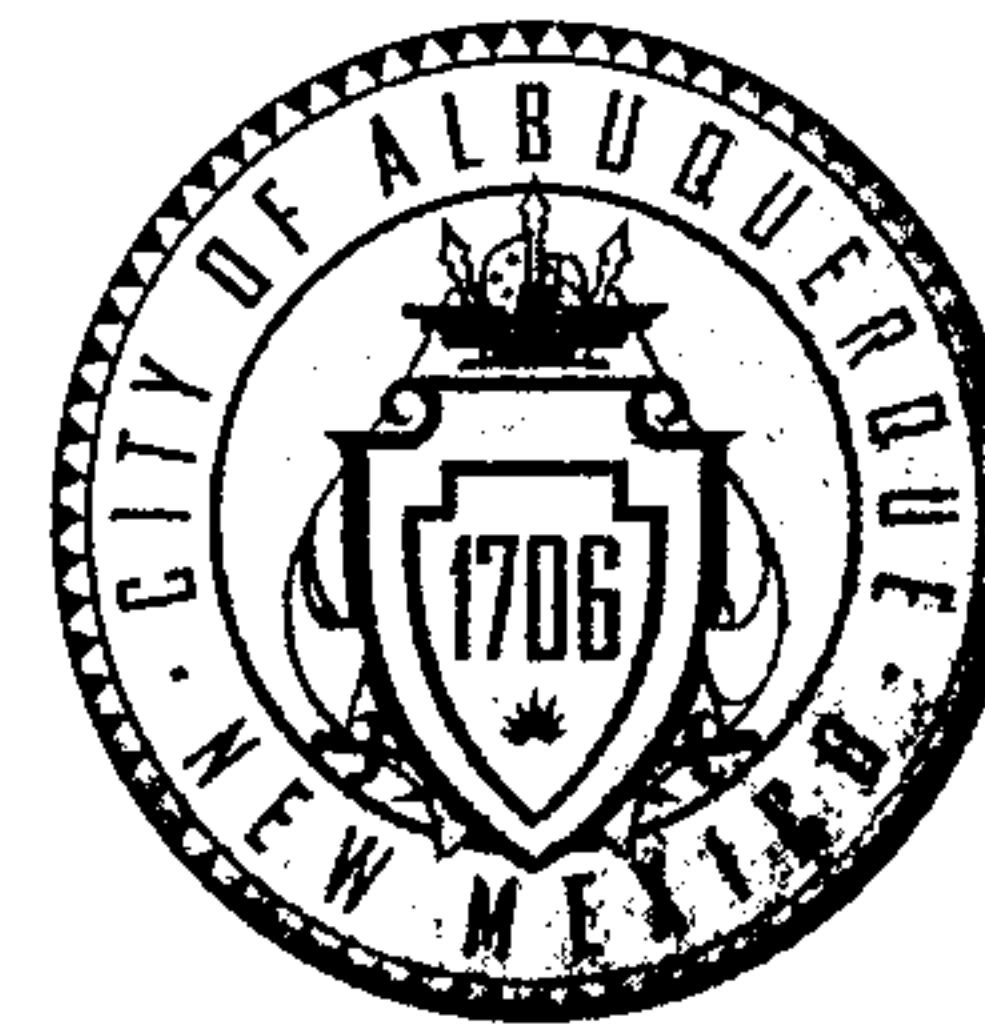


CITY OF ALBUQUERQUE



September 19, 2016

J. Graeme Means, PE
High Mesa Consulting Group
6010 -B Midway Park Blvd NE
Albuquerque, NM 87109

**Re: O'Reilly Auto Parts
12700 Lomas NE
Request Permanent C.O. - Accepted
Engineer's Stamp dated: 1/28/2016 (K22D019)
Certification dated: 9-8-16**

Dear Mr. Means,

Based on the Certification received 9/8/2016, the site is acceptable for release of Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3982 or Totten Elliott at 924-3982.

Albuquerque

Sincerely,

New Mexico 87103

Abiel Carrillo, P.E.
Principal Engineer, Planning Department
Development and Review Services

www.cabq.gov

TE/AC

C: email,

Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.;
Lois Blocker

CITY OF ALBUQUERQUE



September 9, 2016

J. Graeme Means, PE
High Mesa Consulting Group
6010 -B Midway Park Blvd NE
Albuquerque, NM 87109

**Re: O'Reilly Auto Parts
12700 Lomas Blvd NE
Request 60-Day Temporary C.O. – Accepted
Engineer's Stamp dated: 1/28/2016 (K22D019)
Certification dated: 9-8-16**

Dear Mr. Means

Based on the Certification received 9/8/2016, the above referenced is approved for a 60-day Temporary Release of Occupancy by Hydrology. However, before a permanent CO can be accepted the following comments must be addressed.

- | | |
|------------------|--|
| PO Box 1293 | • The plate on the sidewalk culvert at the curb end is past the face. It needs to be shortened flush with the curb or preferably shorter as to not damage the tires of a parked vehicle. |
| Albuquerque | • Two bolts are missing on the S/W culvert. At least four of the bolts need to be tack-welded. |
| | • There is no expansion material on both sides of the culvert. It can be saw cut and filled with NP-1 sealant. |
| New Mexico 87103 | • It is recommended the ponding on the street at the new curb and gutter be investigated. |

www.cabq.gov An inspection by our office will need to take place after these corrects are made.

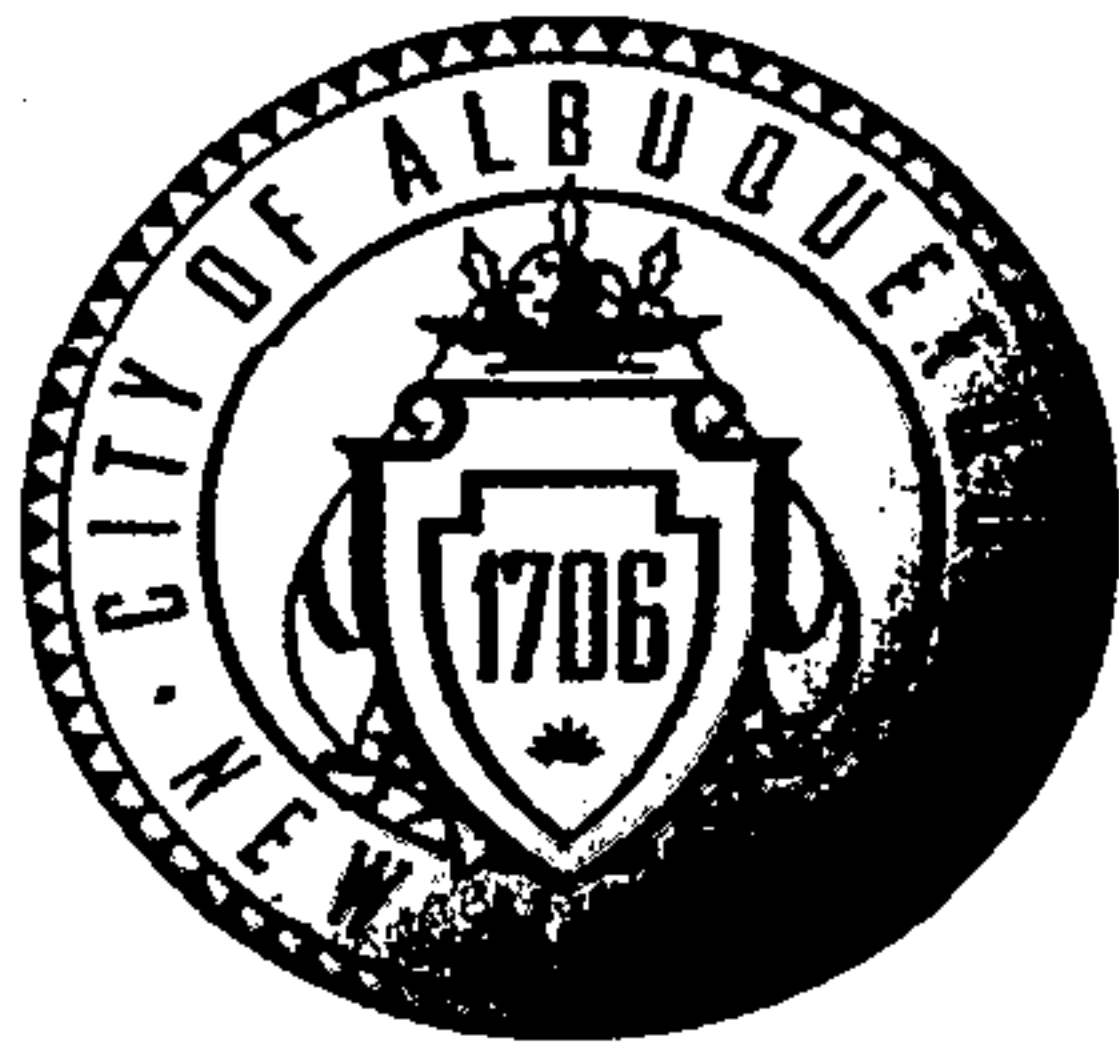
If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

Sincerely,

Abiel Carrillo, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

TE/AC
C: email

Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Lois Blocker



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: O'Reilly Auto Parts - Albuquerque, NM (A15) Building Permit #: T201592448 City Drainage #: K22-D019

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: All of Block One (1) of Chelwood Park

City Address: 12700 Lomas Blvd NE, Albuquerque, NM 87123

Engineering Firm: High Mesa Consulting Group Contact: Graeme Means

Address: 6010-B Midway Park Blvd. NE, Albuquerque, NM 87109

Phone#: (505) 345-4250 Fax#: (505) 345-4254 E-mail: gmeans@highmesacg.com

Owner: O'Reilly Automotive Stores, Inc. Contact: Sheldon Jennings

Address: 233 South Patterson, Springfield, MO 65802

Phone#: (417) 862-2674 Fax#: (417) 874-7112 E-mail: sjennings@oreillyauto.com

Architect: CASCO Contact: Mike Chura

Address: 10877 Watson Road, St. Louis, MO 63127

Phone#: (314) 821-1100 Fax#: (314) 821-4162 E-mail: oreillygu@cascocorp.com

Other Contact: Anderson Engineering, Inc. (Design Engineer) Contact: Paul J. Engel

Address: 2045 W. Woodland, Springfield, MO 65807

Phone#: (417) 866-2741 Fax#: (417) 866-2778 E-mail: pengel@aeincmo.com

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

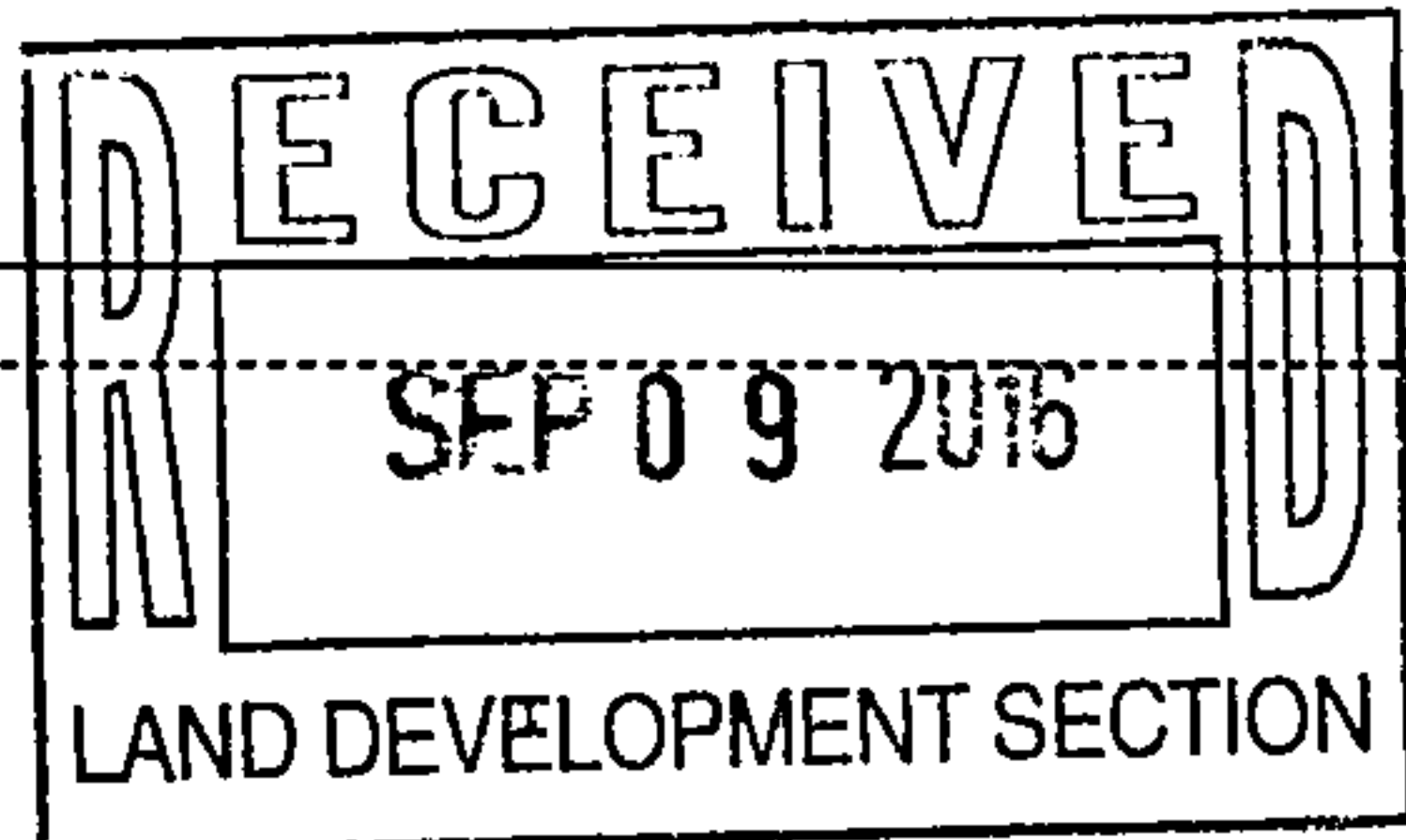
CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
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☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
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☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 09/09/2016 By: Ryan Curlev

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____



CITY OF ALBUQUERQUE

Planning Department

Suzanne Lubar, Director



February 2, 2016

Paul J. Engel, P.E.
Anderson Engineering, Inc.
2045 W. Woodland
Springfield MO, 87123

RE: **O'Reily Auto Parts**
12700 Lomas Blvd NE
Grading and Drainage Plan
Engineers Stamp Date 1/28/16 (K22D019)

Dear Mr. Engel,

Based upon the information provided in your submittal received 2/1/2016, this plan is approved for Grading Permit, Paving Permit and Building Permit. However, before construction may begin an ESC permit must be approved before any work may commence.

Please inform the Architect/Owner or the contractor to attach a copy of this approved plan dated 1/28/16 to the construction sets in the permitting process prior to sign-off by Hydrology. If this plan is not with the construction plan sets the permitting process will be held up until the plan is provided.

PO Box 1293

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

If you have any questions please contact me at 924-3986 or Rudy Rael at 924-3977.

New Mexico 87103

Sincerely,

www.cabq.gov

Abiel Carrillo, P.E.
Principal Engineer, Hydrology
Planning Department

RR/AC
C: File



January 28, 2016

projectno 10030-16

Mr. Abiel Carrillo, P.E.
Principal Engineer, Hydrology
City of Albuquerque
602 2nd Street NW
Albuquerque, NM 87102
(505) 924-3986

RE: O'Reilly Auto Parts – Grading and Drainage Plan
12700 Lomas Boulevard NE
City of Albuquerque
Albuquerque Grading and Drainage Plan K22-D019

Mr. Carrillo,

The following is in response to your review comments from the Grading and Drainage Plan Review on 1/15/2016.

Comment 1: *The south pond needs to be landscaped with cobble stone or some type of erosion protection to prevent sedimentation or debris from entering the public right of way. Also is the area along the limits of disturbance landscaped?*

Response 1: The pond is now called out to be rip rap lined. The area along the limits of disturbance is called out to be returned to natural state as now indicated on Sheet C5.

Comment 2: *The sidewalk culvert needs to be extended two feet passed the property line.*

Response 2: The sidewalk culvert has been extended two feet into the property line.

Comment 3: *Is the area between the building and the gravel swale landscaped?*

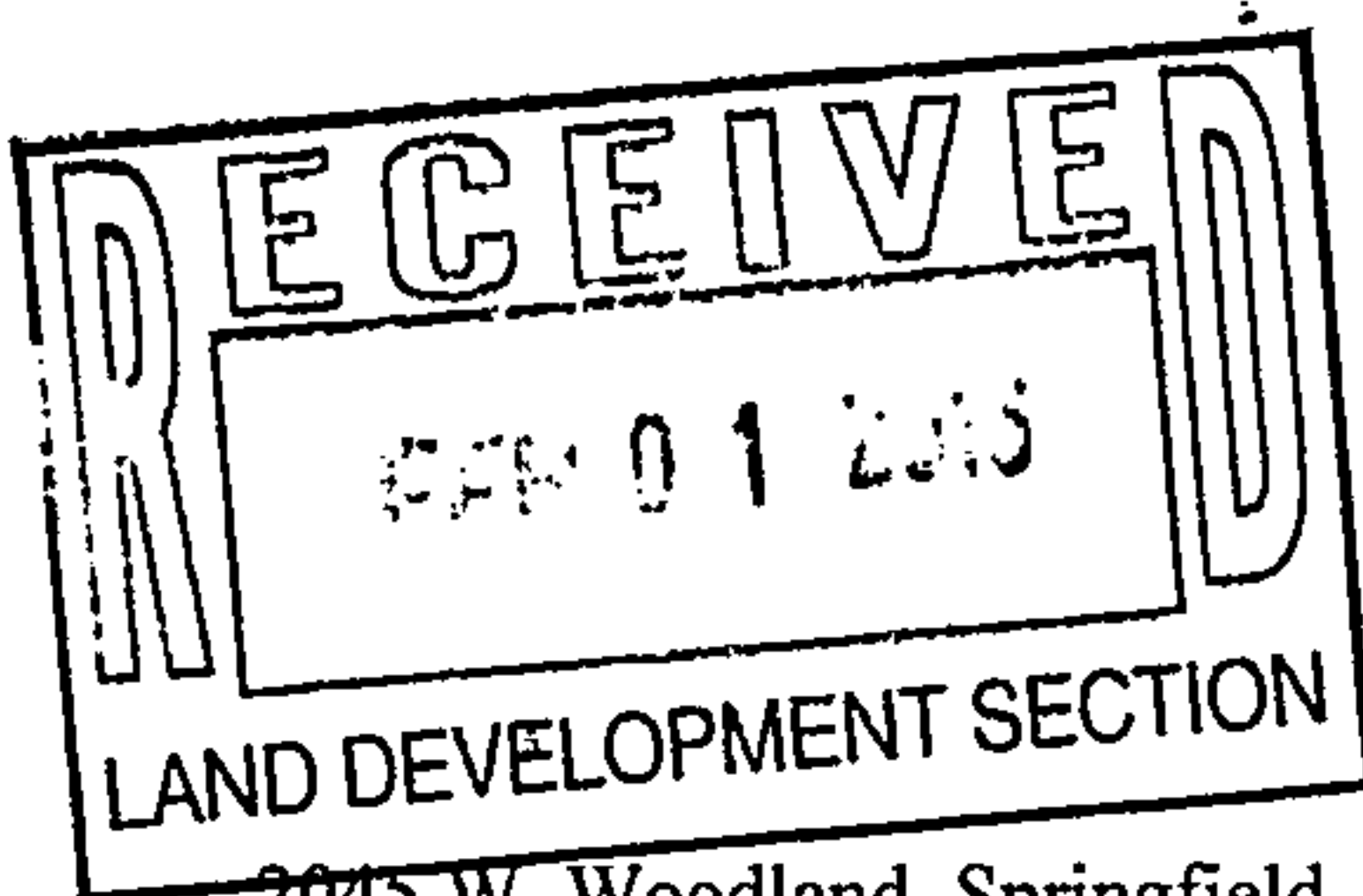
Response 3: The area between the building and the rip rap lined swale is called out to be returned to natural state as now indicated on Sheet C5.

Comment 4: *The Pond will need to provide "First Flush" volumes for the entire site when the rest of the property is fully developed.*

Response 4: Per conversation with Mr. Rudy Rael, the pond has not been upsized. The following note has been added to Sheet C5: "RETENTION POND DESIGNED FOR FIRST FLUSH FOR THE O'REILLY DEVELOPMENT. ANY NEW DEVELOPMENT MUST PROVIDE SEPARATE TREATMENT FACILITIES FOR NEW IMPERVIOUS." Therefore any new development on the property must provide their own management system for the "First Flush" volume.

Comment 5: *Provide a separate plan for the ESC. This plan will need to be approved by Curtis Cherne before any grading may commence.*

Response 5: Noted. A separate ESC plan has been prepared and submitted to Curtis Cherne for approval.



AndersonEngineeringInc.com

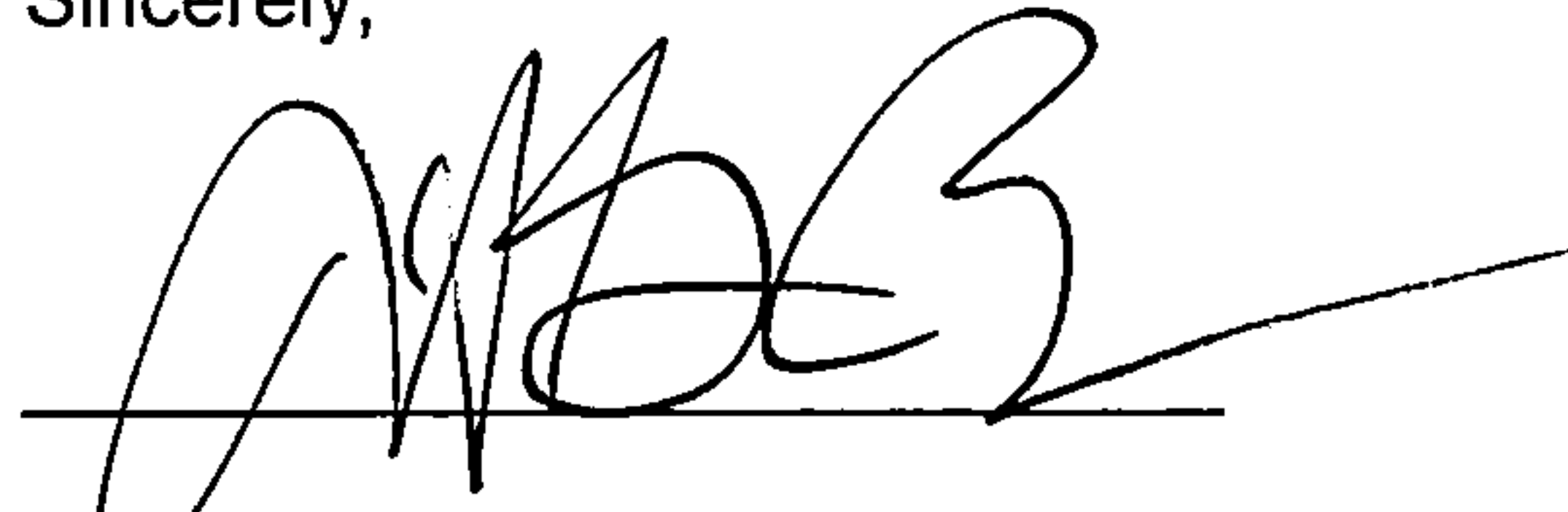
2045 W. Woodland, Springfield, Missouri 65807 • Phone: 417.866.2741 • E-mail: info@andersonengineeringinc.com

CIVIL ENGINEERING • SURVEYING • STRUCTURAL • GIS • MUNICIPAL • GEOTECHNICAL/DRILLING • MATERIALS TESTING



The above response addresses comments from the Grading and Drainage Plan Review on January 15, 2015. Please contact us with any questions. Thank you for your assistance in this review process.

Sincerely,

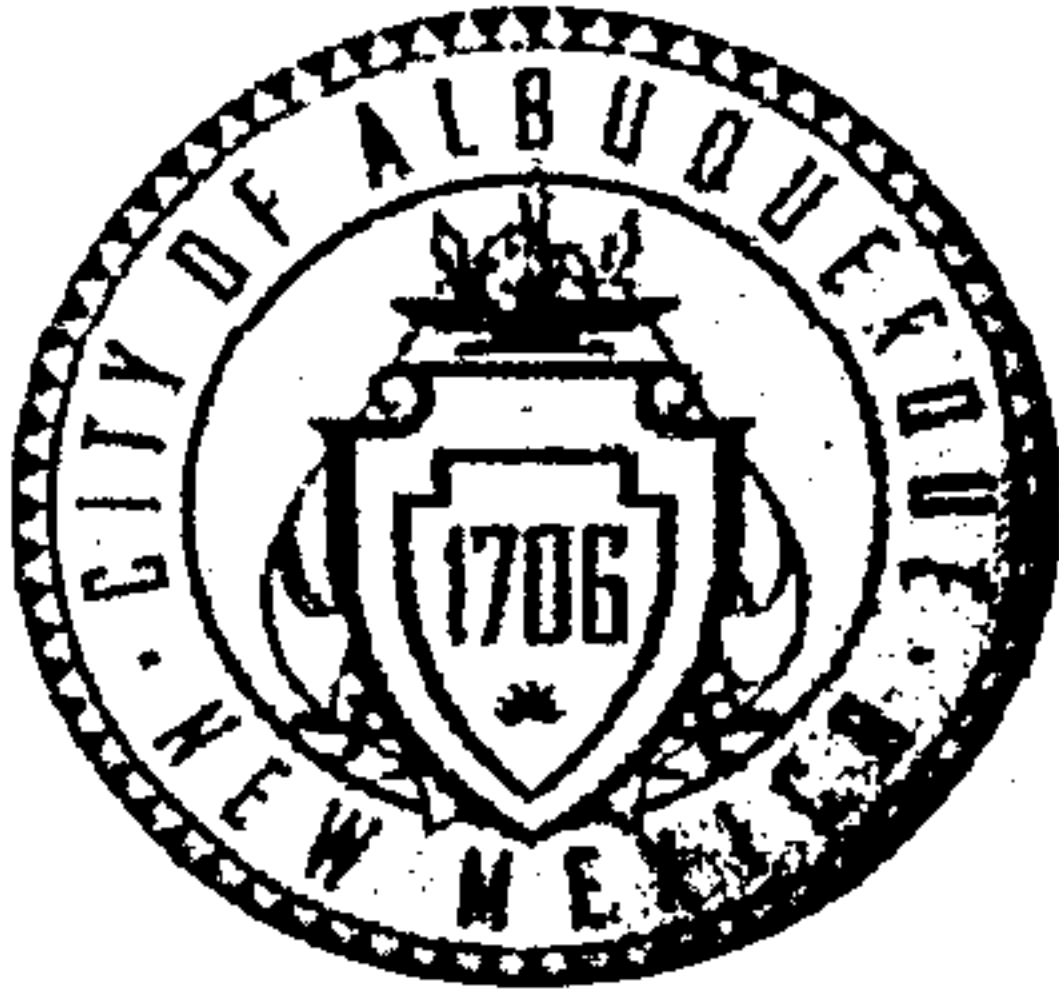


Neil S. Brady, P.E.
President
Anderson Engineering
NSB

AndersonEngineeringInc.com

2045 W. Woodland, Springfield, Missouri 65807 • Phone: 417.866.2741 • E-mail: info@andersonengineeringinc.com

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City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: O'Reilly Auto Parts - Albuquerque, NM (A15) Building Permit #: T201592448 City Drainage #: K220019

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: All of Block One (1) of Chelwood Park

City Address: 12700 Lomas Blvd NE, Albuquerque, NM 87123

Engineering Firm: Anderson Engineering, Inc. Contact: Paul J. Engel

Address: 2045 W. Woodland, Springfield, MO 65807

Phone#: (417) 866-2741 Fax#: (417) 866-2778 E-mail: pengel@aeincmo.com

Owner: O'Reilly Automotive Stores, Inc. Contact: Sheldon Jennings

Address: 233 South Patterson, Springfield, MO 65802

Phone#: (417) 862-2674 Fax#: (417) 874-7112 E-mail: sjennings@oreillyauto.com

Architect: CASCO Contact: Mike Chura

Address: 10877 Watson Road, St. Louis, MO 63127

Phone#: (314) 821-1100 Fax#: (314) 821-4162 E-mail: oreillygu@cascoCorp.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

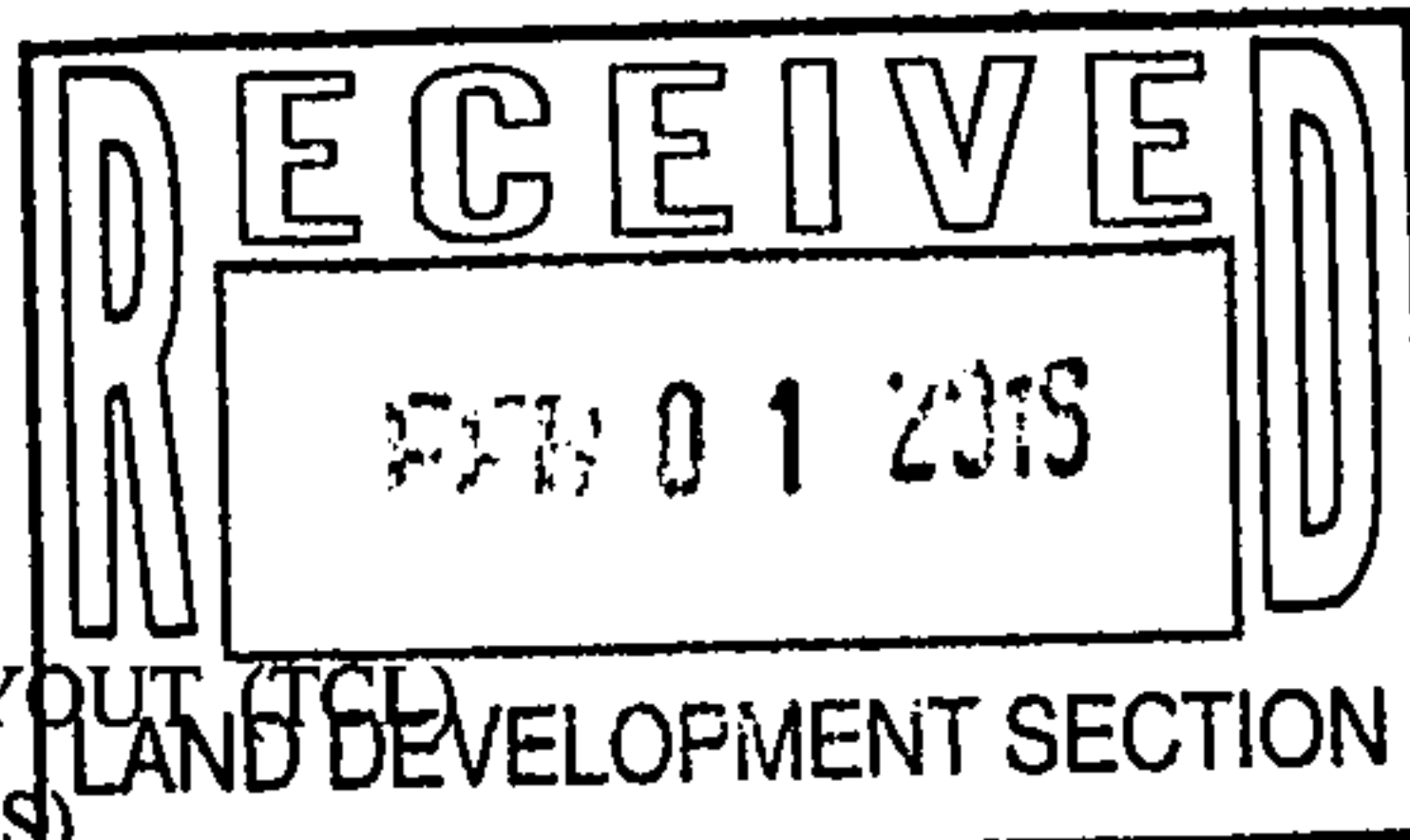
Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☒ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____



CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
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☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 2/1/16 By: Ryan Curley

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

CITY OF ALBUQUERQUE

Planning Department

Suzanne Lubar, Director



January 15, 2016

Paul J. Engel, P.E.
Anderson Engineering, Inc.
2045 W. Woodland
Springfield MO, 87123

RE: **O'Reily Auto Parts**
12700 Lomas Blvd NE
Grading and Drainage Plan
Engineers Stamp Date 12/17/15 (K22D019)

Dear Mr. Engel,

Based upon the information provided in your submittal received 12/15/2015, the above referenced Grading and Drainage Plan cannot be approved for Grading Permit or Building Permit until the following comments are addressed.

- The south pond needs to be landscaped with cobble stone or some type of erosion protection to prevent sedimentation or debris from entering the public right of way. Also, is the area along the limits of disturbance landscaped?
- The sidewalk culvert needs to be extended two feet passed the property line.
- Is the area between the building and the gravel swale landscaped?
- The Pond will need to provide "First Flush" volumes for the entire site when the rest of the property is fully developed.
- Provide a separate plan for the ESC. This plan will need to be approved by Curtis Cherne before any grading may commence.

PO Box 1293

Albuquerque

New Mexico 87103

If you have any questions please contact me at 924-3986 or Rudy Rael at 924-3977.

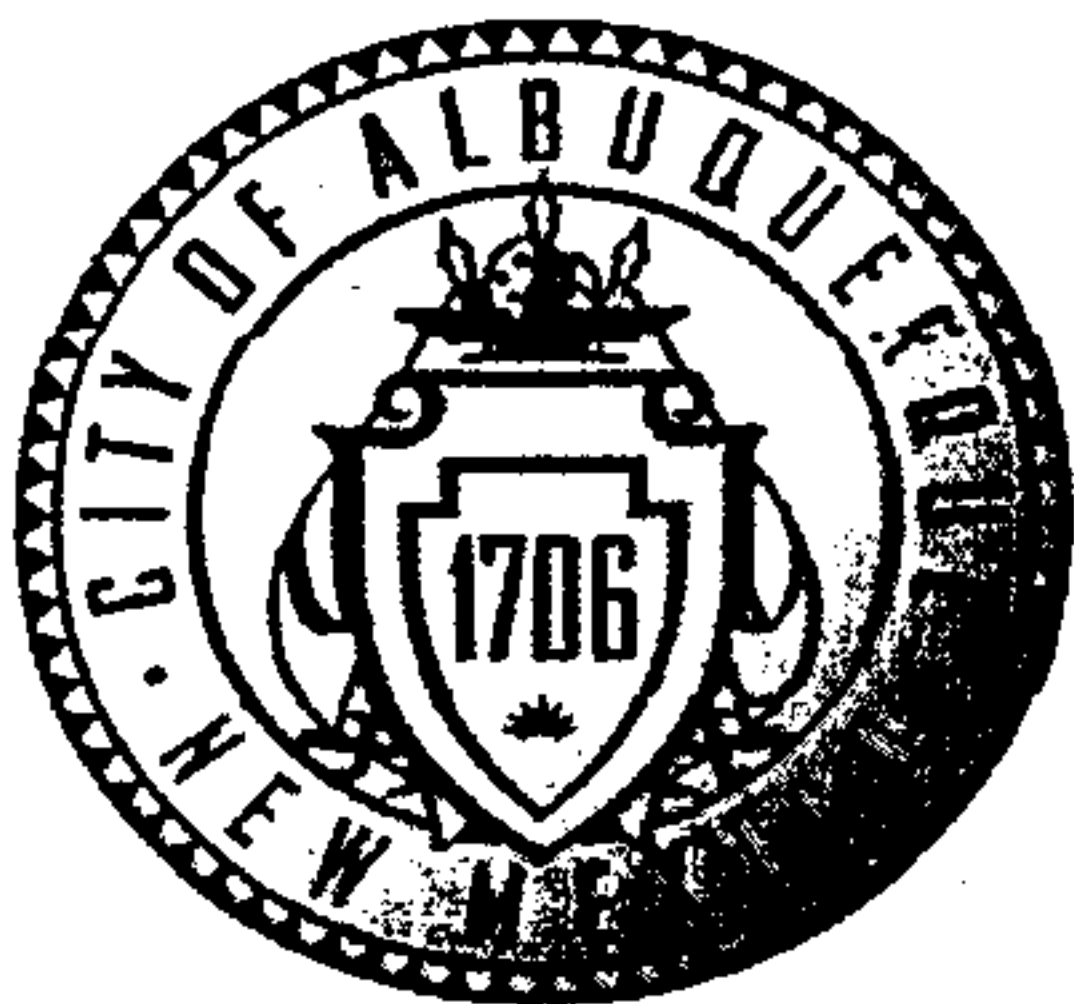
Sincerely,

www.cabq.gov

Abiel Carrillo, P.E.
Principal Engineer, Hydrology
Planning Department

RR/AC

C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: O'Reilly Auto Parts - Albuquerque, NM (A15) Building Permit #: T201592448 City Drainage #: K220019

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: All of Block One (1) of Chelwood Park

City Address: 12700 Lomas Blvd NE, Albuquerque, NM 87123

Engineering Firm: Anderson Engineering, Inc. Contact: Paul J. Engel

Address: 2045 W. Woodland, Springfield, MO 65807

Phone#: (417) 866-2741 Fax#: (417) 866-2778 E-mail: pengel@aeincmo.com

Owner: O'Reilly Automotive Stores, Inc. Contact: Sheldon Jennings

Address: 233 South Patterson, Springfield, MO 65802

Phone#: (417) 862-2674 Fax#: (417) 874-7112 E-mail: sjennings@oreillyauto.com

Architect: CASCO Contact: Mike Chura

Address: 10877 Watson Road, St. Louis, MO 63127

Phone#: (314) 821-1100 Fax#: (314) 821-4162 E-mail: oreillygu@cascocorp.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☒ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

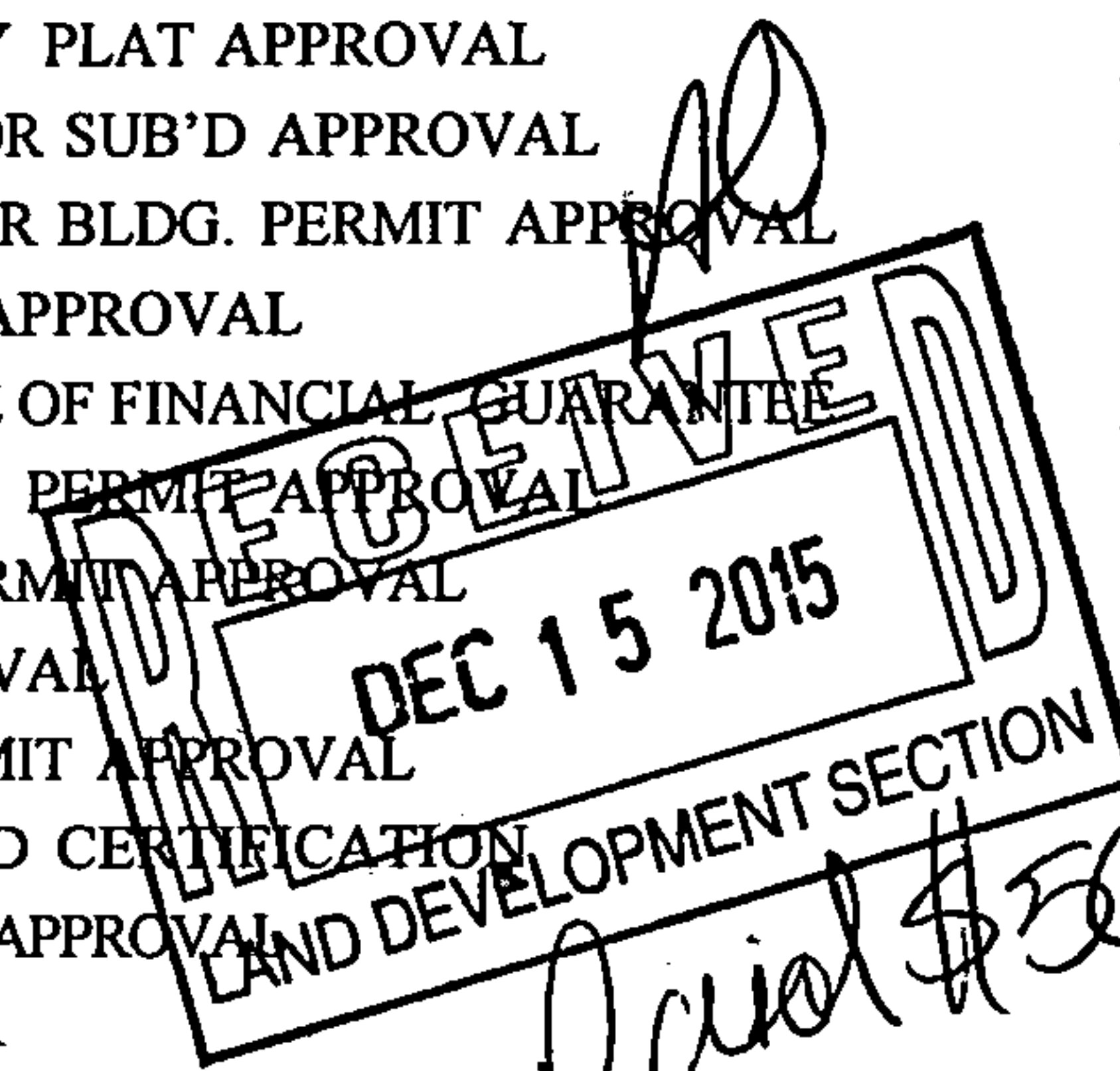
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☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 12/15/15 By: Ryan Corley

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____





December 14, 2015

projectno 10143-15:

Mr. Rudy Rael
Hydrology Section Reviewer
City of Albuquerque
602 2nd Street NW
Albuquerque, NM 87102
(505) 924-3860

RE: O'Reilly Auto Parts – Hydrology Section Review
12700 Lomas Boulevard NE
City of Albuquerque
Albuquerque Hydrology Section Review

Mr. Rael,

The following is in response to your review comments from the pre-design conference with High Mesa Consulting Group on 11/13/2015.

COMMENTS FOR THE SITE GRADING AND DRAINAGE PLAN

Comment 1: *Identify bottom of pond elevation.*

Response 1: The bottom of pond elevation is now indicated on Sheet C1 and C5.

Comment 2: *Add note to depress all landscaped areas to retain stormwater.*

Response 2: A note has been added Sheet C1, C5, and Landscaping plan.

Comment 3: *The proposed construction of concrete drivepads and sidewalk culvert within the public right of way will require a SO#19 permit. Please add attached SO#19 notes to plan set.*

Response 3: The SO#19 notes has been added to Sheet C1.

Comment 4: *Show/Call out limits of disturbance on plan.*

Response 4: The limits of disturbance has been added to Sheet C1 and Sheet C5.

Comment 5: *Indicate roof drainage direction on new building.*

Response 5: The roof drainage direction has been indicated with arrows on Sheet C1 and Sheet C5.

Comment 6: *Add sheet to include COA DPM calculations and drainage plan.*

Response 6: Sheet C5 has been added to include the COA DPM calculations and the drainage plan.

Comment 7: *Add spot elevations at drive pad entrances that show proposed water block. (See Sketch 7)*

Response 7: Spot elevations have been added at all drive pad entrances to show proposed water block.

Comment 8: *Identify benchmark from survey.*

Response 8: The benchmark from the survey has been indicated in the Symbols legend of Sheet C1 and shown on 1/C1 Site Grading Plan.

AndersonEngineeringInc.com

2045 W. Woodland, Springfield, Missouri 65807 • Phone: 417.866.2741 • E-mail: info@andersonengineeringinc.com

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- Comment 9: *Indicate construction material of proposed flowline around the south and east sides of building. Proposed flow line will need to be protected from erosion such as concrete or cobble construction.*
- Response 9: The flow line is now called out to be rip rap. Refer to Sheet C1.
- Comment 10: *Slopes on east side of building need to be identified. Slopes are not to exceed 3 to 1.*
- Response 10: Slopes on east side of the building are identified. A note stating "SLOPES NOT TO EXCEED 3 TO 1" has been added to Sheet C1. No slopes on-site exceed 3 to 1.
- Comment 11: *Redesign pond outflow to remove piped outlet. The city recommends using a concrete rundown for pond outlet. (See attached detail)*
- Response 11: The pond outflow has been redesigned. The pipe has been removed and a concrete rundown is now shown.
- Comment 12: *Extend proposed sidewalk culvert 2' past the back of sidewalk towards the property line. Within right of way construct rundown of either cobble or concrete from proposed sidewalk culvert to property line. (See Sketch 8)*
- Response 12: The proposed sidewalk culvert has been extended 2' past the back of sidewalk. The rundown will be constructed of concrete from overflow in pond to sidewalk culvert.
- Comment 13: *Call out status of the portion of easement as released shown on ALTA/ACSM land title survey done by Wilson and Company. (See Sketch 9)*
- Response 13: The status of the portion of easement has been called out on all sheets as shown on ALTA/ACSM land title survey.

COMMENTS FOR THE STORMWATER POLLUTION PREVENTION PLAN

- Comment 1: *Label undisturbed areas as existing ground w/vegetation.*
- Response 1: The undisturbed areas are now labeled as existing ground with vegetation.
- Comment 2: *Show limits of disturbance on this sheet.*
- Response 2: Limits of disturbance are now shown on Sheet C4.
- Comment 3: *Call out status of the portion of easement as released shown on ALTA/ACSM land title survey done by Wilson and Company. (See Sketch 9)*
- Response 3: The status of the portion of easement has been called out on all sheets as shown on ALTA/ACSM land title survey.
- Comment 4: *Rudy suggested using straw wattles instead of sandbags for the inlet sediment filters. The wattles would allow clean water flow to flow freely into inlet and not collect water till it overflows over like the sand bags would. Other BMPs may be used as long as clean water is let through into inlet.*
- Response 4: The inlet protection has been revised and now calls out sediment tubes for the inlet sediment filters.



The above response addresses comments from your pre-design meeting on November 13, 2015.
Please contact us with any questions. Thank you for your assistance in this review process.

Sincerely,

Neil S. Brady, P.E.
President
Anderson Engineering
NSB

AndersonEngineeringInc.com

2045 W. Woodland, Springfield, Missouri 65807 • Phone: 417.866.2741 • E-mail: info@andersonengineeringinc.com

CIVIL ENGINEERING • SURVEYING • STRUCTURAL • GIS • MUNICIPAL • GEOTECHNICAL/DRILLING • MATERIALS TESTING

CITY OF ALBUQUERQUE



September 2, 2016

Graeme Means, P.E.
High Mesa Consulting
12700 Lomas Blvd NE
Albuquerque, NM 87109

Re: O'Reilly Auto Parts – 12700 Lomas Blvd NE
Request for Certificate of Occupancy- Transportation Development
Engineer's Stamp dated 1-23-16 (K22D019)
Certification dated 08-30-16

Dear Mr. Means,

Based upon the information provided in your submittal received 08-31-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Monica Ortiz at (505) 924-3981 or me at (505)924-3991.

Sincerely,

Monica Ortiz
Plan Checker, Transportation & Hydrology
Development Review Services

mao via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

K220019
HAD03

Project Title: O'Reilly Auto Parts - Albuquerque, NM (A15) Building Permit #: T201592448 City Drainage #: HAD03

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: All of Block One (1) of Chelwood Park

City Address: 12700 Lomas Blvd NE, Albuquerque, NM 87123

Engineering Firm: High Mesa Consulting Group Contact: Graeme Means

Address: 6010-B Midway Park Blvd. NE, Albuquerque, NM 87109

Phone#: (505) 345-4250 Fax#: (505) 345-4254 E-mail: gmeans@highmesacg.com

Owner: O'Reilly Automotive Stores, Inc. Contact: Sheldon Jennings

Address: 233 South Patterson, Springfield, MO 65802

Phone#: (417) 862-2674 Fax#: (417) 874-7112 E-mail: sjennings@oreillyauto.com

Architect: CASCO Contact: Mike Chura

Address: 10877 Watson Road, St. Louis, MO 63127

Phone#: (314) 821-1100 Fax#: (314) 821-4162 E-mail: oreillygu@cascoCorp.com

Other Contact: Anderson Engineering, Inc. (Design Engineer) Contact: Paul J. Engel

Address: 2045 W. Woodland, Springfield, MO 65807

Phone#: (417) 866-2741 Fax#: (417) 866-2778 E-mail: pengel@aeincmo.com

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ ARCHITECT CERTIFICATION

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☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
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☐ OTHER (SPECIFY) _____

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☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

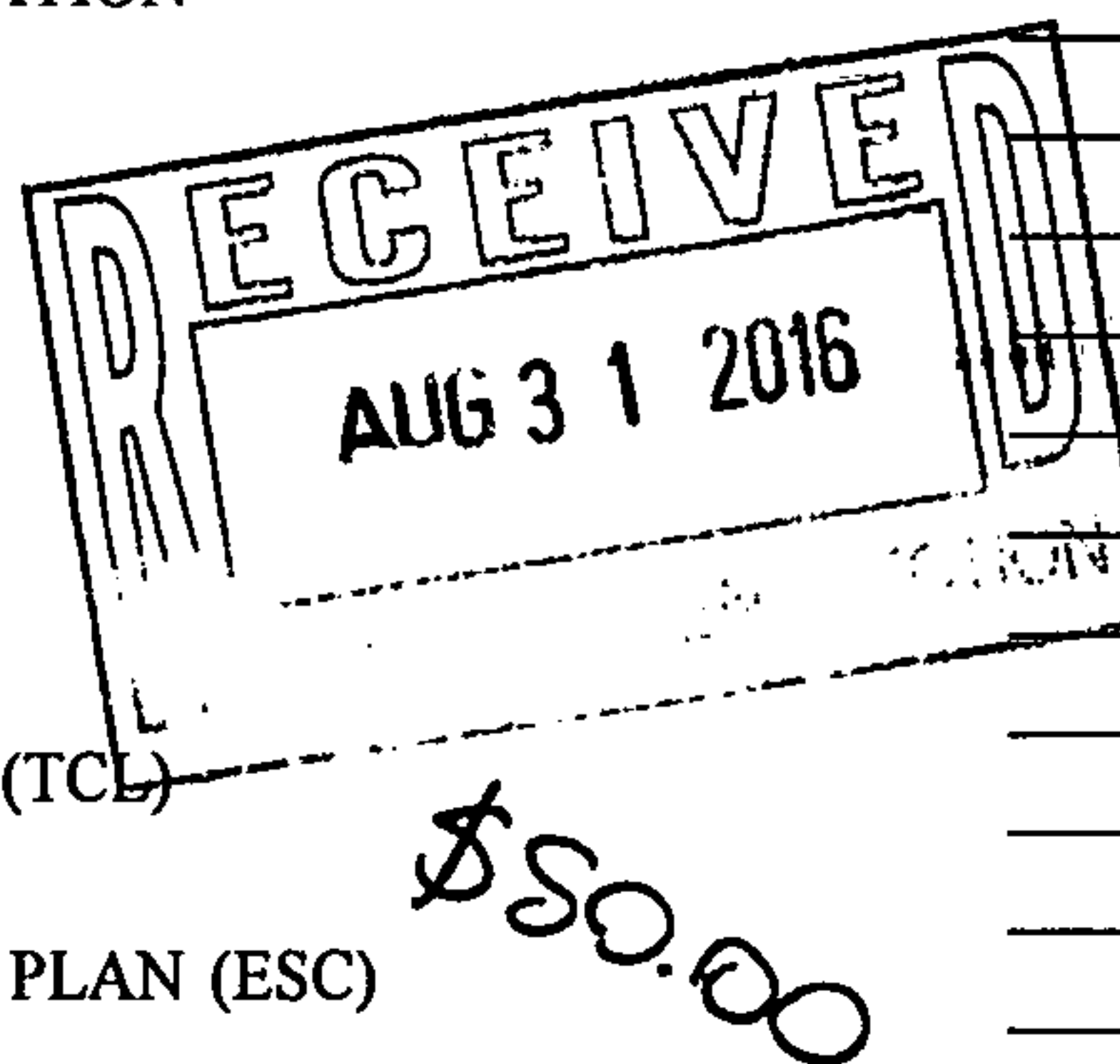
☐ PRE-DESIGN MEETING

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 8-31-2016 By: Ryan Curlev

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____





ENGINEER'S CERTIFICATION

ENGINEER'S TRAFFIC CERTIFICATION

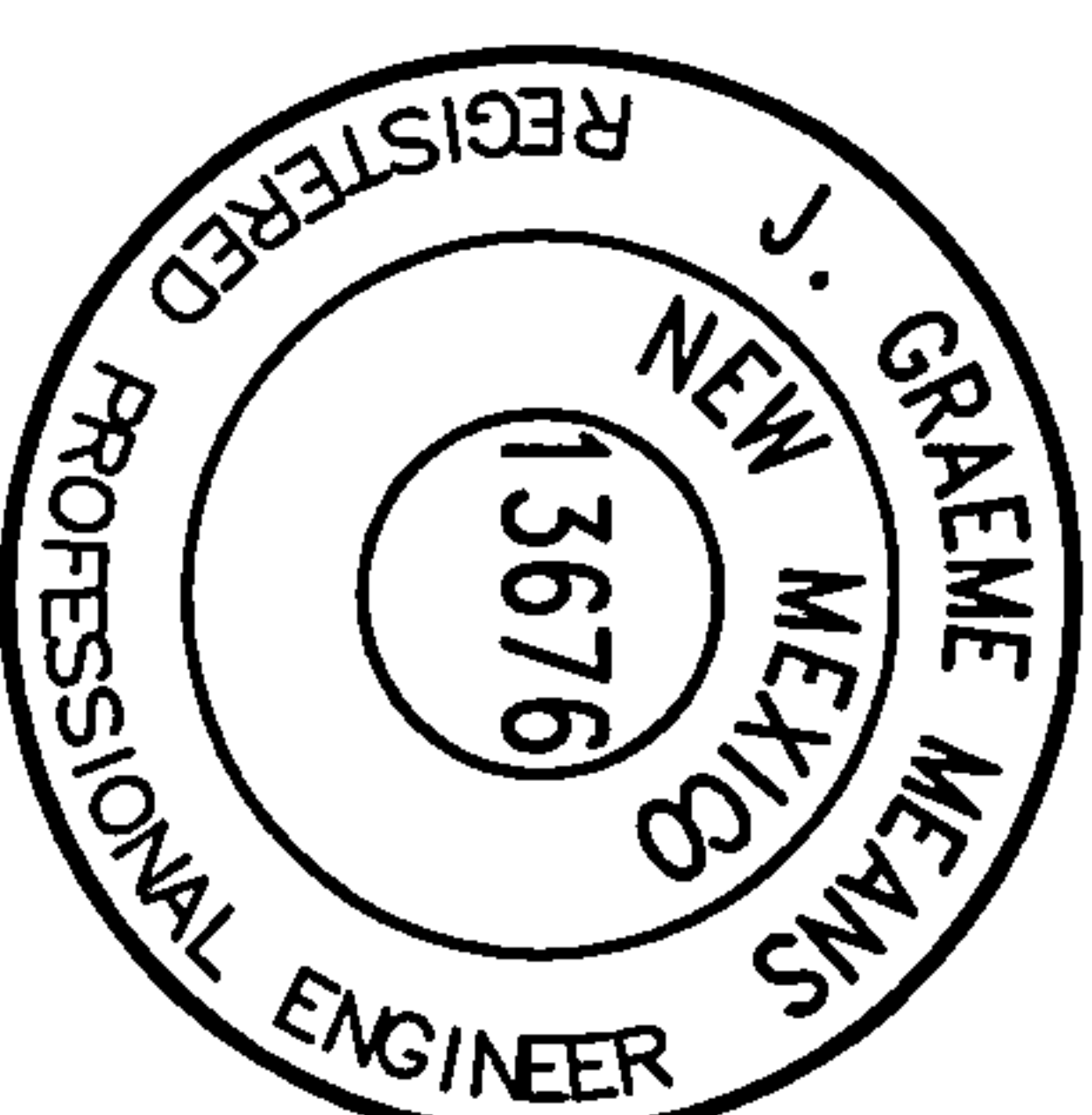
I, J. GRAEME MEANS, NMPE 13676, OF THE FIRM HIGH MESA CONSULTING GROUP HEREBY CERTIFY THAT THIS PROJECT HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 01/28/2016. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT WAS OBTAINED 08/24/2016 BY HIGH MESA CONSULTING GROUP UNDER THE DIRECTION OF JOSEPH M. SOLOMON, JR, NMPS 15075. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON AUGUST 29, 2016 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A RECOMMENDATION FOR PERMANENT CERTIFICATE OF OCCUPANCY AND TO DOCUMENT COMPLETION OF THE IMPROVEMENTS FOR THE OWNER. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


J. GRAEME MEANS, NMPE 13676

08/30/2016

DATE



O'REILLY AUTO PARTS
12700 LOMAS BLVD NE
TRAFFIC CERTIFICATION

**HIGH
MESA** Consulting Group

6010-B MIDWAY PARK BLVD, NE • ALBUQUERQUE, NEW MEXICO 87109
PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

SHEET C2.C
08/30/2016
2015.052.1

CITY OF ALBUQUERQUE



February 3, 2016

Paul Engel
Anderson Engineering, Inc.
2045 W. Woodland
Springfield, MO 65807

Re: O'Reilly Auto Parts- Albuquerque (A15)
12700 Lomas Blvd., NE
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 1-28-16 (K22-D019)

Dear Mr. Engel,

The TCL submittal received 2-1-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

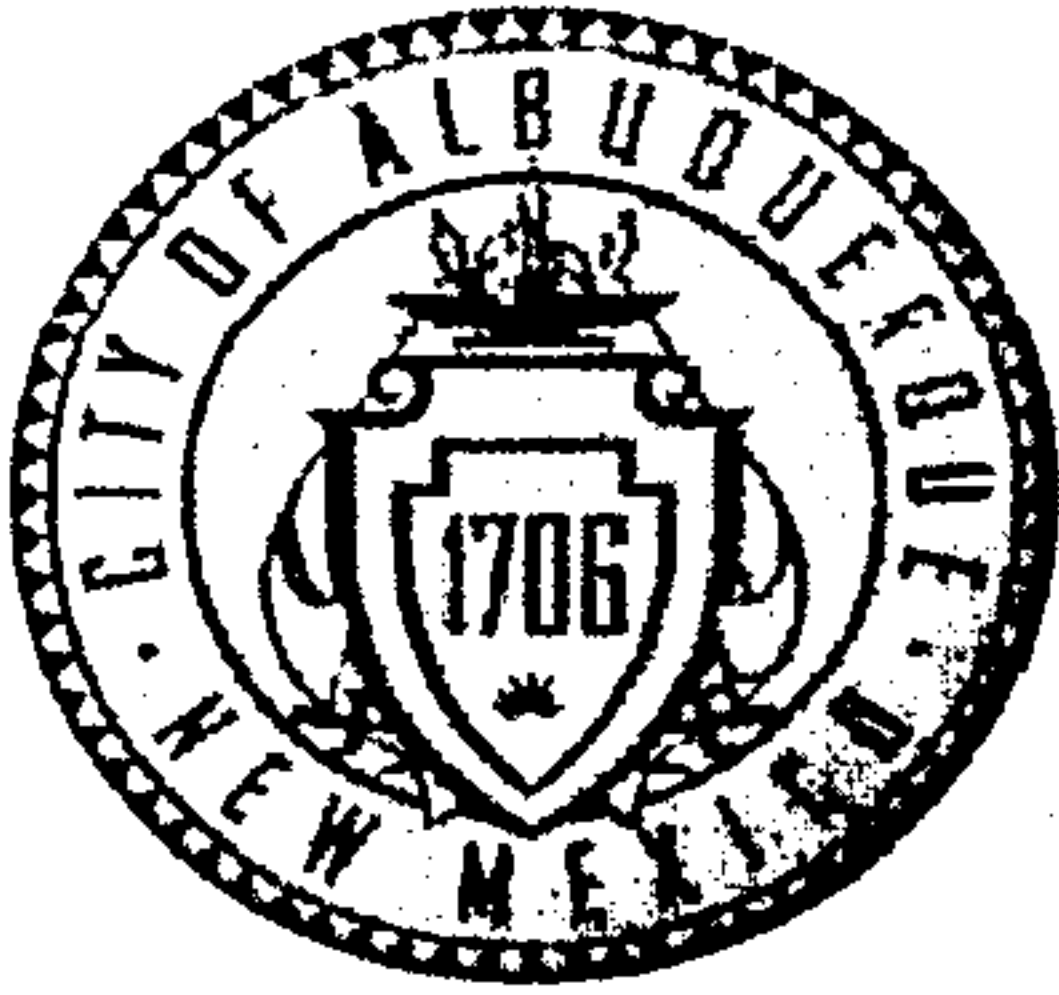
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C: CO Clerk, File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: O'Reilly Auto Parts - Albuquerque, NM (A15) Building Permit #: T201592448 City Drainage #: K220019

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: All of Block One (1) of Chelwood Park

City Address: 12700 Lomas Blvd NE, Albuquerque, NM 87123

Engineering Firm: Anderson Engineering, Inc. Contact: Paul J. Engel

Address: 2045 W. Woodland, Springfield, MO 65807

Phone#: (417) 866-2741 Fax#: (417) 866-2778 E-mail: pengel@aeincmo.com

Owner: O'Reilly Automotive Stores, Inc. Contact: Sheldon Jennings

Address: 233 South Patterson, Springfield, MO 65802

Phone#: (417) 862-2674 Fax#: (417) 874-7112 E-mail: sjennings@oreillyauto.com

Architect: CASCO Contact: Mike Chura

Address: 10877 Watson Road, St. Louis, MO 63127

Phone#: (314) 821-1100 Fax#: (314) 821-4162 E-mail: oreillygu@cascocorp.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
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☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

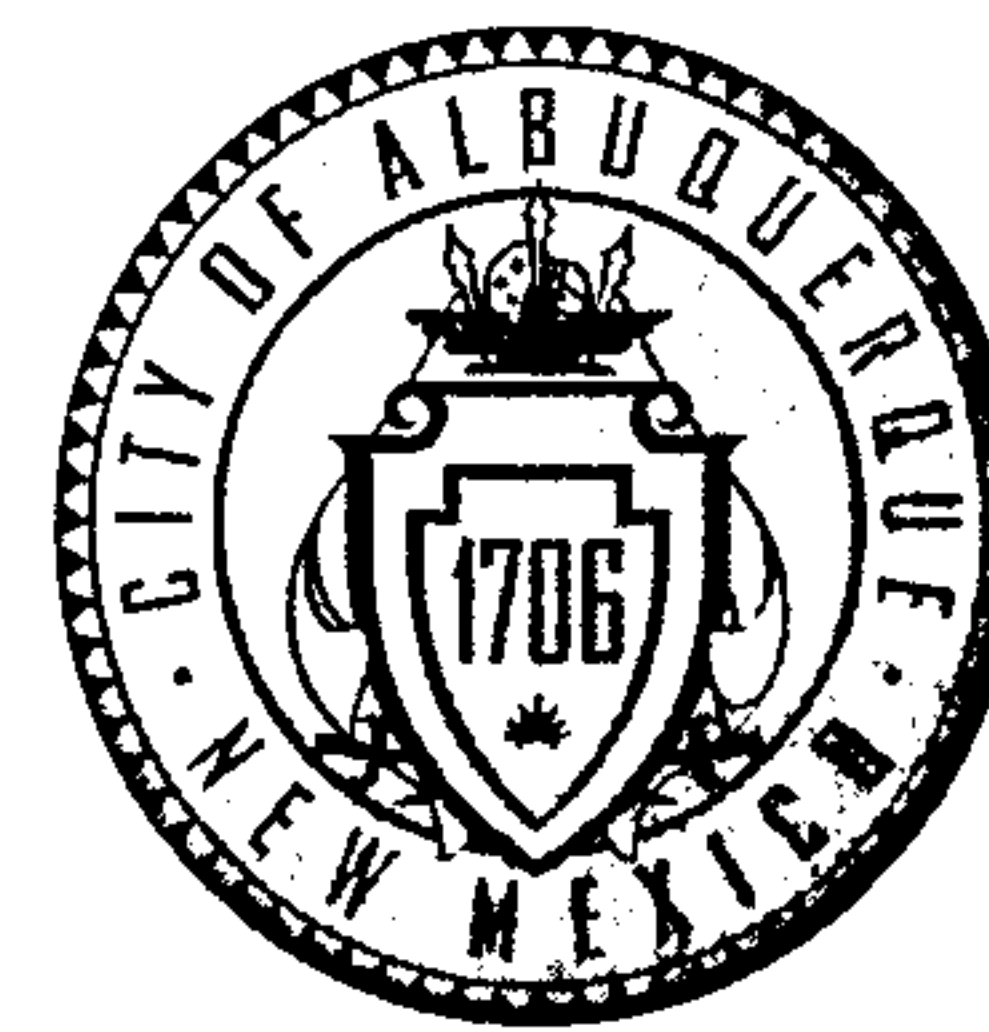
IS THIS A RESUBMITTAL?: ☒ Yes ☒ No

DATE SUBMITTED: 2/1/16 By: Ryan Corley

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____



CITY OF ALBUQUERQUE



Planning Department Transportation Development Services

December 17, 2015

Mike Chura
CASCO
10877 Watson Rd.
St. Louis, MO 63127

Re: O'Reilly Auto Parts (A15)
12700 Lomas Blvd., NE
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 12-14-15 (K22-D019)

Dear Mr. Chura,

Based upon the information provided in your submittal received 12-15-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

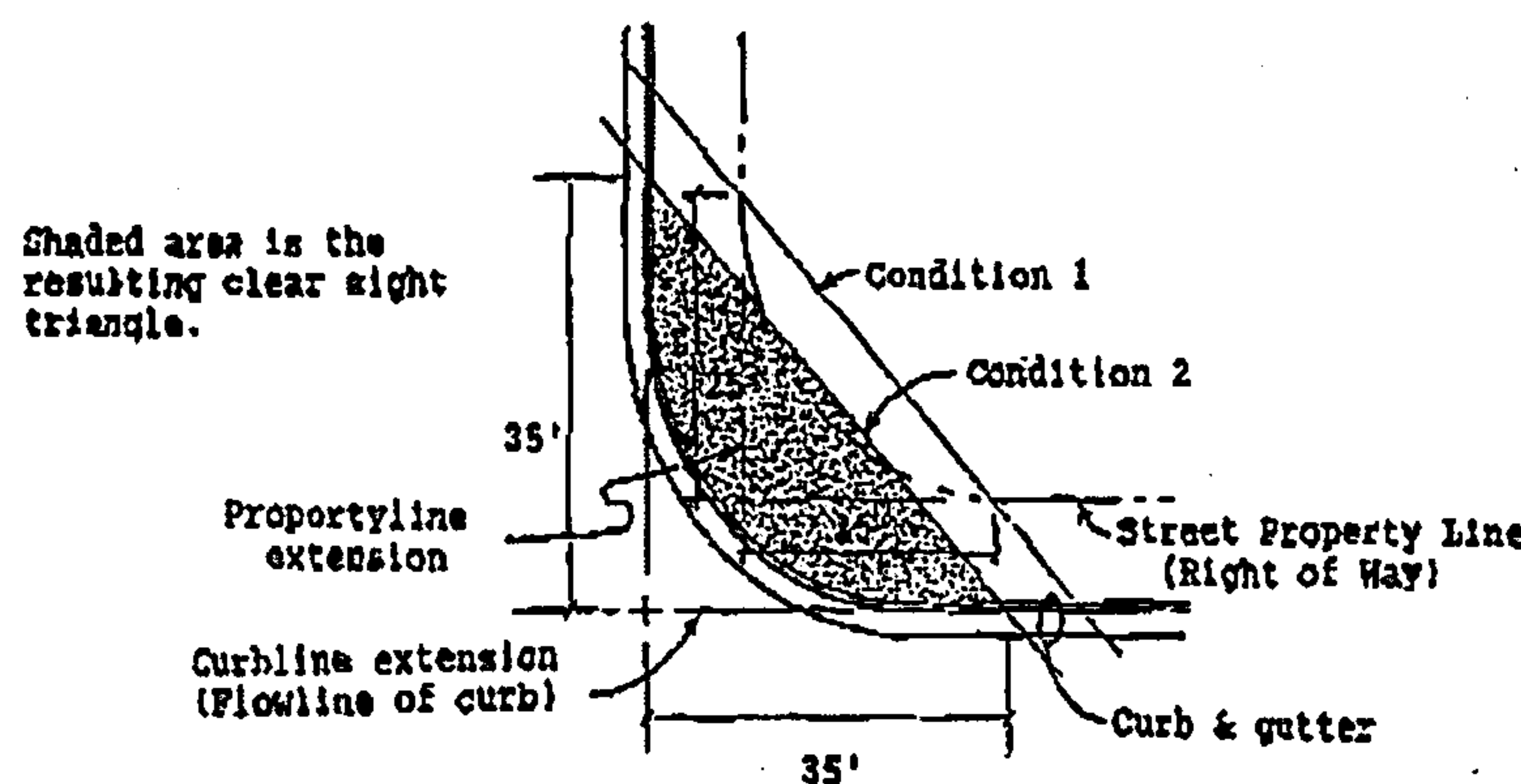
PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. The handicap accessible spaces must be a minimum of 8.5 feet in width.
2. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*). Please show this detail for entrances/exits on Chelwood Park Ave., Lomas Blvd., and Georgene Dr.



3. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."

CITY OF ALBUQUERQUE



4. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
5. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

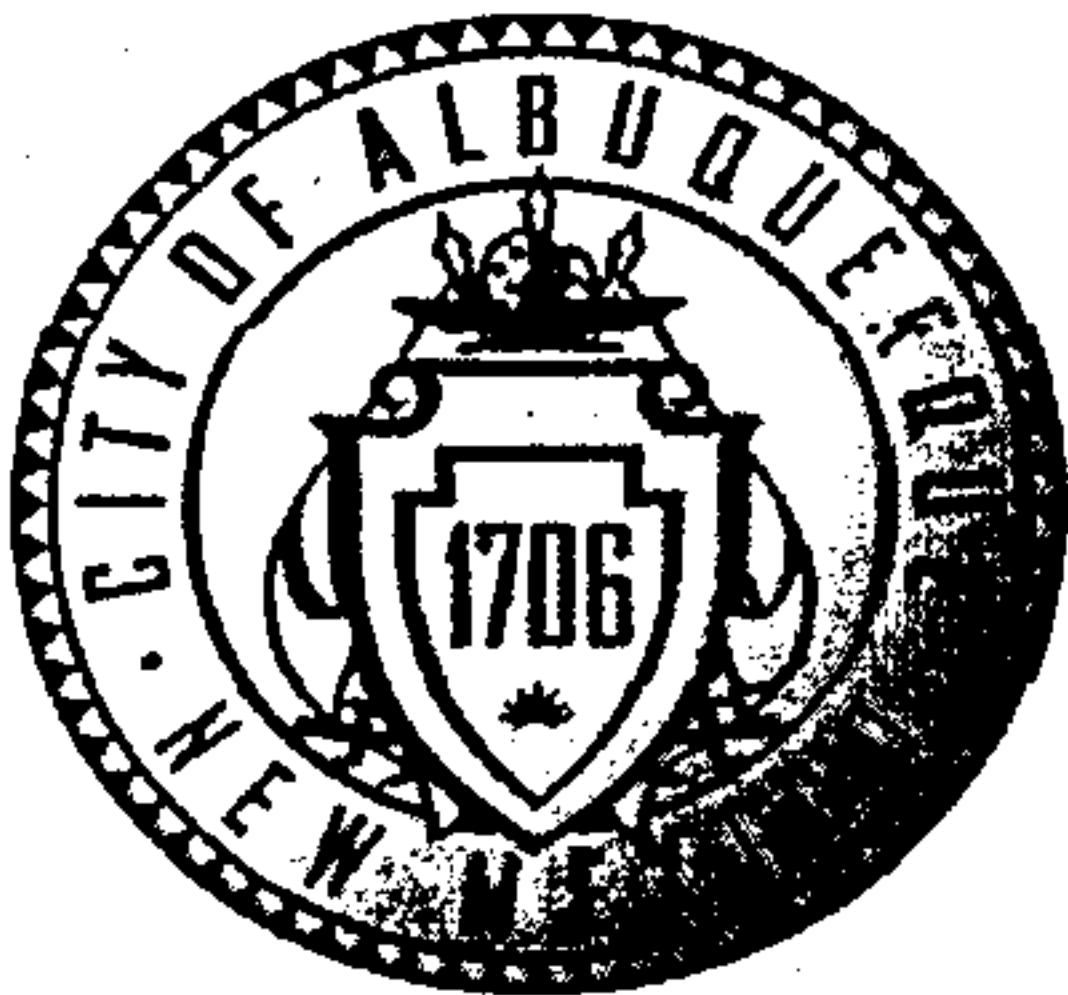
PO Box 1293

\gs via: email
C: CO Clerk, File

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: O'Reilly Auto Parts - Albuquerque, NM (A15) Building Permit #: T201592448 City Drainage #: K22009

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: All of Block One (1) of Chelwood Park

City Address: 12700 Lomas Blvd NE, Albuquerque, NM 87123

Engineering Firm: Anderson Engineering, Inc. Contact: Paul J. Engel

Address: 2045 W. Woodland, Springfield, MO 65807

Phone#: (417) 866-2741 Fax#: (417) 866-2778 E-mail: pengel@aeincmo.com

Owner: O'Reilly Automotive Stores, Inc. Contact: Sheldon Jennings

Address: 233 South Patterson, Springfield, MO 65802

Phone#: (417) 862-2674 Fax#: (417) 874-7112 E-mail: sjennings@oreillyauto.com

Architect: CASCO Contact: Mike Chura

Address: 10877 Watson Road, St. Louis, MO 63127

Phone#: (314) 821-1100 Fax#: (314) 821-4162 E-mail: oreillygu@cascocorp.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
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☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
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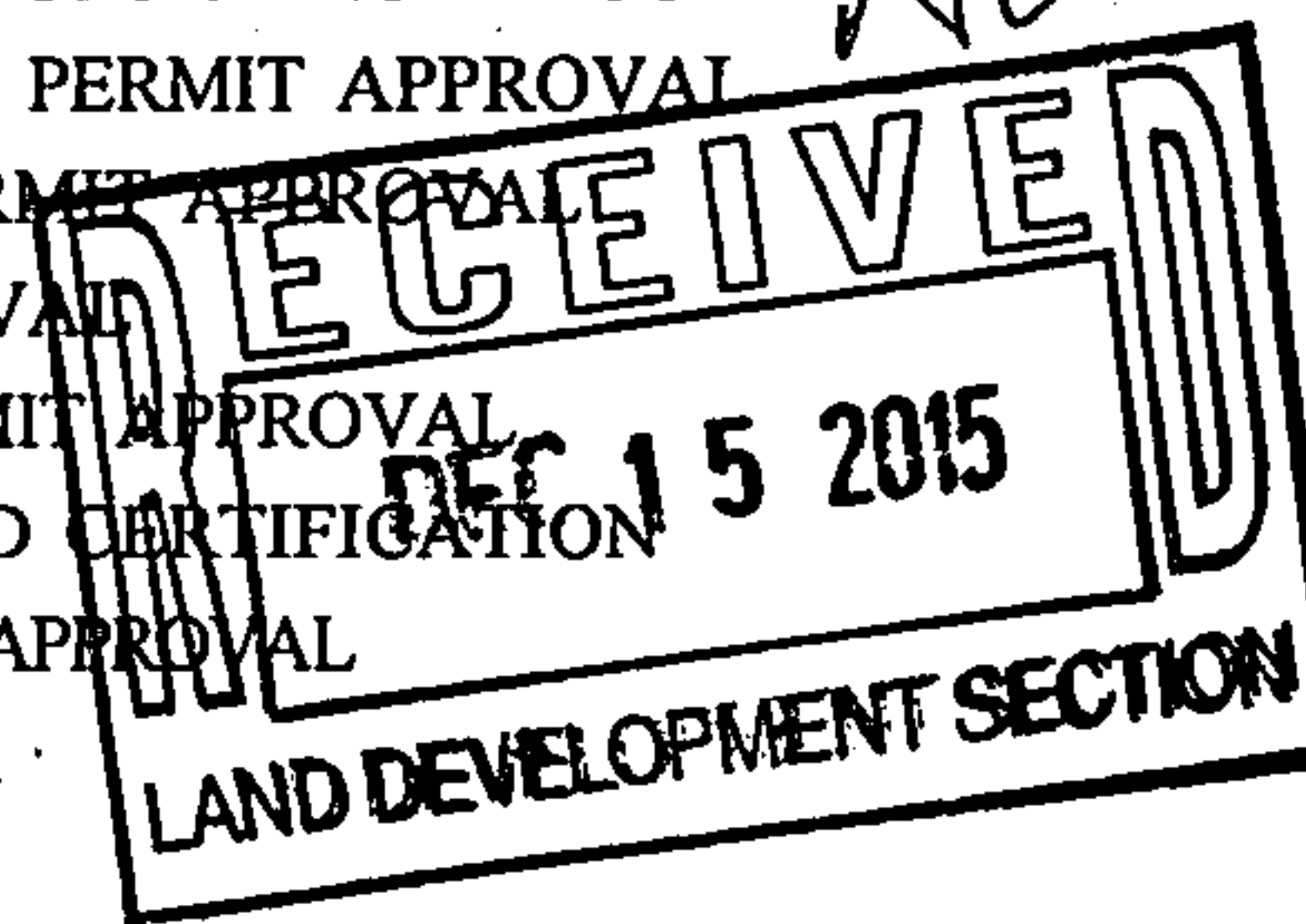
☐ OTHER (SPECIFY) _____

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☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
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☐ SO-19 APPROVAL
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☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 12/15/15 By: Ryan Curley

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



December 14, 2015

projectno 10143-15:

Mr. Gary Sandoval
Transportation Reviewer
City of Albuquerque
602 2nd Street NW
Albuquerque, NM 87102
(505) 924-3860

RE: O'Reilly Auto Parts – Transportation Section Review
12700 Lomas Boulevard NE
City of Albuquerque
Albuquerque Transportation Section Review

Mr. Sandoval,

The following is in response to your review comments from the pre-design conference with High Mesa Consulting Group on 11/13/2015.

COMMENTS FOR THE TRAFFIC CIRCULATION LAYOUT PLAN

Comment 1: *Change sidewalk from Chelwood Park Blvd to front of building from 4' to 6' wide and call out on plan as "6' ADA access". (See Sketch 1)*

Response 1: The sidewalk from Chelwood Park Blvd to front of building has been revised to be 6' wide and is called out as "6' ADA ACCESS".

Comment 2: *Add # of handicapped spaces to general information section of sheet. (See Sketch 2)*

Response 2: The number of handicap spaces has been added to general information section of the Sheet C2.

Comment 3: *Label radii for all new curb construction.*

Response 3: Radii for all new curb construction has been added to Sheet C2.

Comment 4: *Reduce proposed drivepad entrance on Lomas Blvd NE from 30' to 24' or 26' and align to avoid any disturbance of existing curb inlets within Lomas Blvd. (See Sketch 3)*

Response 4: The drivepad has been reduced to 28' wide and has been shifted to the east to avoid disturbance of existing curb inlets.

Comment 5: *Call out proposed drivepads per COA STD DWG 2425 (Attached) and include detail on sheet if plan space allows.*

Response 5: The drivepads are called out to be per COA STD DWG 2425 and the detail has been added to Sheet C2.

Comment 6: *Show dimension from existing curb face on Lomas Blvd to proposed entrance curb face on Georgene drive NE and add note of 35' minimum distance required. (See Sketch 4)*

Response 6: The dimension from the curb face on Lomas Blvd to proposed entrance curb face on Georgene has been added. A note stating "35' MINIMUM DISTANCE REQUIRED" has also been added. Refer to Sheet C2.

AndersonEngineeringInc.com

2045 W. Woodland, Springfield, Missouri 65807 • Phone: 417.866.2741 • E-mail: info@andersonengineeringinc.com

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Comment 7: Show doors of proposed building.

Response 7: Location of doors of the proposed building has been indicated on Sheet C2.

Comment 8: Add "NO PARKING" to handicap access unloading zone per NM 1978 statute 66-7-352.4C. (See Sketch 5 and attached NM Accessible Parking Checklist)

Response 8: "NO PARKING" has been added to handicap access unloading zone. Refer to Sheet C2.

Comment 9: Gary suggested adding an additional pedestrian path from Lomas to site. This is not required but is recommended.

Response 9: Noted. The additional pedestrian path has been considered.

Comment 10: Revise drive pads to match STD DWG 2425, with 3' ADA access across top. Align sidewalks to match ADA path. Add truncated domes where sidewalks cross drivepad. (See Sketch 6)

Response 10: Proposed drive pads have been revised with 3' ADA access across top with truncated domes. Refer to Sheet C2.

Comment 11: Detail 7/C3: Add Fine amount to handicapped parking sign per NM 1978 statute 66-1-4.B. (See attached NM Accessible Parking Checklist)

Response 11: The following has been added to the handicap parking sign per NM Accessible Parking Checklist: "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING".

Comment 12: Call out status of the portion of easement as released shown on ALTA/ACSM land title survey done by Wilson and Company. (See Sketch 9)

Response 12: The status of the portion of easement has been called out on all sheets as shown on ALTA/ACSM land title survey.

The above response addresses comments from your pre-design meeting on November 13, 2015. Please contact us with any questions. Thank you for your assistance in this review process.

Sincerely,

Neil S. Brady, P.E.
President
Anderson Engineering
NSB

AndersonEngineeringInc.com

2045 W. Woodland, Springfield, Missouri 65807 • Phone: 417.866.2741 • E-mail: info@andersonengineeringinc.com

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December 14, 2015

projectno 10143-15:

Mr. Rudy Rael
Hydrology Section Reviewer
City of Albuquerque
602 2nd Street NW
Albuquerque, NM 87102
(505) 924-3860

RE: O'Reilly Auto Parts – Hydrology Section Review
12700 Lomas Boulevard NE
City of Albuquerque
Albuquerque Hydrology Section Review

Mr. Rael,

The following is in response to your review comments from the pre-design conference with High Mesa Consulting Group on 11/13/2015.

COMMENTS FOR THE SITE GRADING AND DRAINAGE PLAN

Comment 1: *Identify bottom of pond elevation.*

Response 1: The bottom of pond elevation is now indicated on Sheet C1 and C5.

Comment 2: *Add note to depress all landscaped areas to retain stormwater.*

Response 2: A note has been added Sheet C1, C5, and Landscaping plan.

Comment 3: *The proposed construction of concrete driveways and sidewalk culvert within the public right of way will require a SO#19 permit. Please add attached SO#19 notes to plan set.*

Response 3: The SO#19 notes has been added to Sheet C1.

Comment 4: *Show/Call out limits of disturbance on plan.*

Response 4: The limits of disturbance has been added to Sheet C1 and Sheet C5.

Comment 5: *Indicate roof drainage direction on new building.*

Response 5: The roof drainage direction has been indicated with arrows on Sheet C1 and Sheet C5.

Comment 6: *Add sheet to include COA DPM calculations and drainage plan.*

Response 6: Sheet C5 has been added to include the COA DPM calculations and the drainage plan.

Comment 7: *Add spot elevations at drive pad entrances that show proposed water block. (See Sketch 7)*

Response 7: Spot elevations have been added at all drive pad entrances to show proposed water block.

Comment 8: *Identify benchmark from survey.*

Response 8: The benchmark from the survey has been indicated in the Symbols legend of Sheet C1 and shown on 1/C1 Site Grading Plan.

AndersonEngineeringInc.com

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Comment 9: *Indicate construction material of proposed flowline around the south and east sides of building. Proposed flow line will need to be protected from erosion such as concrete or cobble construction.*

Response 9: The flow line is now called out to be rip rap. Refer to Sheet C1.

Comment 10: *Slopes on east side of building need to be identified. Slopes are not to exceed 3 to 1.*

Response 10: Slopes on east side of the building are identified. A note stating "SLOPES NOT TO EXCEED 3 TO 1" has been added to Sheet C1. No slopes on-site exceed 3 to 1.

Comment 11: *Redesign pond outflow to remove piped outlet. The city recommends using a concrete rundown for pond outlet. (See attached detail)*

Response 11: The pond outflow has been redesigned. The pipe has been removed and a concrete rundown is now shown.

Comment 12: *Extend proposed sidewalk culvert 2' past the back of sidewalk towards the property line. Within right of way construct rundown of either cobble or concrete from proposed sidewalk culvert to property line. (See Sketch 8)*

Response 12: The proposed sidewalk culvert has been extended 2' past the back of sidewalk. The rundown will be constructed of concrete from overflow in pond to sidewalk culvert.

Comment 13: *Call out status of the portion of easement as released shown on ALTA/ACSM land title survey done by Wilson and Company. (See Sketch 9)*

Response 13: The status of the portion of easement has been called out on all sheets as shown on ALTA/ACSM land title survey.

COMMENTS FOR THE STORMWATER POLLUTION PREVENTION PLAN

Comment 1: *Label undisturbed areas as existing ground w/vegetation.*

Response 1: The undisturbed areas are now labeled as existing ground with vegetation.

Comment 2: *Show limits of disturbance on this sheet.*

Response 2: Limits of disturbance are now shown on Sheet C4.

Comment 3: *Call out status of the portion of easement as released shown on ALTA/ACSM land title survey done by Wilson and Company. (See Sketch 9)*

Response 3: The status of the portion of easement has been called out on all sheets as shown on ALTA/ACSM land title survey.

Comment 4: *Rudy suggested using straw wattles instead of sandbags for the inlet sediment filters. The wattles would allow clean water flow to flow freely into inlet and not collect water till it overflows over like the sand bags would. Other BMPs may be used as long as clean water is let through into inlet.*

Response 4: The inlet protection has been revised and now calls out sediment tubes for the inlet sediment filters.



The above response addresses comments from your pre-design meeting on November 13, 2015.
Please contact us with any questions. Thank you for your assistance in this review process.

Sincerely,

Neil S. Brady, P.E.
President
Anderson Engineering
NSB

AndersonEngineeringInc.com

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ENGINEER'S CERTIFICATION

ENGINEER'S TRAFFIC CERTIFICATION

I, J. GRAEME MEANS, NMPE 13676, OF THE FIRM HIGH MESA CONSULTING GROUP HEREBY CERTIFY THAT THIS PROJECT HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 01/28/2016. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT WAS OBTAINED 08/24/2016 BY HIGH MESA CONSULTING GROUP UNDER THE DIRECTION OF JOSEPH M. SOLOMON, JR, NMPS 15075. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON AUGUST 29, 2016 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

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J. GRAEME MEANS, NMPE 13676

08/30/2016

DATE



File Path: P:\DATA\2015\052.1\ENG\ Plot Date: 08-25-2016
File Name: 20150521_DRAINERT.DWG Plot Time: 2:28 pm

O'REILLY AUTO PARTS
12700 LOMAS BLVD NE
TRAFFIC CERTIFICATION

HIGH MESA Consulting Group

6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109
PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

SHEET C2.C
08/30/2016
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