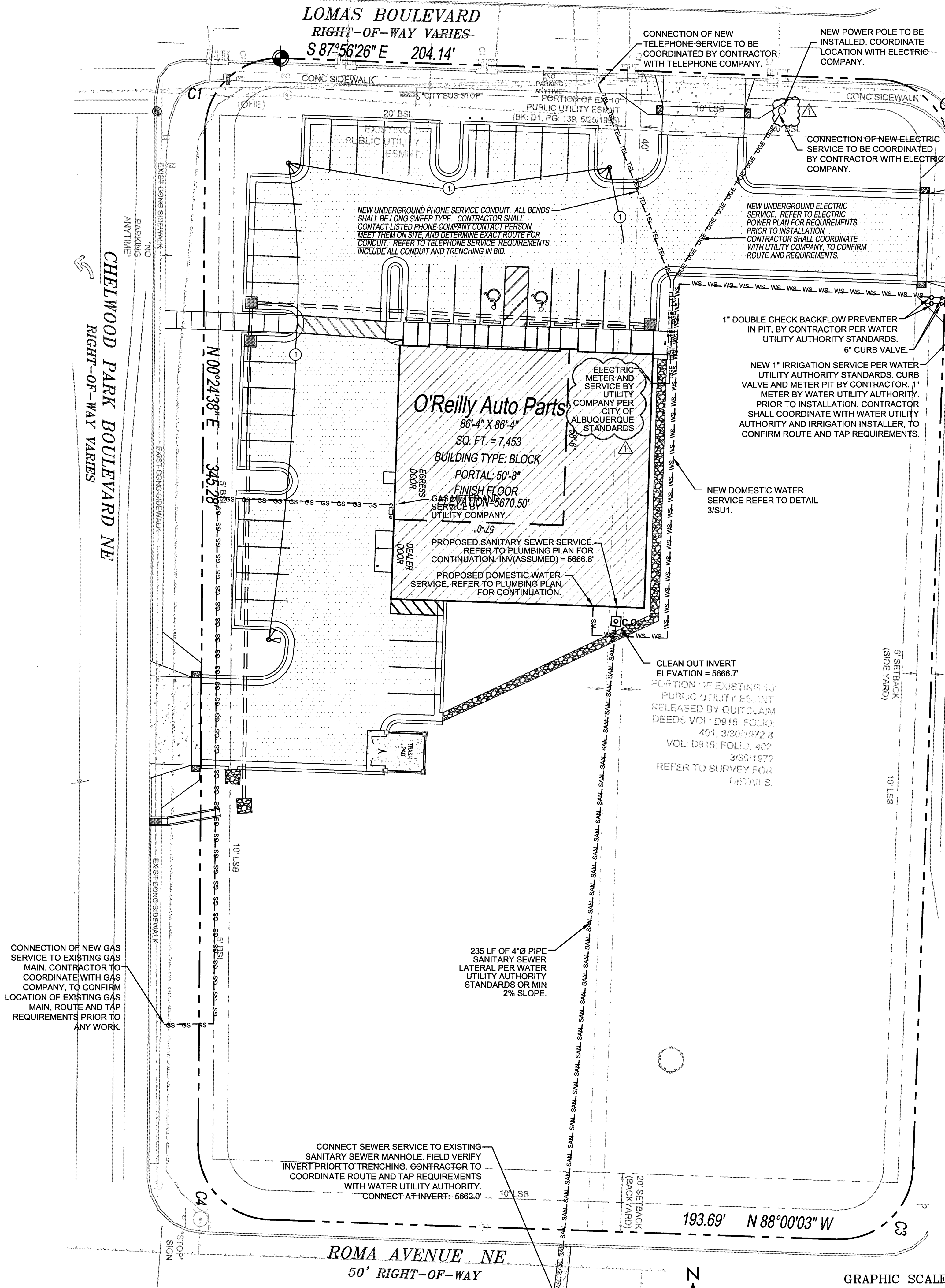
D1 SCALE: 1" = 20'



GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.



1 SITE UTILITY PLAN
SU1 SCALE: 1" = 20'

EXISTING CONDITIONS NOTES:

1. THE CONTRACTOR IS OBLIGATED TO INSPECT FOR EXISTING CONDITIONS/INSTALLATIONS AND AVAILABLE INFORMATION PRIOR TO SUBMITTING A BID. REFER TO SPECIFICATIONS ALSO.
2. EXISTING INSTALLATIONS (SUCH AS WATER MAINS, GAS MAINS, SEWER MAINS, TELEPHONE LINES, POWER LINES, AND UTILITY STRUCTURES IN THE VICINITY OF THE WORK TO BE DONE) ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT THAT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR DISCOVERED BY THE ENGINEER IN PREPARING THE DRAWINGS. THERE IS NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION, AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED.
3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING ALL EXISTING INSTALLATIONS.
4. ANY DELAY, ADDITIONAL WORK, FEES OR EXTRA COST TO THE CONTRACTOR CAUSED BY OR RESULTING FROM DAMAGE TO OR MODIFICATION OF EXISTING INSTALLATIONS BY THE CONTRACTOR OR EXISTING UTILITY COMPANY SHALL NOT CONSTITUTE A CLAIM FOR EXTRA WORK, ADDITIONAL PAYMENT OR DAMAGES.
5. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION PRIOR TO SUBMITTING HIS BID. NO EXTRAS WILL BE PAID DUE TO UNANTICIPATED EXISTING CONDITIONS/INSTALLATIONS.



ANDERSON (AE) ENGINEERING, INC.
ENGINEERS - SURVEYORS - LABORATORIES - DRILLING
2045 W. WOODLAND - SPRINGFIELD, MISSOURI 65807 • PHONE (417) 866-2741
ANDERSON ENGINEERING, INC. CO# 2820767 • NEIL S. BRADY, P.E. 18230

REVISIONS:
BY: MRR
DATE: 10/13/15
10143-15
DRAWING #
WB-110-427

**CONTRACTOR CAUTION!!
VERIFY SEWER LINE ELEVATION**

BEFORE STARTING ANY BUILDING PAD GRADING AND PLUMBING WORK THE CONTRACTOR SHALL FIELD VERIFY LOCATION, MATERIAL, CONDITION, ACCESSIBILITY (INCLUDING STATE HIGHWAY OR OTHER RIGHTS-OF-WAY) AND WORKABLE FLOW LINE ELEVATION OF THE EXISTING SANITARY SEWER SERVICE LINE OR MAIN.

IF A WORKABLE FLOW LINE HAS NOT BEEN ESTABLISHED AT THE TIME OF FINAL SANITARY SEWER SERVICE CONNECTION, THEN THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXPENSES ASSOCIATED WITH THE INSTALLATION OF A NEW GRINDER PUMP SYSTEM TO MEET OWNER AND LOCAL REQUIREMENTS.

TELEPHONE SERVICE REQUIREMENTS:

SPECIAL NOTE: NEW SERVICE TO BUILDING SHALL BE AN UNDERGROUND SERVICE. CONTRACTOR SHALL SCHEDULE INSTALLATION OF U/G TELEPHONE SERVICE CONDUIT WITH OWNER. CONTACT (417) 874-7288.

SCHEDULE 40 PVC CONDUIT WITH RIGID GALVANIZED STEEL LONG SWEEP BENDS @ 18" 24" DEPTH FOR PHONE SERVICE. PROVIDE MINIMUM 1/4" POLYPROPYLENE PULL LINE. PLACE CONDUIT A MINIMUM OF 12" FROM U/G ELECTRICAL CONDUITS IN SAME TRENCH.

CAP CONDUIT AT PROPERTY LINE BELOW FINISHED GRADE AND INSTALL CABLE MARKER FOR PHONE COMPANY, IF NECESSARY. OTHERWISE, CONTINUE PHONE SERVICE CONDUIT TO A POLE AND INSTALL RIGID GALVANIZED STEEL CONDUIT TO A MINIMUM 10' ABOVE FINISH GRADE. ATTACHED TO POLE.

CONTRACTOR SHALL COORDINATE INSTALLATION AND VERIFY REQUIREMENTS WITH PHONE COMPANY, PLUS INCLUDE ALL FEES (IF ANY). BY PHONE COMPANY FOR INSTALLATION OF 25 PAIR CABLE IN MENTIONED CONDUIT, TO CONTRACTOR INSTALLED 4"x8"x34" BACKBOARD WITHIN BUILDING. CONTRACTOR SHALL PROVIDE #6 AWG G.U. GROUND TO TELEPHONE EQUIPMENT LOCATION, FROM ELECTRICAL GROUNDING ELECTRODE SYSTEM. FINAL CONNECTIONS AND INSIDE PHONE WIRING BY OWNER.

ONLY IF UNDERGROUND PHONE SERVICE IS NOT AVAILABLE, THEN MAY CONTRACTOR INSTALL APPROPRIATE OVERHEAD PHONE SERVICE RISER, WEATHERHEAD, ETC. COORDINATE WITH OWNER AND PHONE CO.

SAWCUT NOTE:

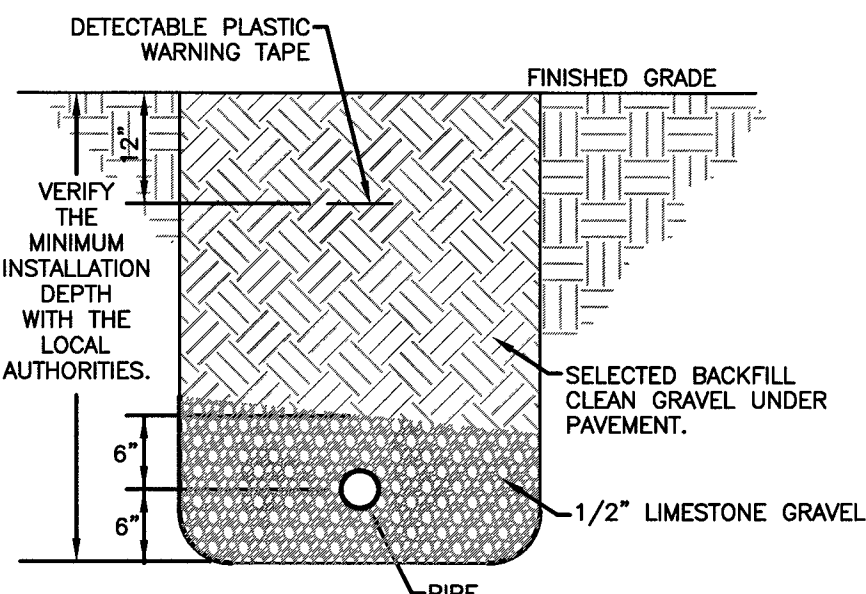
WHERE NEW UTILITY SERVICES ARE ROUTED UNDER EXISTING PAVED AREAS, ALL EXISTING PAVING SHALL BE REMOVED IN THE FOLLOWING STEPS:
1) SAWCUTTING PAVING.
2) REMOVAL AND TRENCHING.
3) INSTALLATION OF UTILITY.
4) BACKFILL AND COMPACTION.
5) INSTALLATION OF NEW PAVING THAT MATCHES THE EXISTING SURROUNDING PAVING IN BOTH MATERIAL AND ELEVATION.
CONTRACTOR SHALL COORDINATE, OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND LICENSES TO PERFORM THIS WORK AND SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL WHILE PERFORMING SAWCUTTING OPERATIONS AS NECESSARY.

BRANCH CIRCUIT & FEEDER SCHEDULE:

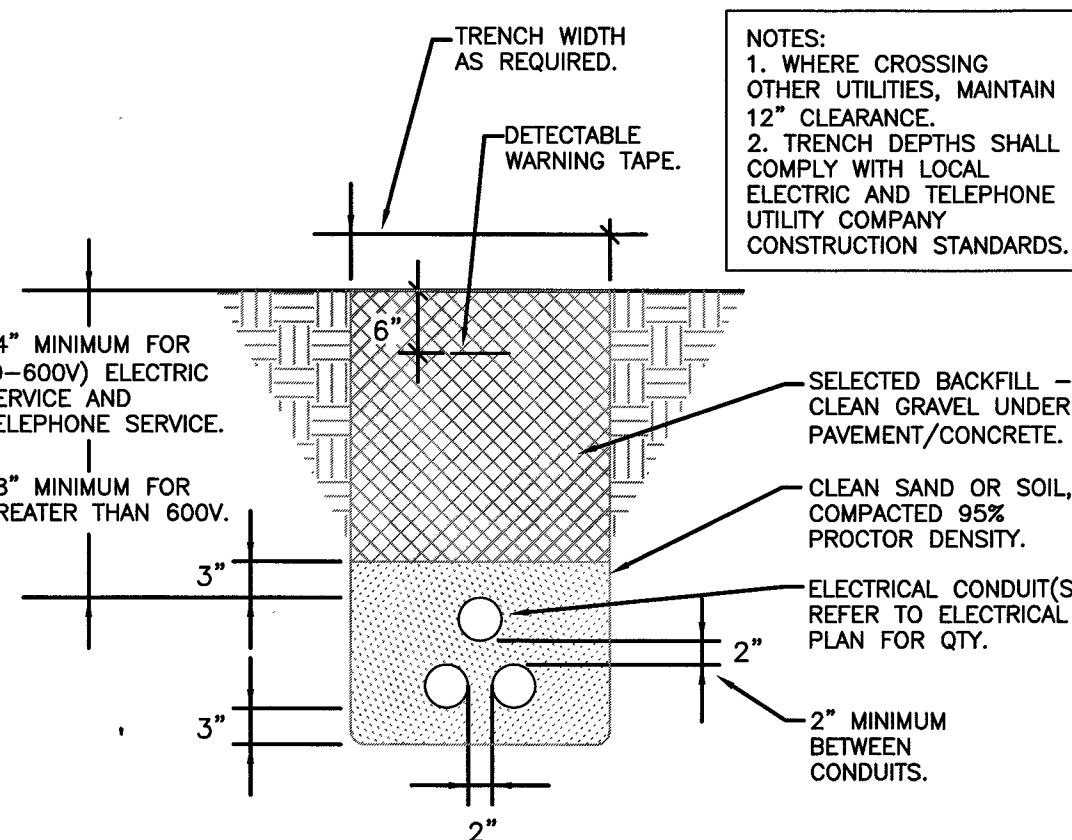
- 1 2-#8 AND 1-#10 GROUND IN 0.75" CONDUIT.

GENERAL NOTES:

1. BRANCH CIRCUIT CONDUCTOR SIZES ARE INCREASED, TO ALLOW FOR VOLTAGE DROP.
2. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES, USING UTILITY COMPANY CONTACT INFORMATION GIVEN. COORDINATE FOR ALL UTILITY WORK SHOWN. GIVE UTILITY COMPANIES NOTICE OF CONSTRUCTION START DATE AND ESTIMATED COMPLETION DATE.



3 PIPE INSTALLATION DETAIL
SU1 SCALE: NOT TO SCALE



2 UNDERGROUND ELECTRICAL CONDUITS
SU1 SCALE: NOT TO SCALE

UNDERGROUND UTILITY NOTE:

UNDERGROUND UTILITY NOTE: ALL ON-SITE UTILITY FACILITIES INCLUDING BUT NOT LIMITED TO WIRES, CABLES, PIPES, CONDUITS AND APPURTENANT EQUIPMENT, CARRYING OR USED IN CONNECTION WITH THE FURNISHING OF ELECTRIC, TELEPHONE, TELEGRAPH, CABLE TELEVISION OR SIMILAR SERVICE TO A DEVELOPMENT SUBJECT TO THE PROVISIONS OF THIS CHAPTER SHALL BE PLACED UNDERGROUND EXCEPT, HOWEVER, THE FOLLOWING SHALL BE PERMITTED ABOVE GROUND. ALL ON-SITE UTILITY FACILITIES INCLUDING BUT NOT LIMITED TO WIRES, CABLES, PIPES, CONDUITS AND APPURTENANT EQUIPMENT, CARRYING OR USED IN CONNECTION WITH THE FURNISHING OF ELECTRIC, TELEPHONE, TELEGRAPH, CABLE TELEVISION OR SIMILAR SERVICE TO A DEVELOPMENT SUBJECT TO THE PROVISIONS OF THIS CHAPTER SHALL BE PLACED UNDERGROUND EXCEPT, HOWEVER, THE FOLLOWING SHALL BE PERMITTED ABOVE GROUND:
(1) ELECTRIC TRANSMISSION LINES AND FACILITIES IN EXCESS OF FIFTY (50) KILOVOLTS.
(2) EQUIPMENT SUCH AS ELECTRIC DISTRIBUTION TRANSFORMERS, SWITCH GEAR, METER PEDESTALS, TELEPHONE PEDESTALS, CITY PEDESTALS AND POWER SUPPLIES, OUTDOOR LIGHTING POLES OR STANDARDS, RADIO ANTENNAE, TRAFFIC CONTROL DEVICES, AND ASSOCIATED EQUIPMENT, WHICH IS, UNDER ACCEPTED UTILITY PRACTICES, NORMALLY INSTALLED ABOVE GROUND.
(3) METERS, SERVICE CONNECTIONS AND SIMILAR EQUIPMENT NORMALLY ATTACHED TO THE OUTSIDE WALL OF THE CUSTOMER'S PREMISES.
(4) TEMPORARY ABOVEGROUND FACILITIES REQUIRED IN CONJUNCTION WITH AN AUTHORIZED CONSTRUCTION PROJECT.

NEW UTILITIES SYMBOLS

(SYMBOLS APPLY ONLY WHEN USED ON DRAWINGS)	
— WS — WS — WS —	WATER SERVICE
— SAN — SAN — SAN —	SANITARY SEWER SERVICE
— UGE — UGE — UGE —	U/G ELECTRIC
— TEL — TEL — TEL —	U/G PHONE
— GS — GS — GS —	GAS SERVICE
— T — T — T —	U/G PHONE (BY PHONE CO.)
— OHE — OHE — OHE —	OVERHEAD ELECTRIC
— OHT — OHT — OHT —	OVERHEAD PHONE
— FO — FO — FO —	FIBER OPTIC CABLE
	SAW CUT
	BORE

P.O.C. = POINT OF CONNECTION BETWEEN SITE PIPING (SPEC 33 00 00) AND BUILDING PIPING (SPEC 22 00 00, 21 13 13). AS NECESSARY - SPEC 22 00 00 DENOTES LANDSCAPE IRRIGATION.

O'Reilly AUTO PARTS

PROJECT:
NEW O'REILLY AUTO PARTS STORE
12700 LOMAS BLVD NE
ALBUQUERQUE, NM 87123
SITE UTILITY PLAN



DRAWN: MRR
CHECKED: NSB
DATE: 10-08-2015
JOB NO.: 315621 (A15)
SHEET:

SU1
SHEET 1 OF 1