

CITY OF ALBUQUERQUE



February 3, 2016

Paul Engel
Anderson Engineering, Inc.
2045 W. Woodland
Springfield, MO 65807

Re: O'Reilly Auto Parts- Albuquerque (A15)
12700 Lomas Blvd., NE
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 1-28-16 (K22-D019)

Dear Mr. Engel,

The TCL submittal received 2-1-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: O'Reilly Auto Parts - Albuquerque, NM (A15) Building Permit #: T201592448 City Drainage #: K2220019
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: All of Block One (1) of Chelwood Park
City Address: 12700 Lomas Blvd NE, Albuquerque, NM 87123

Engineering Firm: Anderson Engineering, Inc. Contact: Paul J. Engel
Address: 2045 W. Woodland, Springfield, MO 65807
Phone#: (417) 866-2741 Fax#: (417) 866-2778 E-mail: pengel@aeincmo.com

Owner: O'Reilly Automotive Stores, Inc. Contact: Sheldon Jennings
Address: 233 South Patterson, Springfield, MO 65802
Phone#: (417) 862-2674 Fax#: (417) 874-7112 E-mail: sjennings@oreillyauto.com

Architect: CASCO Contact: Mike Chura
Address: 10877 Watson Road, St. Louis, MO 63127
Phone#: (314) 821-1100 Fax#: (314) 821-4162 E-mail: oreillygu@cascoCorp.com

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:
☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:
☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

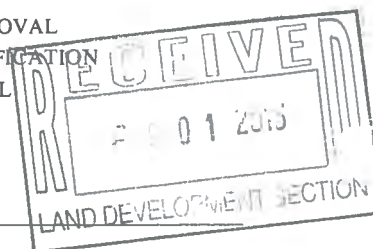
IS THIS A RESUBMITTAL? ☒ Yes ☐ No

DATE SUBMITTED: 2/11/16 By: Ryan Curley

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____



ENGINEER'S CERTIFICATION

ENGINEER'S TRAFFIC CERTIFICATION

I, J. GRAEME MEANS, NMPE 13676, OF THE FIRM HIGH MESA CONSULTING GROUP HEREBY CERTIFY THAT THIS PROJECT HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 01/28/2016. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT WAS OBTAINED 08/24/2016 BY HIGH MESA CONSULTING GROUP UNDER THE DIRECTION OF JOSEPH M. SOLOMON, JR, NMPS 15075. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON AUGUST 29, 2016 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A RECOMMENDATION FOR PERMANENT CERTIFICATE OF OCCUPANCY AND TO DOCUMENT COMPLETION OF THE IMPROVEMENTS FOR THE OWNER. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

J. GRAEME MEANS, NMPE 13676

08/30/2016

DATE



File Path: P:\DATA\2015\052.1\ENG\ Plot Date: 08-25-2016
File Name: 20150521_DRINCERT.DWG Plot Time: 2:28 pm

O'REILLY AUTO PARTS
12700 LOMAS BLVD NE
TRAFFIC CERTIFICATION

HIGH
MESA Consulting Group

6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109
PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

SHEET C2.C
08/30/2016
2015.052.1

STAGES OF CONSTRUCTION:

1. CONTRACTOR TO PERFORM DETAILED SITE INSPECTION TO LOCATE ALL EXISTING UTILITIES AND VERIFY ANY POSSIBLE CONFLICTS WITH PROPOSED IMPROVEMENTS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTACT OWNER WITH ANY CONFLICTS. MONTH 1
2. INSTALLATION OF CONSTRUCTION ENTRANCE. MONTH 1
3. INSTALLATION OF EROSION CONTROL FENCE. MONTH 1
4. DEMOLITION OF EXISTING SITE IMPROVEMENTS. MONTH 1
5. REMOVAL OF EXISTING PAVEMENT ON THE SITE. MONTH 1
6. INSTALLATION OF ALL STORM WATER DRAINAGE IMPROVEMENTS. MONTH 1
7. ROUGH GRADING. MONTH 1 & MONTH 2
8. CONSTRUCTION OF NEW SITE IMPROVEMENTS. MONTH 2
9. FINAL GRADING. MONTH 3
10. PLACEMENT OF FINAL LANDSCAPING ITEMS AND SOD. MONTH 3
11. REMOVAL OF EROSION CONTROL FENCE. MONTH 3



GENERAL NOTES:

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. ALL SITE DIMENSIONS TO THE FACE OF CURB, CONCRETE OR PROPERTY LINE UNLESS OTHERWISE NOTED. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND STARTING CONSTRUCTION.
- C. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- D. REFER TO STRUCTURAL PLANS FOR DEVELOPMENT OF SIDEWALKS ADJACENT TO FOUNDATIONS.

SPECIAL NOTE:
ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. REFER TO CITY OF ALBUQUERQUE STANDARD DRAWING 2430.

GENERAL INFORMATION:

TYPE OF DEVELOPMENT:
SIZE OF DEVELOPMENT:
PARKING SPACES REQUIRED:
PARKING SPACES PROVIDED:
MOTORCYCLE SPACES PROVIDED:
BICYCLE SPACES PROVIDED:
HANDICAP SPACES PROVIDED:

EXECUTIVE SUMMARY:

THIS COMMERCIAL PROJECT IS LOCATED AT 12700 LOMAS BLVD NE ALBUQUERQUE, NM. O'REILLY AUTO PARTS IS PROPOSING A 7,453 SQ. FT. BUILDING AND 23,082 SQ. FT. OF PARKING LOT. THE PARKING LOT PROVIDES 38 TOTAL PARKING SPACES WITH 2 HANDICAP SPACES, 2 MOTORCYCLE SPACES, 2 BICYCLE SPACES AND AN UNLOADING ZONE. THE PARKING LAYOUT PROVIDES 3 DRIVEWAY ACCESSES WITH 30' WIDE DRIVE AISLES.

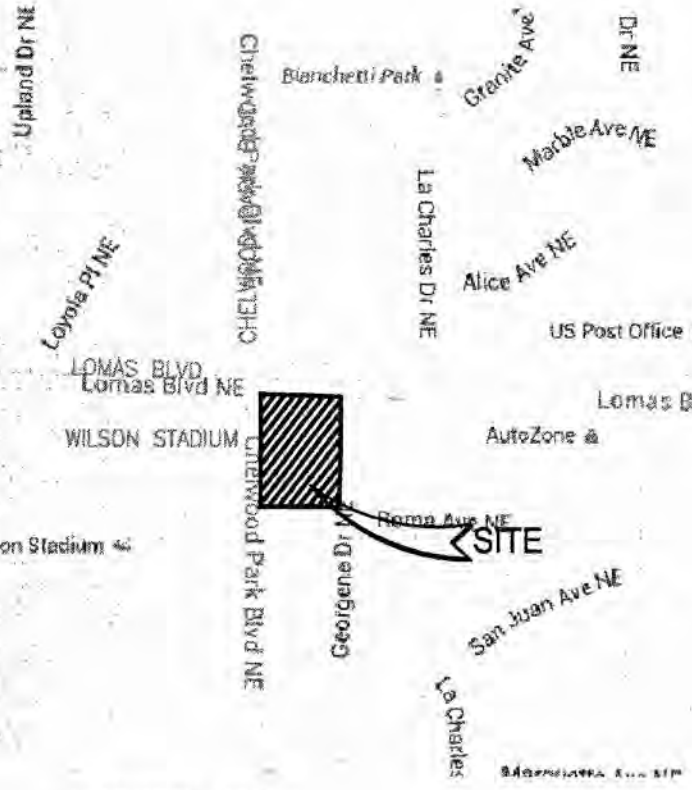
LEGAL DESCRIPTION (AS-SURVEYED):
ALL OF BLOCK ONE (1) OF CHELWOOD PARK, LYING WITHIN SECTION 22, T. 10N., R. 4E., N.M.P.M., WITHIN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS SHOWN ON PLAT OF SURVEY FILED ON MAY 25, 1955, IN PLAT BOOK D1, FOLIO 138, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.

KEY NOTES:

1. CONCRETE PAVING:
REFER TO DETAIL 1C3.
2. NOT USED.
3. CONCRETE CURB:
REFER TO DETAIL 3C3.
4. CONCRETE SIDEWALK:
REFER TO DETAIL 4C3.
5. CONCRETE DOOR LANDING:
REFER TO DETAIL 4C3 AND STRUCTURAL DETAILS. RAMP PAVING AS INDICATED. LANDING CAN BE POURED MONOLITHIC IF CONCRETE PAVING IS USED.
6. STEEL BOLLARD:
REFER TO DETAIL 6C3. PROVIDE (2) AT TRASH PAD AND (2) AT OVERHEAD DOOR. PROVIDE (8) AT SIDEWALK AND (2) AT MOTORCYCLE PARKING SPACES. REFER TO STRUCTURAL PLAN FOR LOCATION.
7. HANDICAP PARKING SIGN:
REFER TO DETAIL 7C3 AND THIS SHEET.
8. NEW CURB:
NEW CURB TO MATCH EXISTING ADJACENT CURB.
9. HANDICAP PARKING SYMBOL:
REFER TO DETAIL 9C3.
10. HANDICAP ACCESS UNLOADING ZONE:
SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN. ACCESS AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE. PLACED AS SHOWN ON PLANS.
11. SCREEN FENCE:
REFER TO DETAIL 11C3.
12. SCREEN FENCE GATES:
REFER TO DETAIL 12C3.
13. CONCRETE BUMPER BLOCK:
8" x 5" x 6'-0" LONG CONCRETE. ANCHOR TO PAVING WITH (2) 1'-6" LONG #4 REBAR (TO SIT LEVEL WITH PAVING).
14. PARKING LOT LIGHTING:
REFER TO SITE LIGHTING PLAN FOR LOCATION AND TYPE.
15. LIMITS OF NEW PAVING:
MATCH EXISTING PER CITY AND OR STATE STANDARDS.
16. CONSTRUCTION LIMIT LINE.
17. NOT USED.
18. STRIPING:
PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT- WHITE (2 COATS)
19. 3' CURB CUT.
20. CONCRETE HANDICAP RAMP:
REFER TO DETAIL 20C3.
21. MOTORCYCLE PARKING SIGN:
REFER TO DETAIL 21C3.1.
22. PROVIDE 2 BICYCLE PARKING SPACES.
REFER TO DETAIL 22C3.
23. CONCRETE PAVING IN TRASH ENCLOSURE:
REFER TO DETAIL 1C3.1.
24. INSTALL DRIVEPADS PER COA STD DWG 2425.
REFER TO DETAIL 3C2.
25. INSTALL 3' X 2' TRUNCATED DOMES PER ADA STANDARDS.

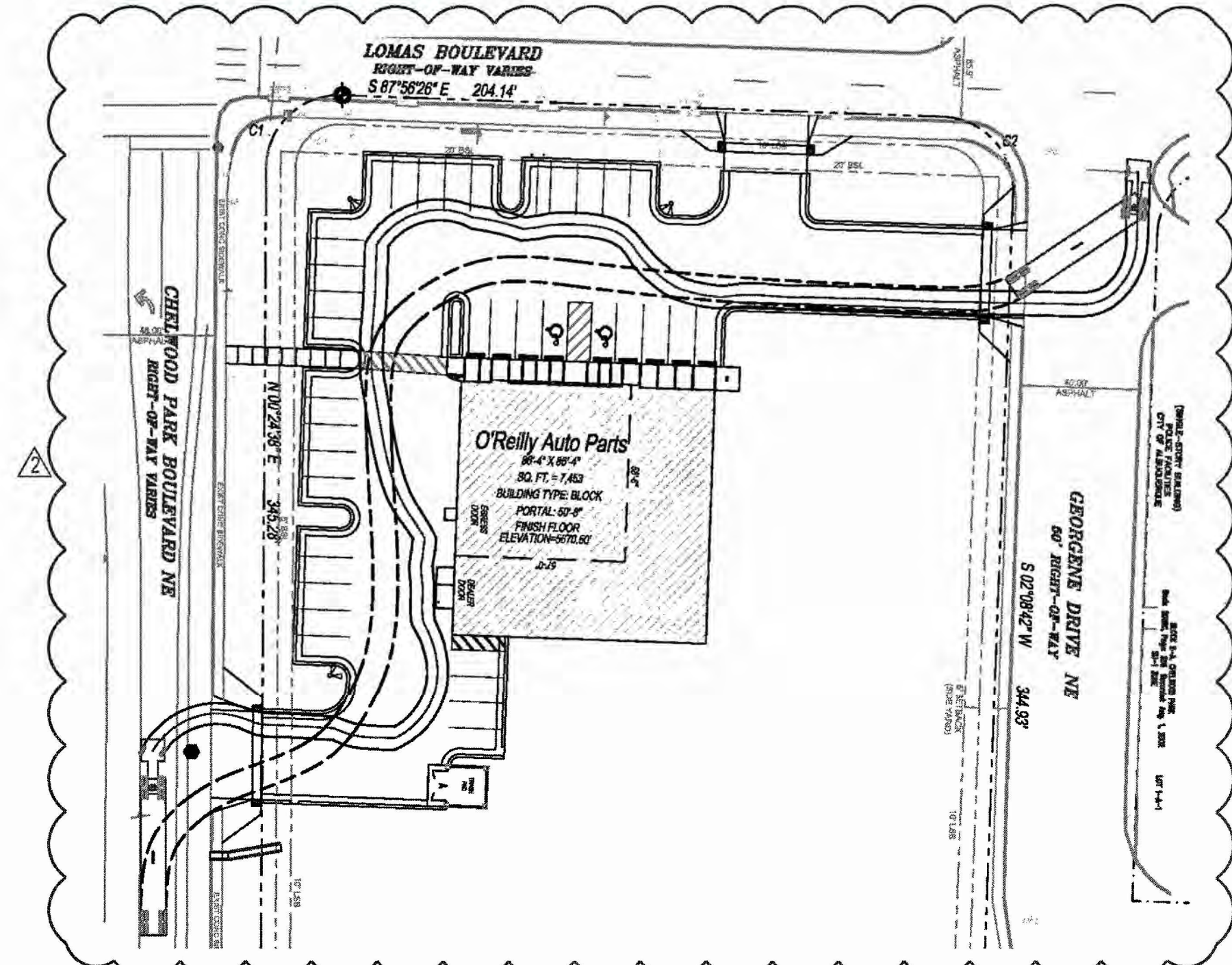
SYMBOLS LEGEND

REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND	
	NEW BUILDING CONSTRUCTION
	AREA OF CONCRETE
	AREA OF PAVING
	NEW CONCRETE PAVING BLOCK
	NEW LIGHT POLE LOCATION
	CONSTRUCTION LIMIT LINE



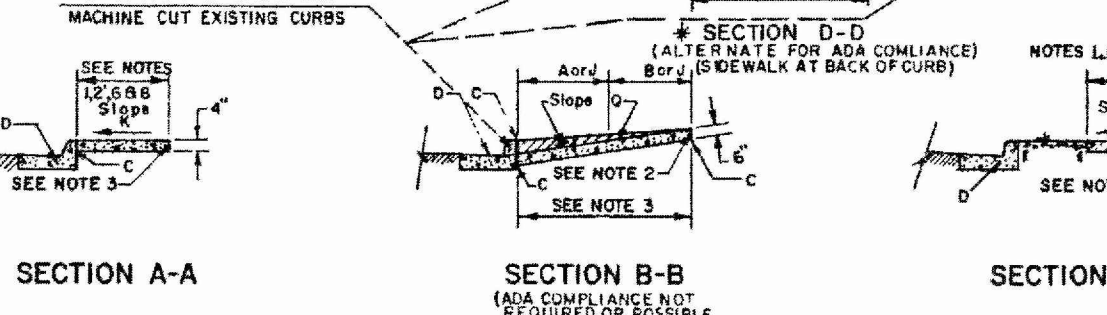
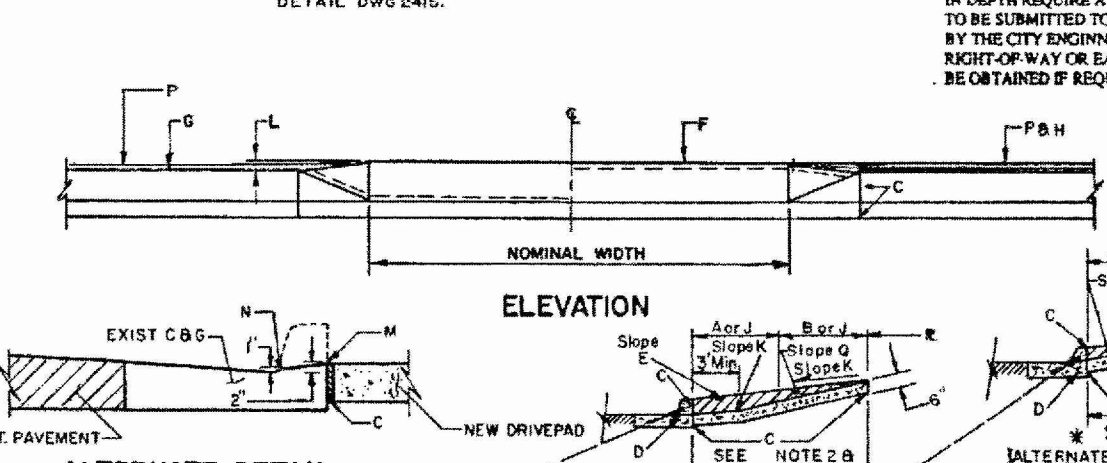
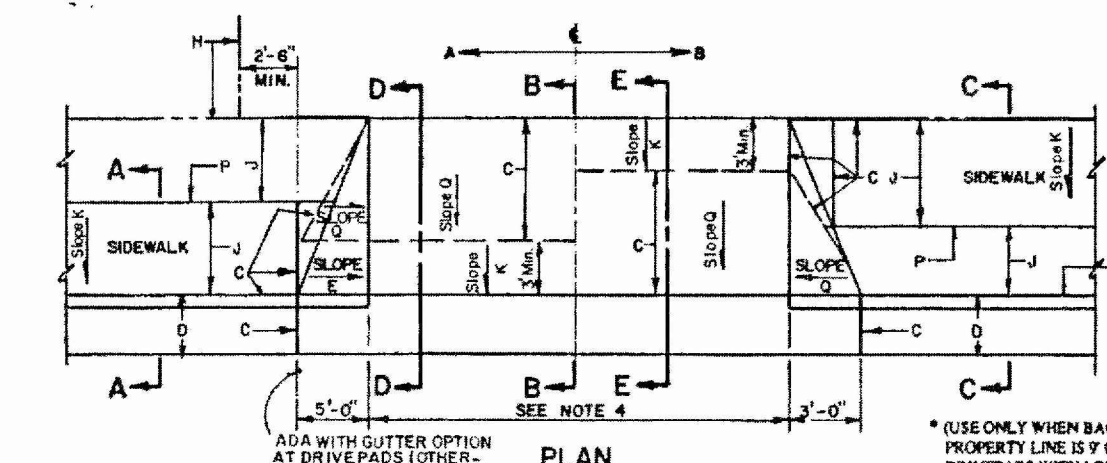
VICINITY MAP:
(NOT TO SCALE)
ZONE ATLAS PAGE: K-22-Z

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

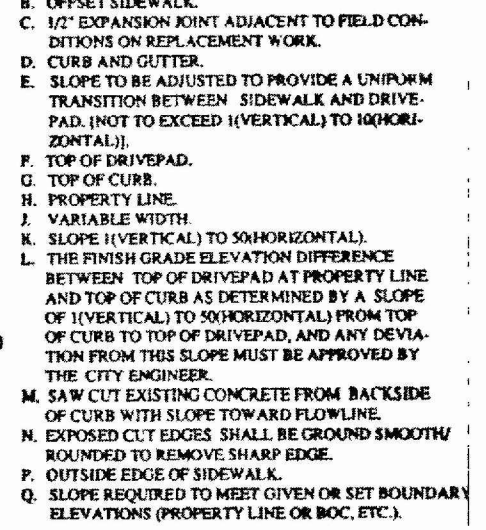


2 DELIVERY TRUCK VEHICLE ROUTE

SCALE: NOT TO SCALE



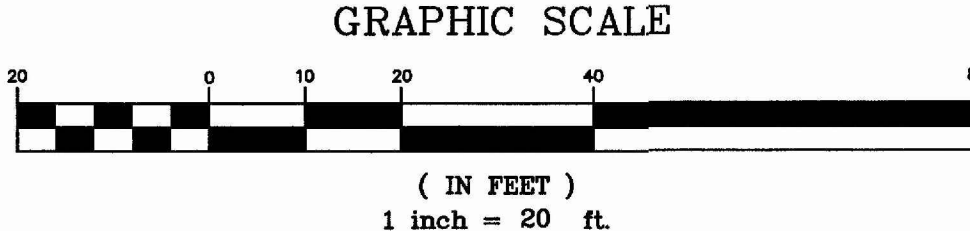
- SPECIAL NOTES:**
1. DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
 2. REQUEST FOR SIDEWALK VARIANCES SHALL BE SUBMITTED TO THE DEVELOPMENT REVIEW BOARD.
 3. USE 1/2" x 2" x 24" WOOD SIDEWALK OR INTERLOCKED BLOCK, 4" THICK, OR OTHER INVIOLABLE OBJECTS.
 4. ALL SIDEWALKS SHALL BE A MIN. 4' WIDE. SIDEWALKS SHALL BE CONSTRUCTED FROM BACK OF CURB TO PAVEMENT.
 5. SIDEWALKS WIDER THAN 14' (MINIMUM) SHALL HAVE A 1/2" x 2" x 24" WOOD OR INTERLOCKED BLOCK, 4" THICK, OR OTHER INVIOLABLE OBJECTS.
 6. SIDEWALKS WIDER THAN 14' (MINIMUM) SHALL HAVE A 1/2" x 2" x 24" WOOD OR INTERLOCKED BLOCK, 4" THICK, OR OTHER INVIOLABLE OBJECTS.
 7. FOR SIDEWALK WIDTHS, SEE CHAPTER 23 OF THE DEVELOPMENT REVIEW BOARD.
 8. SIDEWALKS AT THE BACK OF CURB SHALL BE USED ONLY WHEN VARIANCE IS APPROVED BY THE CITY ENGINEER. ADDITIONAL RIGHT-OF-WAY OR EASEMENTS SHALL BE OBTAINED IF REQUIRED.
 9. CURB TYPE SIDEWALK.
 10. OFFSET SIDEWALK.
 11. 1/2" EXPANSION JOINT ADJACENT TO FIELD CONDITIONS ON REPLACEMENT WORK.
 12. CURB AND GUTTER.
 13. SLOPE TO BE ADJUSTED TO PROVIDE A UNIFORM TRANSITION BETWEEN SIDEWALK AND DRIVEPAD (NOT TO EXCEED 1/4" VERTICAL) TO MAINTAIN DRAINAGE.
 14. TOP OF DRIVEPAD.
 15. TOP OF CURB.
 16. PROPERTY LINE.
 17. SLOPE (VERTICAL) TO HORIZONTAL.
 18. THE FINISH GRADE ELEVATION DIFFERENCE BETWEEN TOP OF DRIVEPAD AT PROPERTY LINE AND TOP OF CURB AS DETERMINED BY A SLOPE OF 1/4" VERTICAL TO HORIZONTAL FROM TOP OF CURB TO TOP OF DRIVEPAD, AND ANY DEVIATION FROM THIS SLOPE MUST BE APPROVED BY THE CITY ENGINEER.
 19. SAW CUT EXISTING CONCRETE FROM BACKSIDE OF CURB WITH SLOPE TOWARD FLOWLINE.
 20. EXISTING CUT EXCESS SHALL BE GRIND SMOOTH TO REMOVE SHARP EDGE.
 21. OUTSIDE EDGE OF SIDEWALK.
 22. SLOPE BACKSIDE TO MEET CURB OR SET BOUNDARY ELEVATIONS (PROPERTY LINE OR BOC, ETC.).



CITY OF ALBUQUERQUE
PAVING
DRIVEPADS
DWG. 2425
AUG. 1996

1 TRAFFIC CIRCULATION LAYOUT PLAN

C2 SCALE: 1" = 20'



REFER TO LANDSCAPE PLAN FOR PLANTINGS

O'Reilly AUTO PARTS

NEW O'REILLY AUTO PARTS STORE
12700 LOMAS BLVD NE
ALBUQUERQUE, NM 87123
TRAFFIC CIRCULATION LAYOUT PLAN



DRAWN: MRR
CHECKED: NSB
DATE: 10-08-2015
JOB NO.: 315621 (A15)
SHEET:

C2
SHEET 2 OF 8

Technical drawing of a VIP Comptaxor enclosure. The drawing shows a cross-section of the structure with various layers and components labeled. Dimensions are provided for the overall size and internal clearances.

Dimensions:

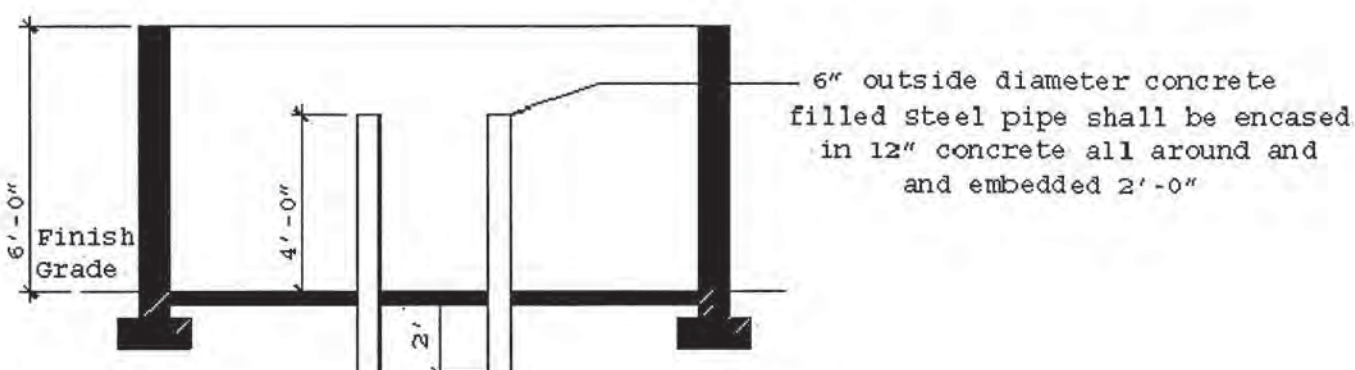
- Overall width: 13'-6"
- Overall height: 12'-0"
- Standard Enclosure width: 12'-0"
- Internal clearances (top): 4'-6" (left), 3'-0" (center), 4'-6" (right)
- Internal clearances (left side): 12" (top), 3'-6" (middle), 5'-0" (bottom)
- Internal clearances (bottom): 8'-0"

Construction Details:

- CONCRETE SLAB:** 6" thick 4,000 PSI, 3/4" aggregate with 6x6-10/10 WRM or equal, slope to drain 1/8" per foot.
- APRON:** 6" thick; 4,000 PSI, 3/4" aggregate with 6x6-10/10 WRM or equal, 12'-0" x 8'-0" with 1/2" expansion joint.
- FOOTING AS REQUIRED BY DESIGN**
- APRON REQUIRED IN FRONT OF EACH ENCLOSURE** (6" with reinforcing to withstand 57,000 lbs.)

Notes:

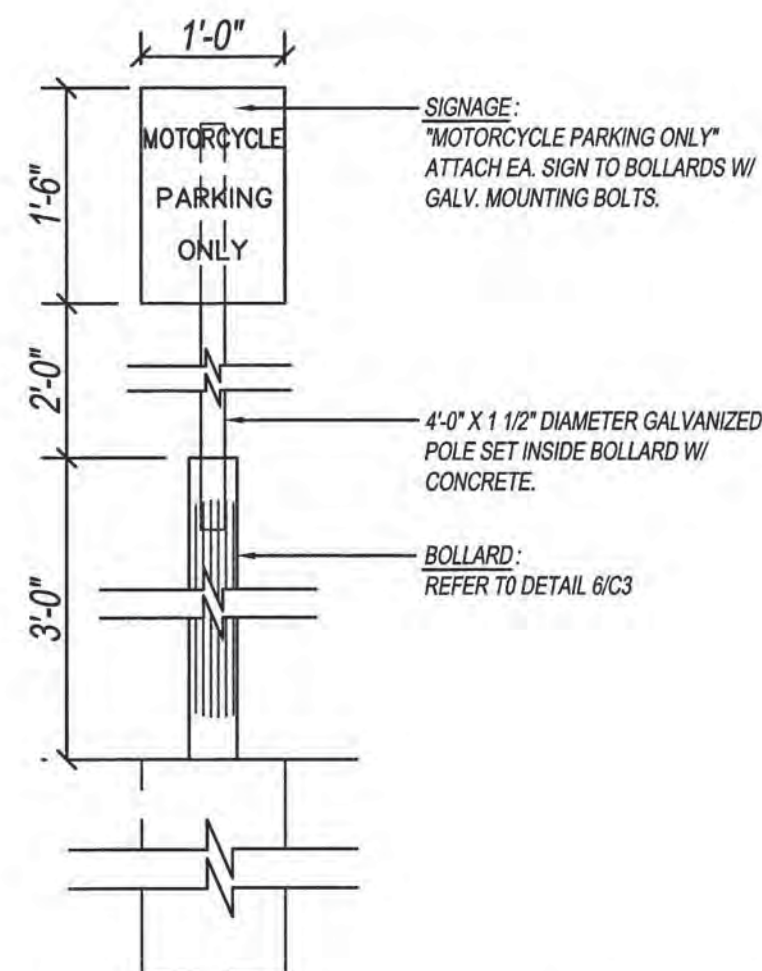
- IS NOT THE INTENTION OF THE SOLID WASTE MANAGEMENT DEPARTMENT TO CONTROL THE DESIGN OF AN ENCLOSURE. IT IS THE INTENT TO GIVE THE MINIMUM WIDTH, LENGTH, AND HEIGHT FOR VARIED TYPES OF ENCLOSURES.
- Side bollards may be required. Bollards are to be 6" from wall.
- attention: All Restaurant and Food services sanitary sewer drain Required 16'-0" inside to inside.
- Drill holes in pad for gate pin.
- Holes in apron for gate pin.
- separate bollards for gates.



Additional information concerning these specifications may be obtained by calling the Solid Waste Management Department

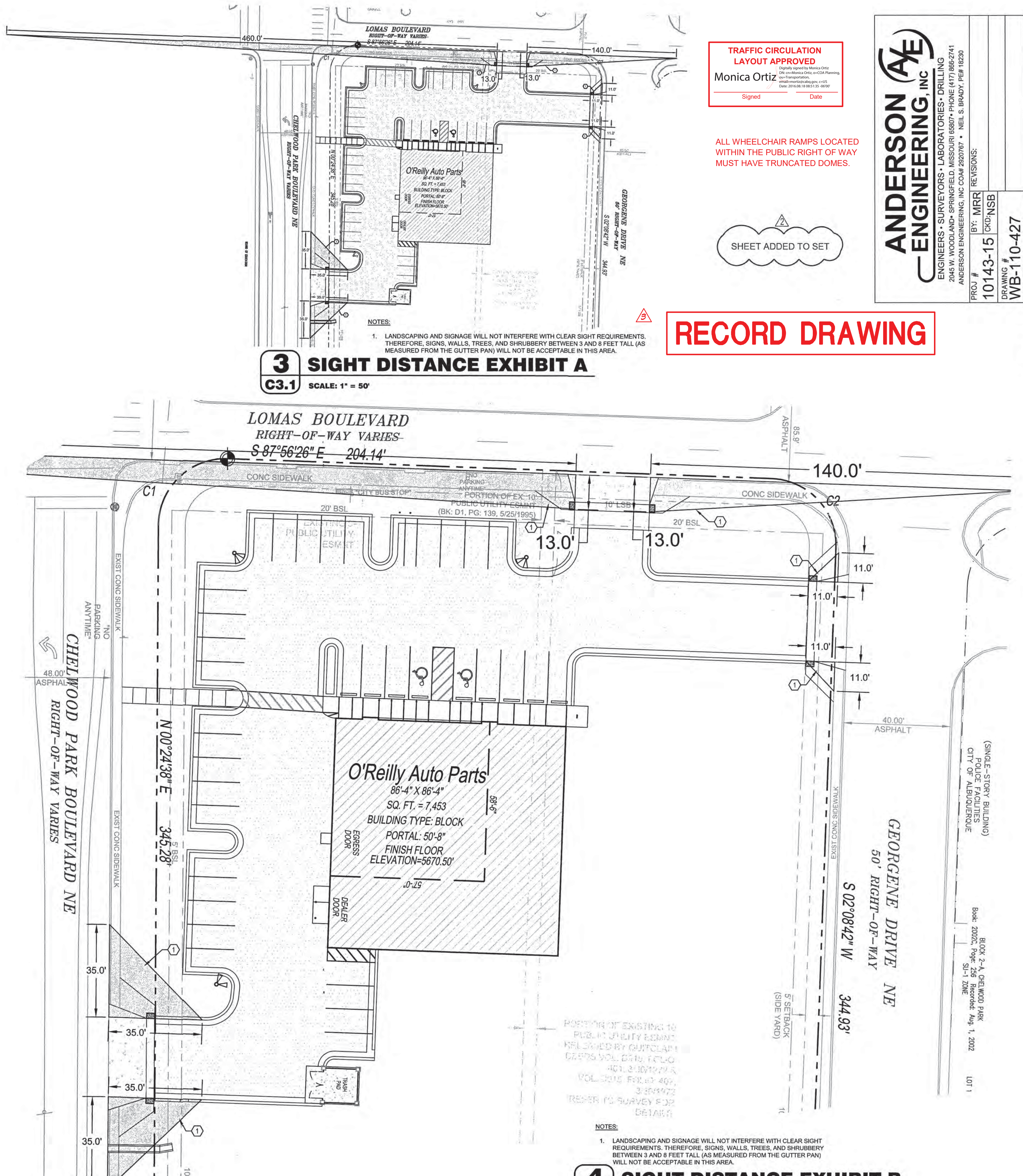
1 TRASH PAD ENCLOSURE DETAIL

C3.1 | **SCALE: NOT TO SCALE**



2 | MOTORCYCLE PARKING SIGN

C3.1 | **SCALE: NOT TO SCALE**



**TRAFFIC CIRCULATION
LAYOUT APPROVED**

Digitally signed by Monica Ortiz
DN: cn=Monica Ortiz, o=CDA Planning,
ou=Transportation,
email=monortiz@cda.gov, c=US
Date: 2016.08.18 06:51:35 -0600

Signed _____ Date _____

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

SHEET ADDED TO SET

RECORD DRAWING

ANDERSON
—ENGINEERING, INC.

ENGINEERS • SURVEYORS • LABORATORIES • DRILLING
2045 W. WOODLAND • SPRINGFIELD, MISSOURI 65807 • PHONE (417) 866-2741
ANDERSON ENGINEERING, INC COA# 2920767 • NEIL S. BRADY, PE# 18230

PROJ #	BY: MRR	REVISIONS:
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DRAWING #
WB-110-427



O'Reilly AUTO PARTS

CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
417-862-2674 PHONE

PROJECT:
NEW O'REILLY AUTO PARTS STORE
12700 LOMAS BLVD NE
ALBUQUERQUE, NM 87123

SITE DETAILS



Professional of Record

DRAWN:	MRR
CHECKED:	NSB
DATE:	2-1-2016
JOB NO.:	315621 (A15

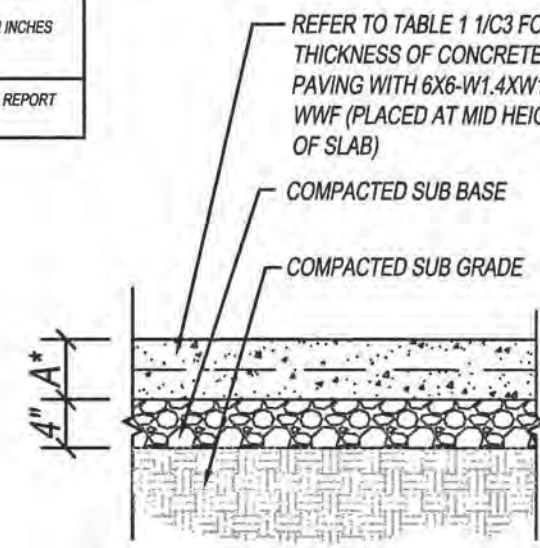
SHEET:

C3.1

SHEET 4 OF 6

TABLE 1**		
PAVEMENT SECTION		
PAVEMENT TYPE	AUTOMOBILE PARKING AREAS	TRUCK TRAFFIC AND MAIN DRIVE LANES
PORTLAND CEMENT CONCRETE (A)	5 INCHES	5-10 INCHES

PROVIDE CONTROL JOINTS AT 12' O.C. (25% SLAB THICKNESS)

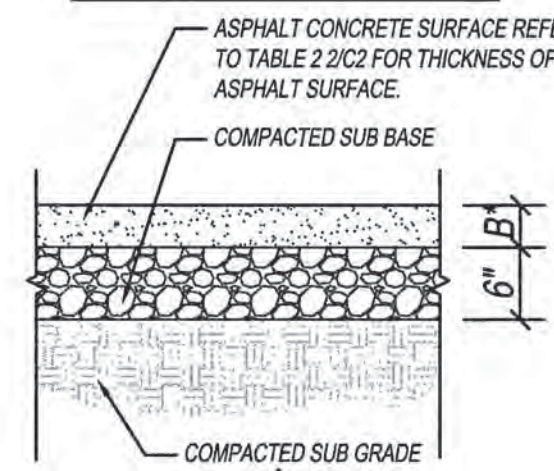


1 CONCRETE PAVING SECTION

C3 SCALE: NOT TO SCALE

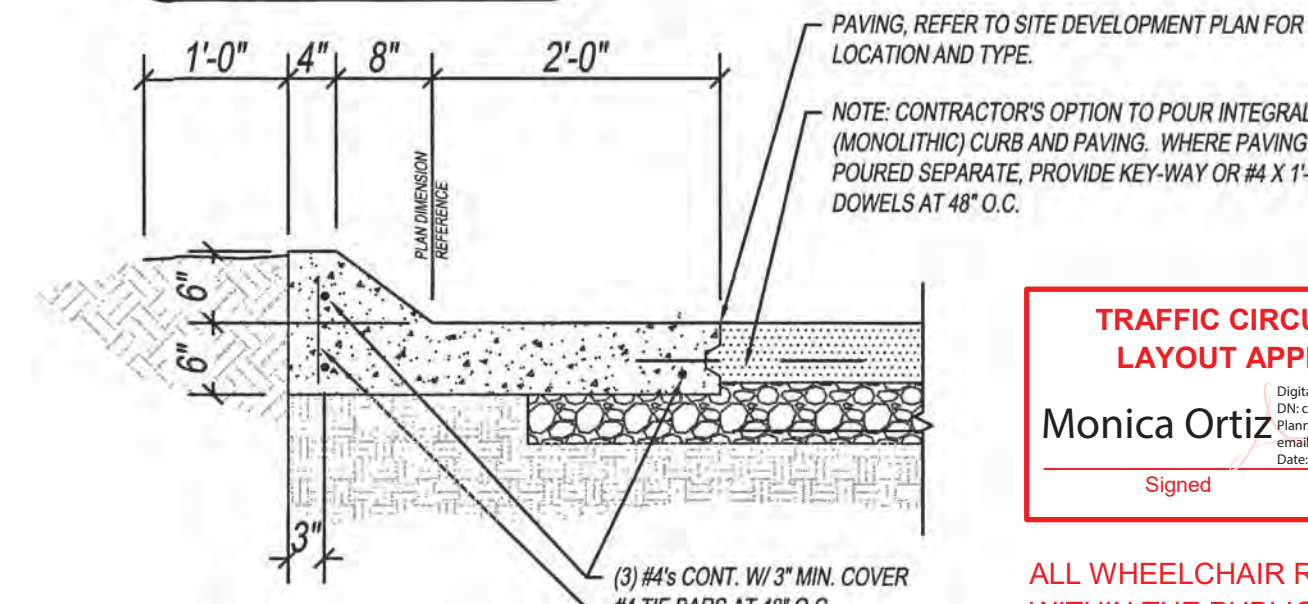
TABLE 2**		
PAVEMENT SECTION		
PAVEMENT TYPE	AUTOMOBILE PARKING AREAS	TRUCK TRAFFIC AND MAIN DRIVE LANES
ASPHALT CONCRETE SURFACE (B)	2 1/2 INCHES	3 1/2 INCHES

PROVIDE CONTROL JOINTS AT 10' O.C. (25% SLAB THICKNESS)



2 ASPHALT PAVING SECTION

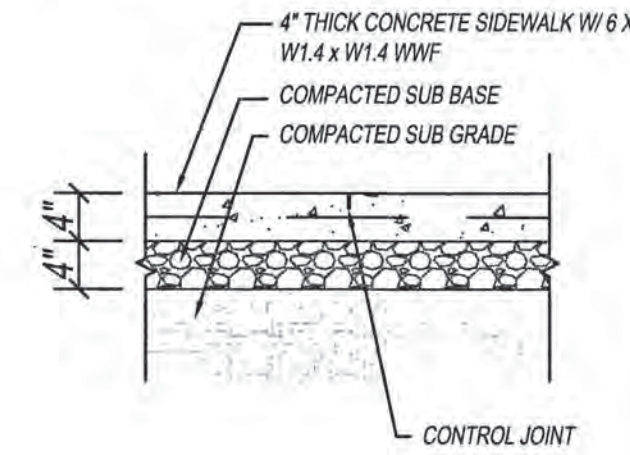
C3 SCALE: NOT TO SCALE



3 CONCRETE CURB SECTION

C3 SCALE: NOT TO SCALE

PROVIDE TOOLED CONTROL JOINTS AT 6' O.C. (25% SLAB THICKNESS) AND ISOLATION JOINTS AT 24' O.C., UNLESS OTHERWISE NOTED.

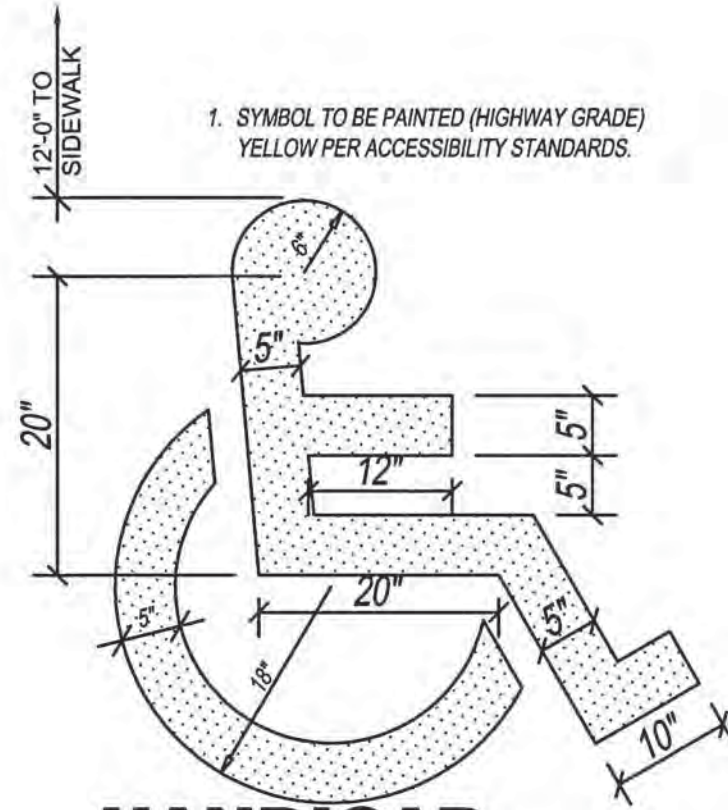


4 CONCRETE SIDEWALK SECTION

C3 SCALE: NOT TO SCALE

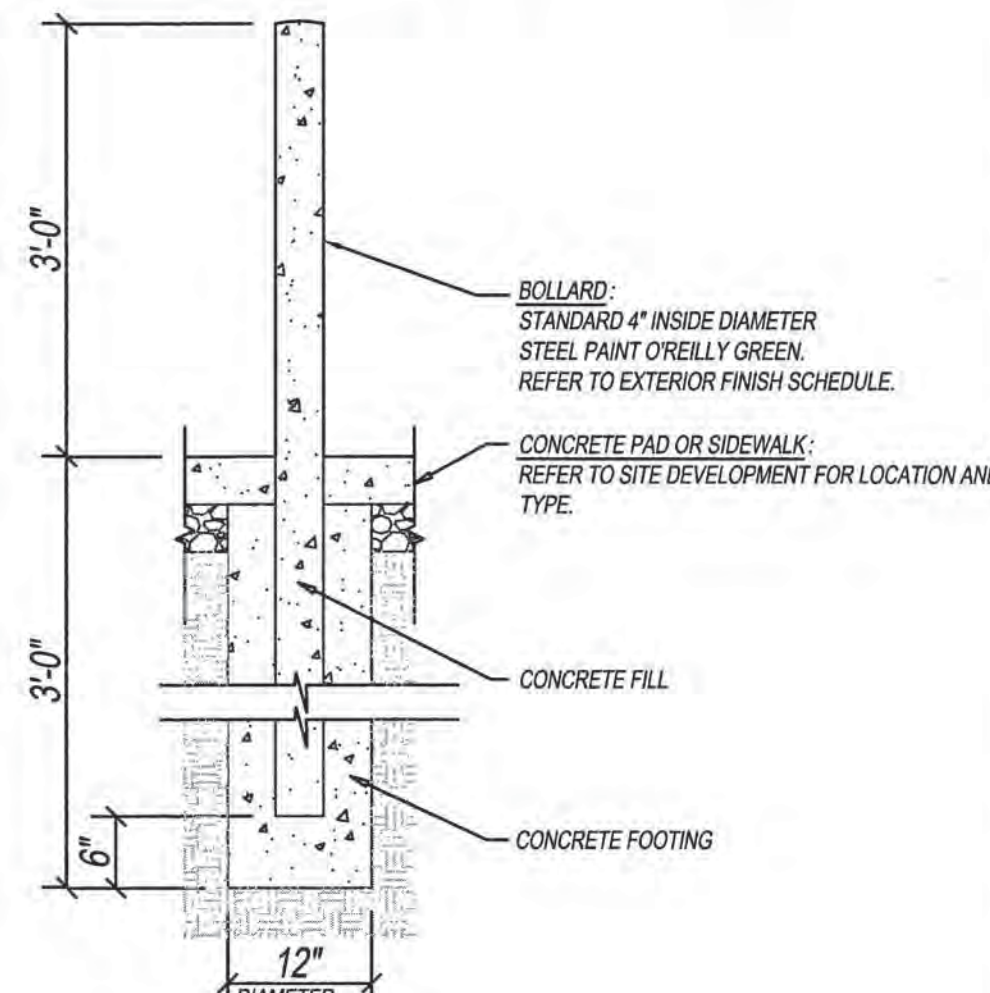
TRAFFIC CIRCULATION LAYOUT APPROVED
Monica Ortiz
Signed _____ Date _____

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



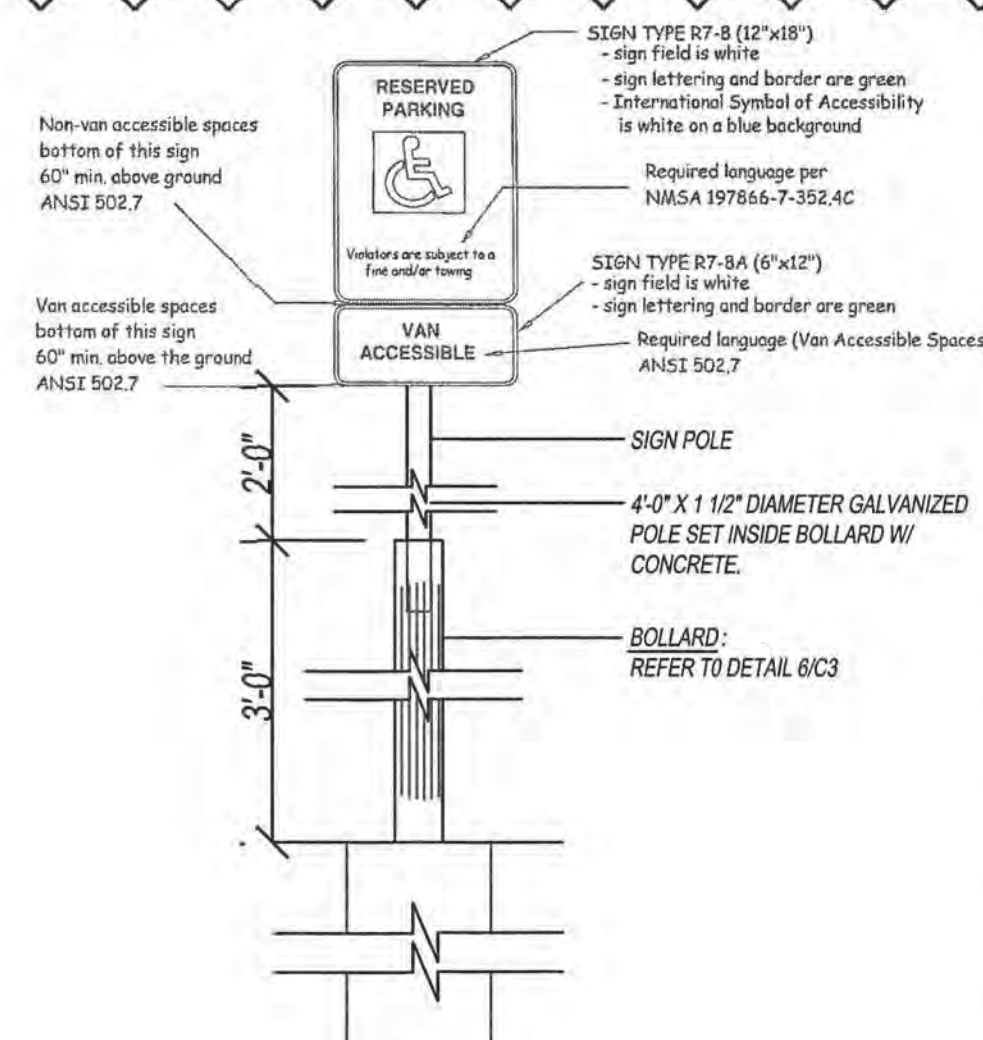
5 HANDICAP PARKING SYMBOL

C3 SCALE: NOT TO SCALE



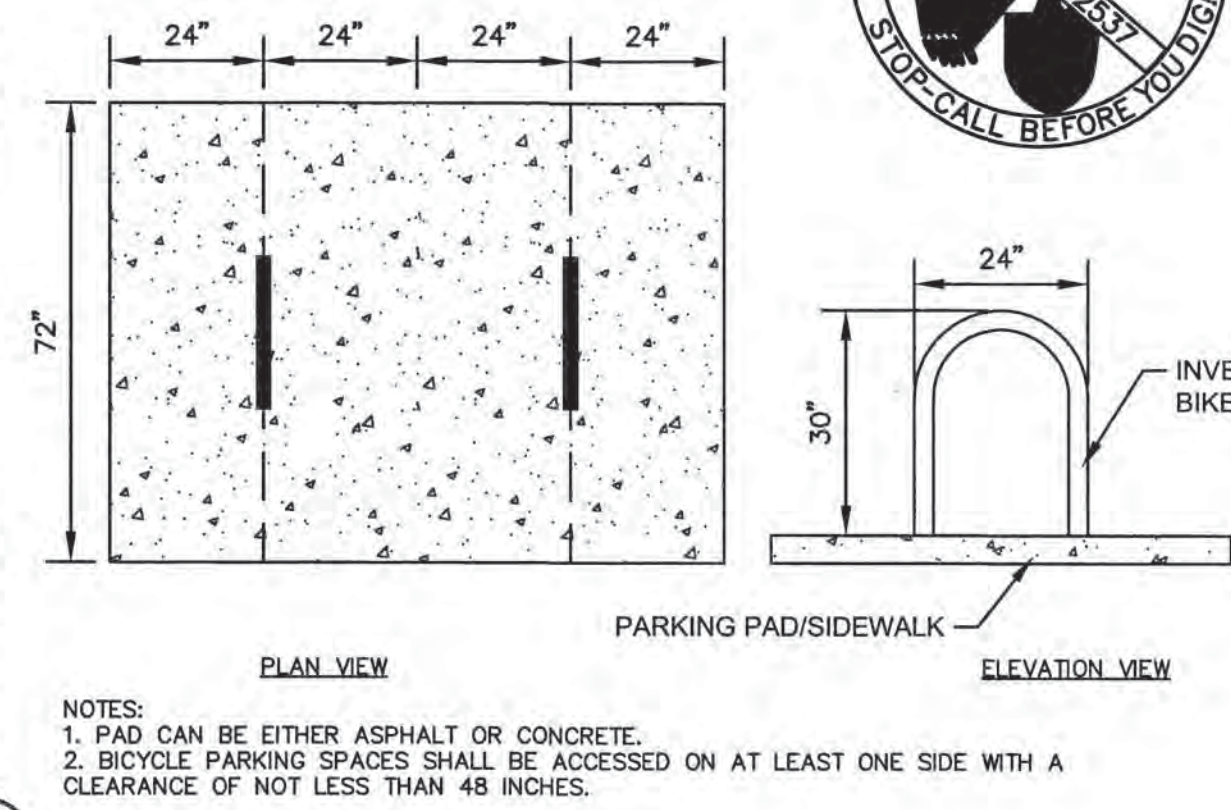
6 STEEL BOLLARD SECTION

C3 SCALE: NOT TO SCALE



7 HANDICAP PARKING SIGN

C3 SCALE: NOT TO SCALE

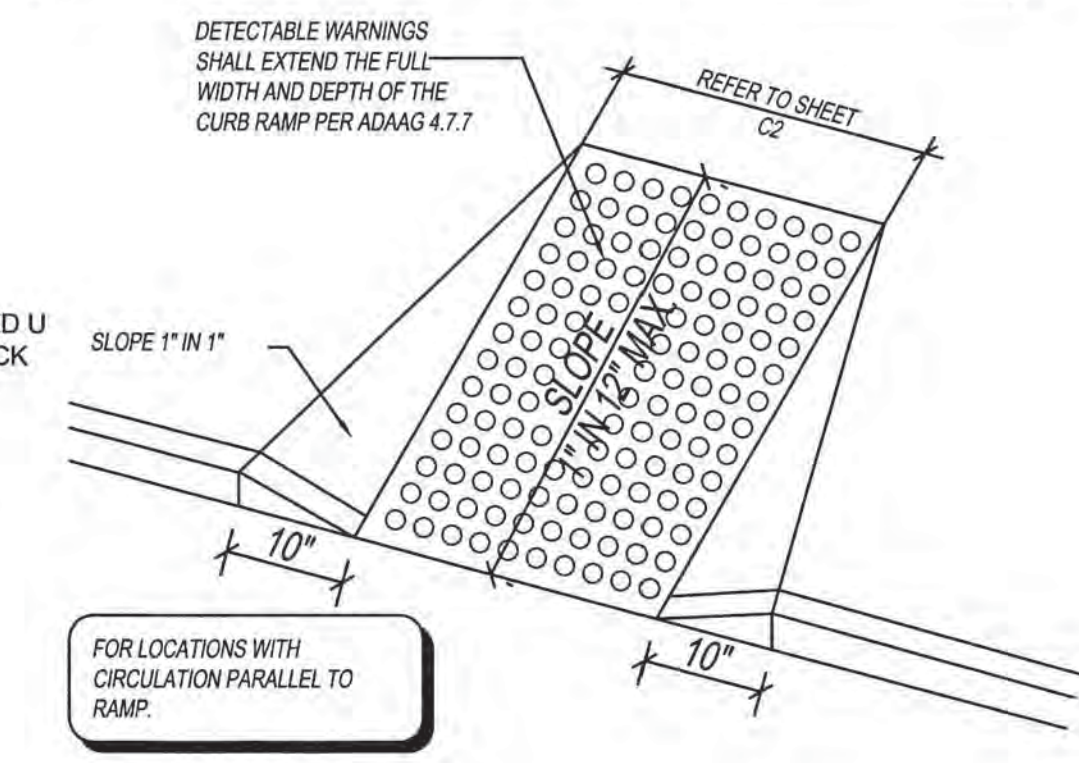


NOTES:
1. PAD CAN BE EITHER ASPHALT OR CONCRETE.
2. BICYCLE PARKING SPACES SHALL BE ACCESSED ON AT LEAST ONE SIDE WITH A CLEARANCE OF NOT LESS THAN 48 INCHES.

8 BICYCLE PARKING DETAIL

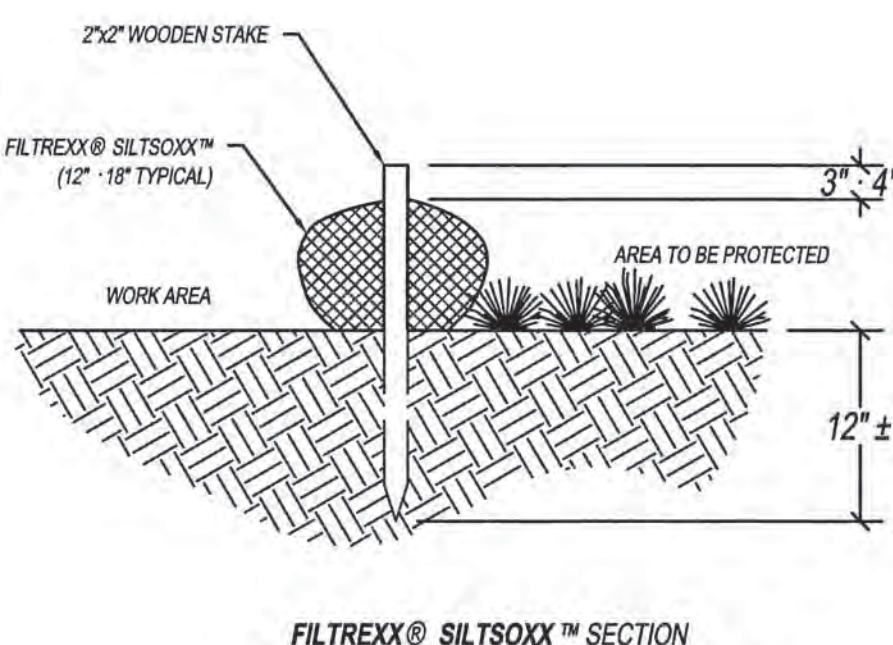
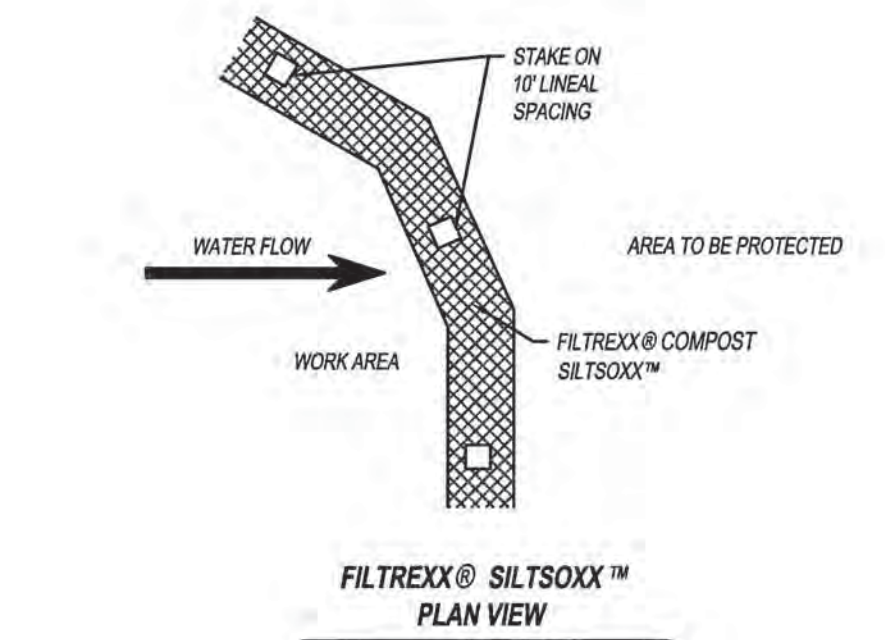
C3 SCALE: NOT TO SCALE

PROVIDE DETECTABLE WARNINGS WITH RAISED PATTERN (CAUTION YELLOW COLOR WITH .9" DIA. AND RAISE .02" PER ADAAG 4.7.7)



9 CONCRETE HANDICAP RAMP

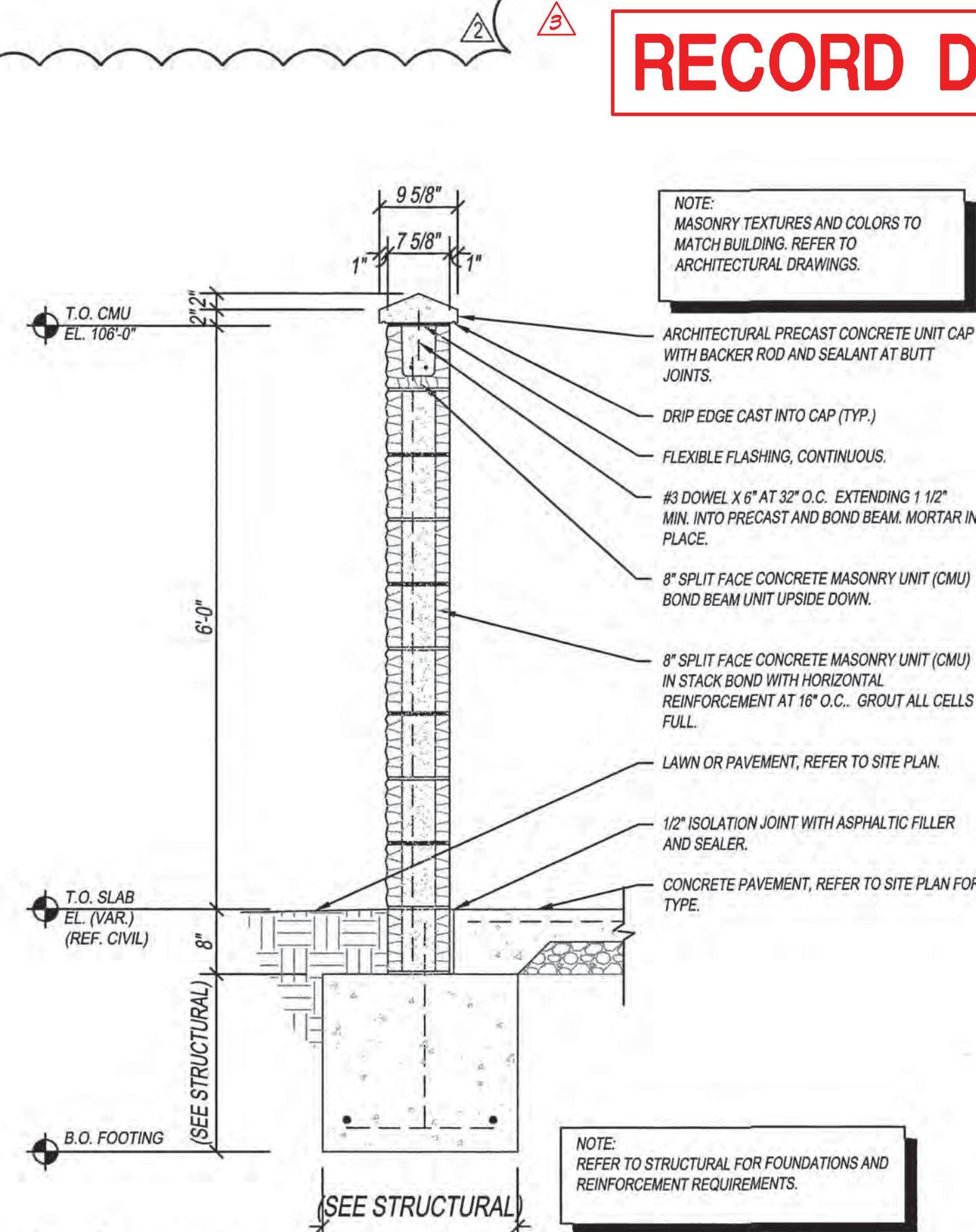
C3 SCALE: NOT TO SCALE



NOTE:
1. ALL MATERIAL TO MEET FILTREX® SPECIFICATIONS OR APPROVED EQUAL.
2. SILTISOXX™ COMPOST/SOIL/ROCKSEED FILL TO MEET APPLICATION REQUIREMENTS.
3. SILTISOXX™ DEPICTED IS FOR MINIMUM SLOPES. GREATER SLOPES MAY REQUIRE LARGER ROCKS PER THE ENGINEER.
4. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

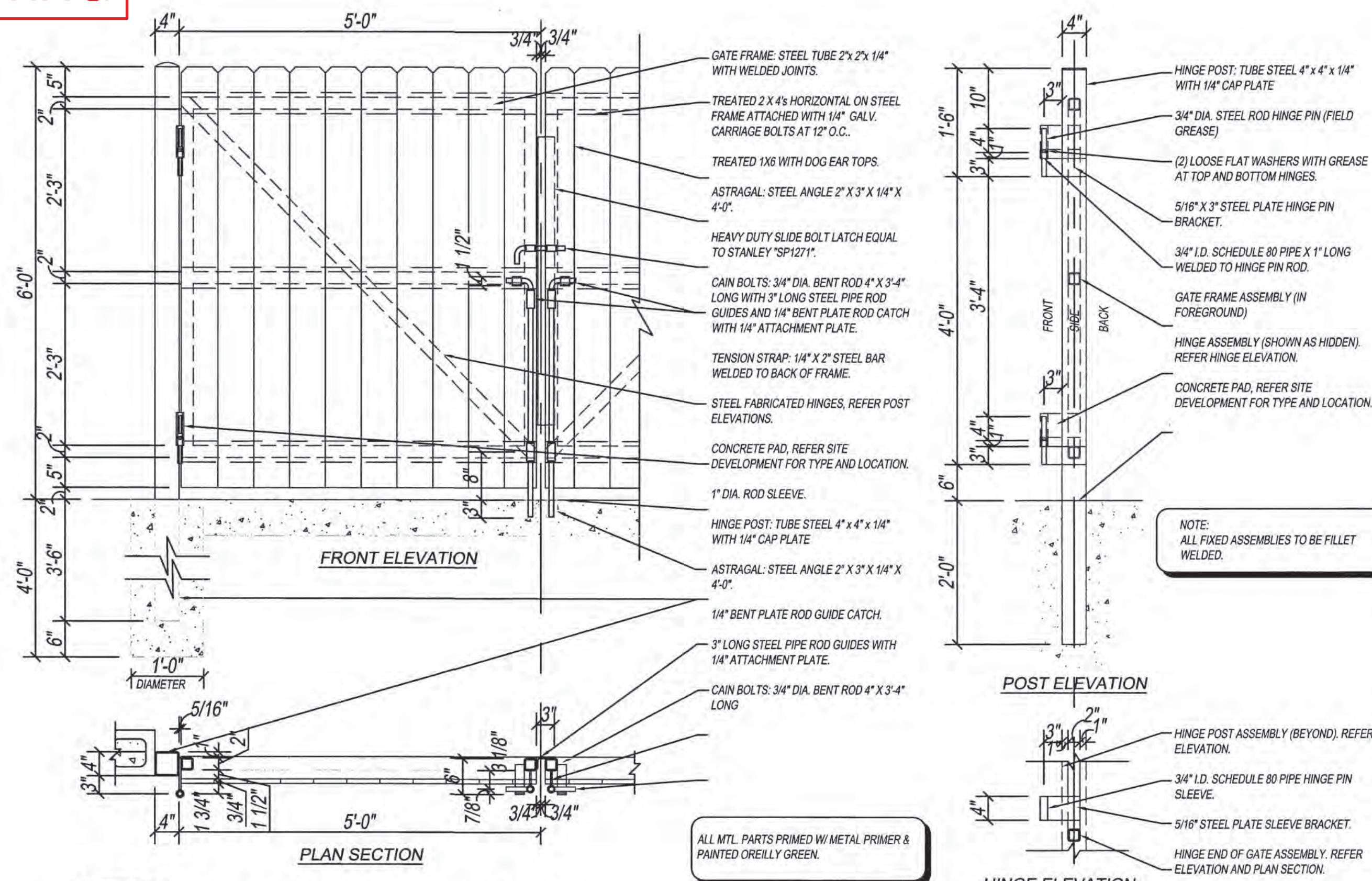
10 FILTREX® SILTISOXX™

C3 SCALE: NOT TO SCALE



11 SCREEN FENCE

C3 SCALE: NOT TO SCALE



12 SCREEN FENCE GATE

C3 SCALE: NOT TO SCALE

O'Reilly AUTO PARTS

PROJECT:
NEW O'REILLY AUTO PARTS STORE
12700 LOMAS BLVD NE
ALBUQUERQUE, NM 87123



DRAWN: MRR
CHECKED: NSB
DATE: 10-08-2015
JOB NO.: 315621 (A15)
SHEET:

C3
SHEET 3 OF 6



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: O'Reilly Auto Parts - Albuquerque, NM (A15) **Building Permit #:** T201592448 **City Drainage #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: All of Block One (1) of Chelwood Park
City Address: 12700 Lomas Blvd NE, Albuquerque, NM 87123

Engineering Firm: High Mesa Consulting Group **Contact:** Graeme Means
Address: 6010-B Midway Park Blvd. NE, Albuquerque, NM 87109
Phone#: (505) 345-4250 **Fax#:** (505) 345-4254 **E-mail:** gmeans@highmesacg.com

Owner: O'Reilly Automotive Stores, Inc. **Contact:** Sheldon Jennings
Address: 233 South Patterson, Springfield, MO 65802
Phone#: (417) 862-2674 **Fax#:** (417) 874-7112 **E-mail:** sjennings@oreillyauto.com

Architect: CASCO **Contact:** Mike Chura
Address: 10877 Watson Road, St. Louis, MO 63127
Phone#: (314) 821-1100 **Fax#:** (314) 821-4162 **E-mail:** oreillygu@cascoCorp.com

Other Contact: Anderson Engineering, Inc. (Design Engineer) **Contact:** Paul J. Engel
Address: 2045 W. Woodland, Springfield, MO 65807
Phone#: (417) 866-2741 **Fax#:** (417) 866-2778 **E-mail:** pengel@aeincmo.com

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☒ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 8-31-2016 By: Ryan Curlev

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

CITY OF ALBUQUERQUE



September 2, 2016

Graeme Means, P.E.
High Mesa Consulting
12700 Lomas Blvd NE
Albuquerque, NM 87109

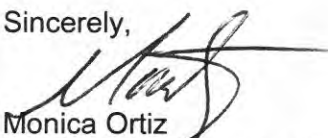
Re: O'Reilly Auto Parts – 12700 Lomas Blvd NE
Request for Certificate of Occupancy- Transportation Development
Engineer's Stamp dated 1-23-16 (K22D019)
Certification dated 08-30-16

Dear Mr. Means,

Based upon the information provided in your submittal received 08-31-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Monica Ortiz at (505) 924-3981 or me at (505)924-3991.

Sincerely,


Monica Ortiz
Plan Checker, Transportation & Hydrology
Development Review Services

mao via: email
C: CO Clerk, File