



**Planning Department  
Transportation Development Services**

December 17, 2015

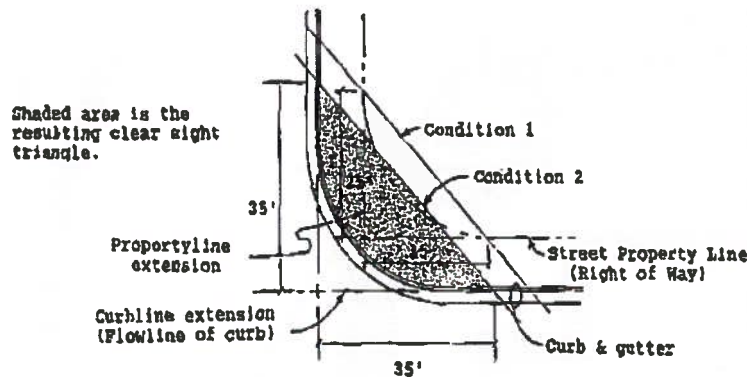
Mike Chura  
CASCO  
10877 Watson Rd.  
St. Louis, MO 63127

**Re: O'Reilly Auto Parts (A15)**  
**12700 Lomas Blvd., NE**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp dated 12-14-15 (K22-D019)

Dear Mr. Chura,

Based upon the information provided in your submittal received 12-15-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The handicap accessible spaces must be a minimum of 8.5 feet in width.
2. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*). Please show this detail for entrances/exits on Chelwood Park Ave., Lomas Blvd., and Georgene Dr.



3. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."

# CITY OF ALBUQUERQUE



4. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
5. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

PO Box 1293

\gs via: email  
C: CO Clerk, File

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: O'Reilly Auto Parts - Albuquerque, NM (A15) Building Permit #: T201592448 City Drainage #: K220019  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: All of Block One (1) of Chelwood Park  
City Address: 12700 Lomas Blvd NE, Albuquerque, NM 87123

Engineering Firm: Anderson Engineering, Inc. Contact: Paul J. Engel  
Address: 2045 W. Woodland, Springfield, MO 65807  
Phone#: (417) 866-2741 Fax#: (417) 866-2778 E-mail: pengel@aeincmo.com

Owner: O'Reilly Automotive Stores, Inc. Contact: Sheldon Jennings  
Address: 233 South Patterson, Springfield, MO 65802  
Phone#: (417) 862-2674 Fax#: (417) 874-7112 E-mail: sjennings@oreillyauto.com

Architect: CASCO Contact: Mike Chura  
Address: 10877 Watson Road, St. Louis, MO 63127  
Phone#: (314) 821-1100 Fax#: (314) 821-4162 E-mail: oreillygu@cascoCorp.com

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

DEPARTMENT:  
☐ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:  
☐ ENGINEER/ ARCHITECT CERTIFICATION  
  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
  
☐ OTHER (SPECIFY) \_\_\_\_\_

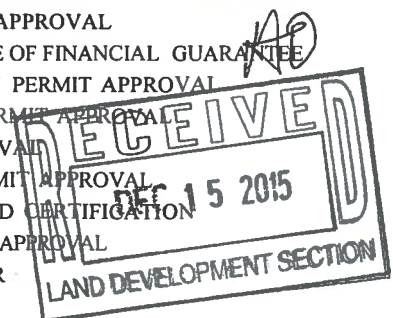
IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 12/15/15 By: Ryan Curley

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_



COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



NOTE: PRIOR TO BEGINNING ANY SITE WORK & ORDERING OF MATERIALS, CONTRACTOR SHALL FIELD VERIFY ALL UTILITY & DRAINAGE CONNECTIONS TO EXISTING SYSTEMS BY POT HOLING AND SHALL NOTIFY ENGINEER OF NEEDED CHANGES: FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR BEING RESPONSIBLE FOR ALL REVISION COSTS AND DELAYS.

GENERAL NOTES:

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. SITE CONDITIONS BASED UPON SURVEY SUBMITTED BY OWNER. FIELD VERIFY EXISTING CONDITIONS BY DETAILED SITE INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- C. FIELD VERIFY SANITARY SEWER SERVICE CONNECTION INVERT PRIOR TO ESTABLISHING FINAL FINISH FLOOR ELEVATION.
- D. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.

SITE EXCAVATION REQUIREMENTS:

- 1. A GEOTECHNICAL ANALYSIS HAS BEEN PERFORMED ON THIS SITE. REFER TO PROJECT MANUAL.
- 2. FOLLOW GEOTECHNICAL ANALYSIS RECOMMENDATION FOR SITE EXCAVATION.
- 3. REFER TO STRUCTURAL DRAWINGS FOR BUILDING EXCAVATION REQUIREMENTS.

PIPES NOTES:

- 1. PIPE MATERIALS SHALL BE IN ACCORDANCE WITH AND AS APPROVED BY THE CITY OR APPLICABLE AUTHORITY. REINFORCED CONCRETE PIPE (RCP) AND HIGH DENSITY POLYETHYLENE (HDPE) MAY BE USED AS ALLOWED BY LOCAL GUIDELINES.
- 2. ALL PIPE IS TO BE INSTALLED PER THE MANUFACTURER'S REQUIREMENTS AND MEET COVER REQUIREMENTS PER THE MANUFACTURER.

SPECIAL NOTE:  
CONTRACTOR SHALL COMPLY WITH CITY OF ALBUQUERQUE NOISE ORDINANCE DURING CONSTRUCTION.

SPECIAL NOTE:  
CONTRACTOR SHALL FIELD VERIFY SANITARY SEWER CONNECTION INVERT PRIOR TO CONSTRUCTION BUILDING PAD AT FINAL FINISH FLOOR ELEVATION. REFER TO SITE UTILITIES PLAN.

SPECIAL NOTE:  
CONTRACTOR SHALL FIELD VERIFY PROPOSED GRADES MATCH EXISTING PAVEMENT AT DRIVEWAY ENTRANCES. CONTRACTOR SHALL NOTIFY ENGINEER IF DISCREPANCY OCCURS.

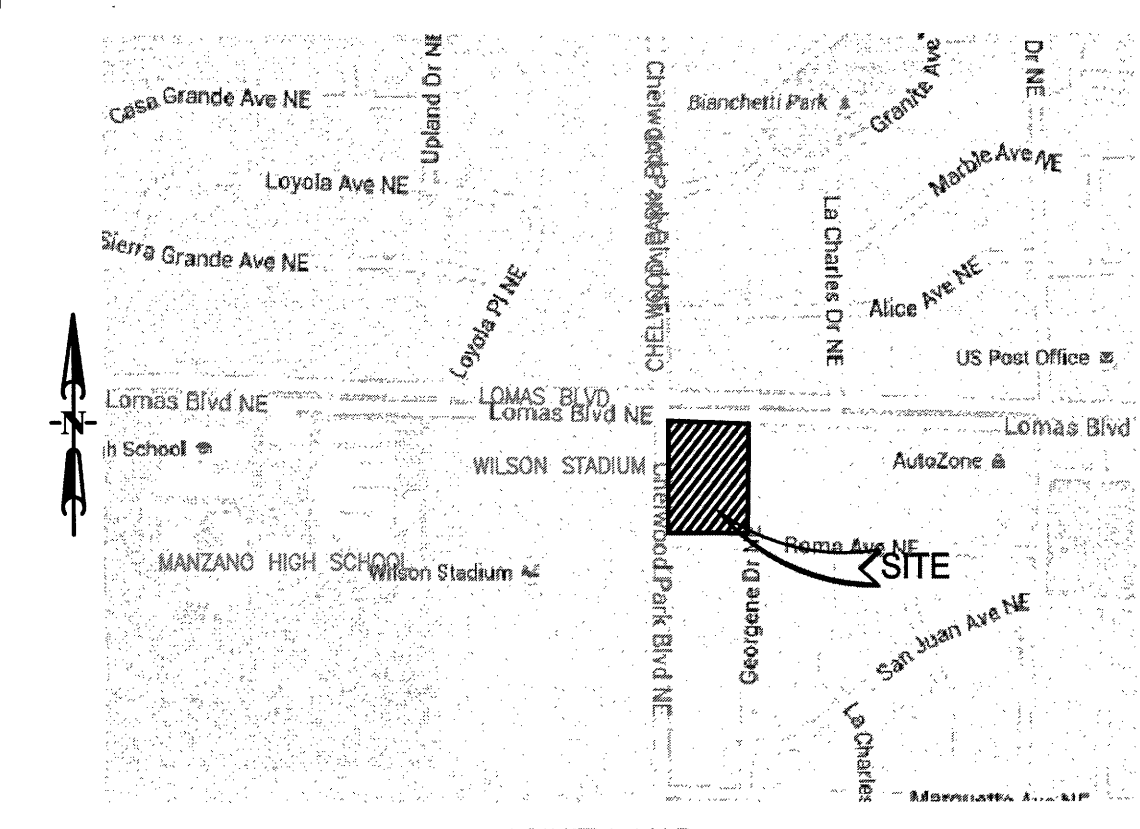
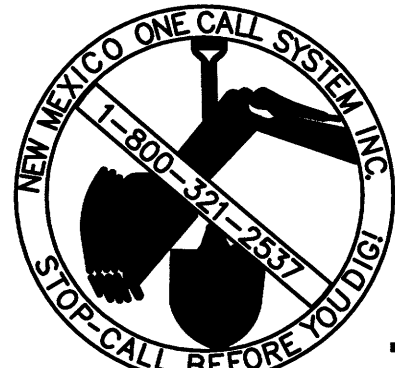
KEY NOTES:

- C1 INSTALL 3" CURB CUT.
- C2 INSTALL 4" X 4" AREA INLET. RIM = 5668.8' INV = 5668.6' REFER TO DETAIL 3/C1.
- C3 INSTALL APPROX. 133 LF OF 12" PIPE. REFER TO PIPE NOTES.
- C4 INSTALL 4" X 4" AREA INLET. RIM = 5667.4' INV = 5664.4' REFER TO DETAIL 3/C1.
- C5 INSTALL APPROX. 10 LF OF 12" PIPE. REFER TO PIPE NOTES.
- C6 INSTALL 4" X 4" AREA INLET. RIM = 5667.4' INV = 5664.3' REFER TO DETAIL 4/C1.
- C7 INSTALL APPROX. 154 LF OF 12" PIPE. DAYLIGHT PIPE INTO RETENTION POND AT INV = 5663.5. REFER TO PIPE NOTES.
- C8 INSTALL APPROX. 15 LF OF CONCRETE RUNDOWN. CONSTRUCT IN RETENTION POND AT FL = 5664.9' AND IN R.O.W. AT INV = 5664.8'. TERMINATE RUNDOWN AT SIDEWALK CURBLINE. REFER TO DETAIL 5/C1.
- C9 INSTALL DRAINAGE SIDEWALK CULVERT WITH STEEL PLATE TOP PER CITY OF ALBUQUERQUE STANDARD DRAWING 2236 AND DETAIL 4/C1. TOP = 5665.3' AND INV = 5664.8'. EXTEND 2' PAST BACK OF SIDEWALK TOWARDS PROPERTY LINE.
- C10 INSTALL 5x6" RIP RAP PAD. REFER TO RIP-RAP NOTES ON SHEET C4.
- C11 INSTALL 3x168" RIP RAP LINED CHANNEL. REFER TO RIP-RAP NOTES ON SHEET C4.

FLOOD ZONE:

THE PROPERTY IS LOCATED INSIDE FLOOD ZONE 'X', AREAS DETERMINED TO HAVE MINIMAL FLOODING BY FLOOD INSURANCE RATE MAP (FIRM) NO. 35001C0359G, REVISED DATE: SEPTEMBER 26, 2008.

SPECIAL NOTE:  
DEPRESS ALL LANDSCAPED AREAS TO RETAIN STORMWATER.



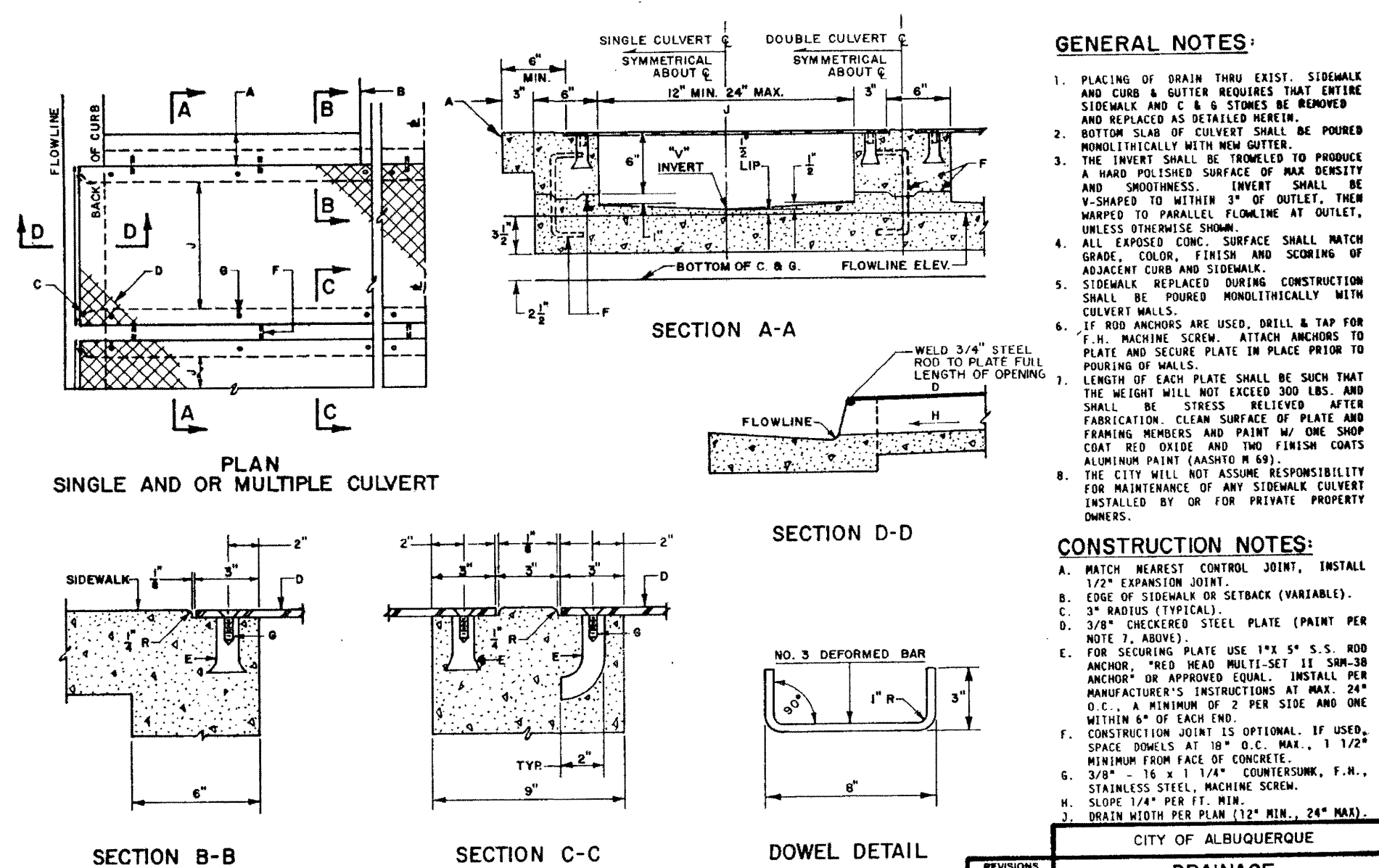
ANDERSON (AE) ENGINEERING, INC.  
ENGINEERS - SURVEYORS - LABORATORIES - DRILLING  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65807 • PHONE: (417) 866-2741  
ANDERSON ENGINEERING, INC. CO. # 202007 • NEIL S. BRADY, P.E. 18230

PROJ. # 10143-15  
BY: MRR  
CHECKED: NSB  
REVISIONS:  
DRAWING # WB-110-427

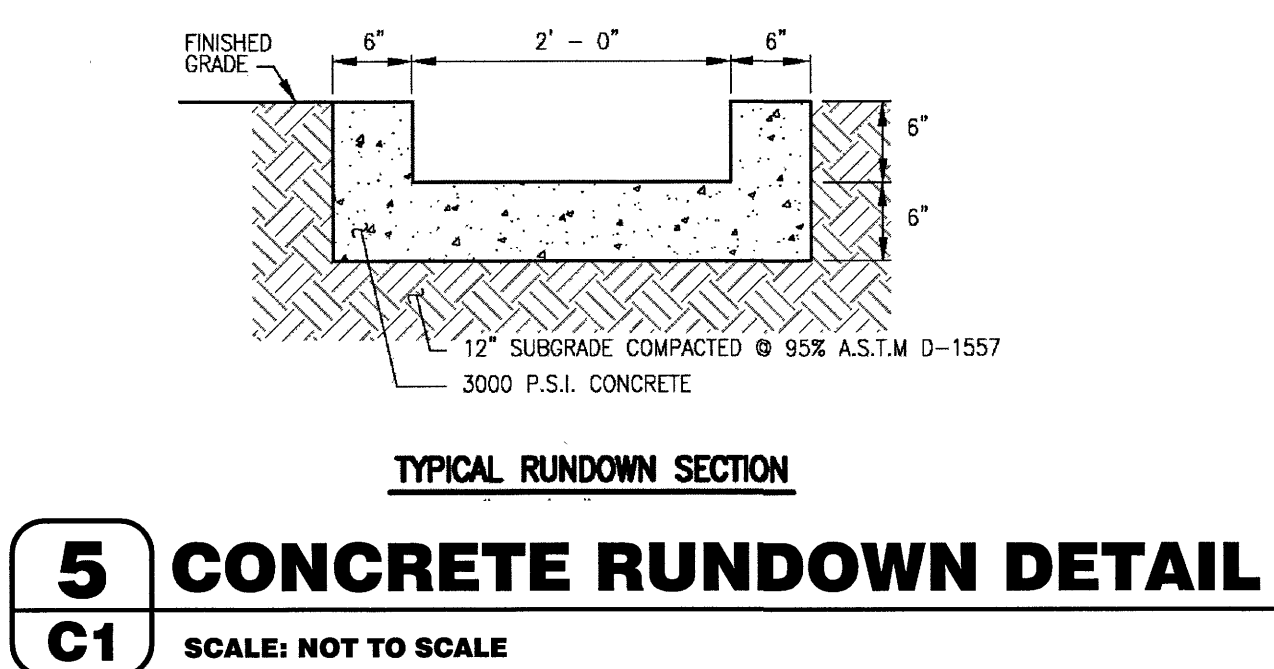
PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR (SPECIAL ORDER 19~"SO-19")

- 1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- 2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" (OR (505) 260-1990) FOR THE LOCATION OF EXISTING UTILITIES.
- 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- 6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

2 HANDICAP PARKING DETAIL C1 SCALE: 1" = 10'



4 STANDARD DRAWING 2236 - DRAINAGE SIDEWALK CULVERT WITH STEEL PLATE TOP C1 SCALE: NOT TO SCALE

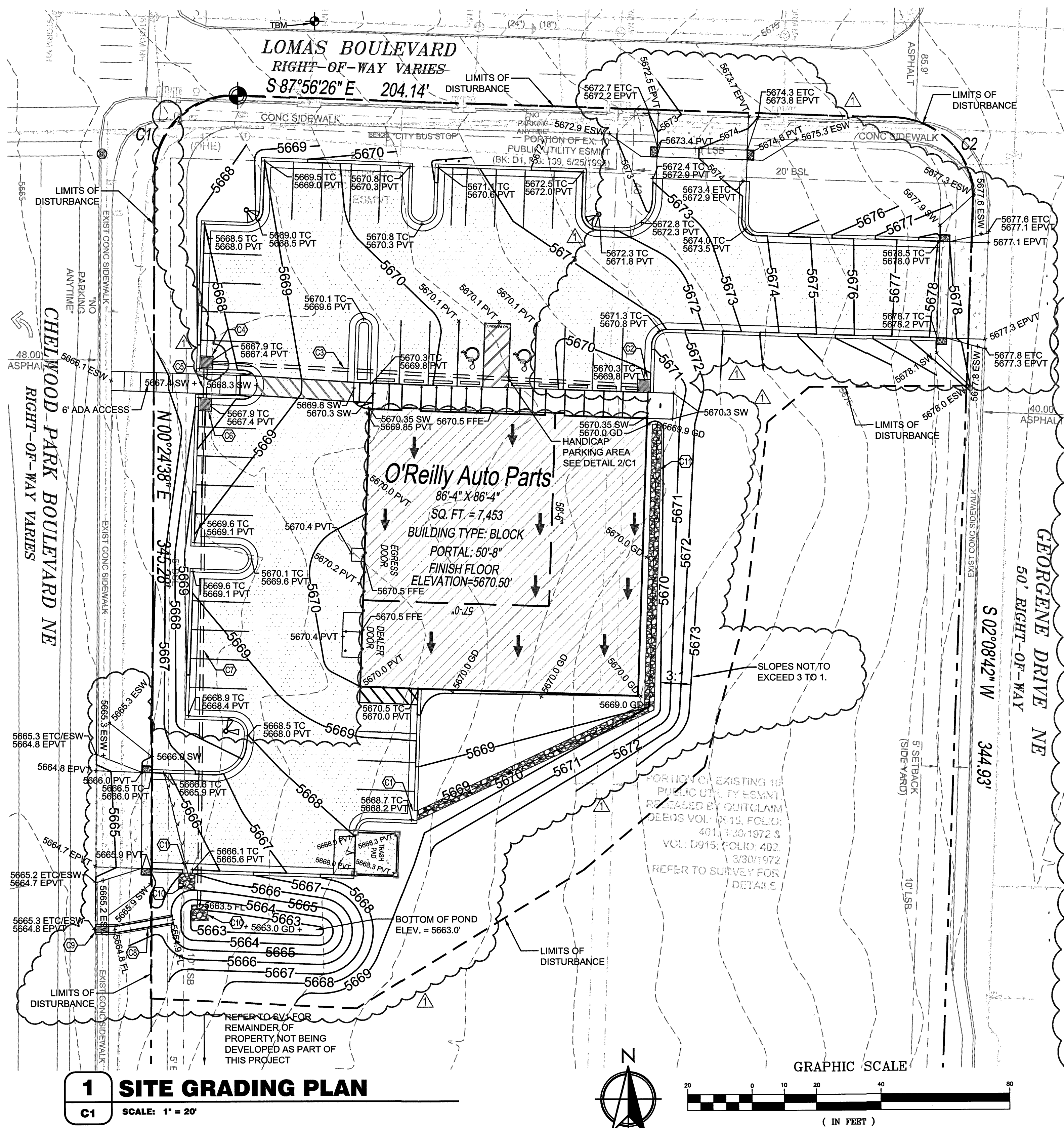


3 4' X 4' AREA INLET C1 SCALE: NOT TO SCALE

LEGAL DESCRIPTION (AS-SURVEYED):  
ALL OF BLOCK ONE (1) OF CHELWOOD PARK, LYING WITHIN SECTION 22, T.10N., R.4E., N.M.P.M., WITHIN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS SHOWN ON PLAT OF SURVEY FILED ON MAY 28, 1965, IN PLAT BOOK D1, FOLIO 139, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.

SYMBOLS LEGEND

REFER TO SURVEY (SV1) FOR EXISTING CONDITION SYMBOLS LEGEND AND SITE CONTROL.		
---	EXISTING GRADE LINES	
---	PROPOSED NEW GRADE LINES	
[Hatched Box]	NEW BUILDING CONSTRUCTION	
[Solid Box]	NEW CONCRETE PAVING BLOCK	
---	SILT FENCE	
---	SURFACE FLOW ARROW	
	NEW SPOT ELEVATIONS	ABBREVIATION
	LIST	NONE
	SIDEWALK	SW
	TOP OF WALL	TW
	TOP OF CURB	TC
	TOP OF PAVEMENT	PVT
	NEW GRADE	GO
	CONCRETE	CONC
	EXISTING TOP OF CURB	ETC
	EXISTING GRADE	EGD
	EXISTING PAVEMENT	EPVT
	EXISTING SIDEWALK	ESW
	FLOW LINE	FL
	TOP OF BERM	TOP
	TEMPORARY BENCHMARK	
	THE TEMPORARY ELEVATION BENCHMARK UTILIZED FOR THIS SURVEY IS THE RIM OF STORM MANHOLE (#600).	
	ELEV. = 5668.02' (NAVD 83 DATUM)	
	VERTICAL DATUM:	
	THIS PROJECT IS BASED UPON BENCHMARK "NCS 3-02" LISTED IN THE DATA BASE OF THE NATIONAL GEODETIC SURVEY AS A FIRST ORDER, AND HAVING A PUBLISHED ELEVATION OF 5687.45 FEET.	



1 SITE GRADING PLAN C1 SCALE: 1" = 20'

PROJECT: NEW O'REILLY AUTO PARTS STORE  
12700 LOMAS BLVD NE  
ALBUQUERQUE, NM 87123  
SITE GRADING PLAN

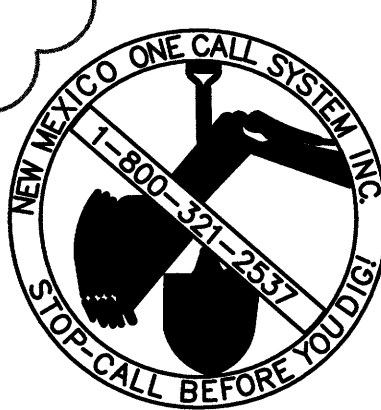
CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
417-862-2674 PHONE

Professional of Record  
12-14-15  
DRAWN: MRR  
CHECKED: NSB  
DATE: 10-08-2015  
JOB NO.: 315621 (A15)  
SHEET: C1  
SHEET 1 OF 5



## STAGES OF CONSTRUCTION:

1. CONTRACTOR TO PERFORM DETAILED SITE INSPECTION TO LOCATE ALL EXISTING UTILITIES AND VERIFY ANY POSSIBLE CONFLICTS WITH PROPOSED IMPROVEMENTS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTACT OWNER WITH ANY CONFLICTS. MONTH 1
2. INSTALLATION OF CONSTRUCTION ENTRANCE. MONTH 1
3. INSTALLATION OF EROSION CONTROL FENCE. MONTH 1
4. DEMOLITION OF EXISTING SITE IMPROVEMENTS. MONTH 1
5. REMOVAL OF EXISTING PAVEMENT ON THE SITE. MONTH 1
6. INSTALLATION OF ALL STORM WATER DRAINAGE IMPROVEMENTS. MONTH 1
7. ROUGH GRADING. MONTH 1 & MONTH 2
8. CONSTRUCTION OF NEW SITE IMPROVEMENTS. MONTH 2
9. FINAL GRADING. MONTH 3
10. PLACEMENT OF FINAL LANDSCAPING ITEMS AND SOD. MONTH 3
11. REMOVAL OF EROSION CONTROL FENCE. MONTH 3



## GENERAL NOTES:

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. ALL SITE DIMENSIONS TO THE FACE OF CURB, CONCRETE OR PROPERTY LINE UNLESS OTHERWISE NOTED. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND STARTING CONSTRUCTION.
- C. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- D. REFER TO STRUCTURAL PLANS FOR DEVELOPMENT OF SIDEWALKS ADJACENT TO FOUNDATIONS.

## GENERAL INFORMATION:

TYPE OF DEVELOPMENT: COMMERCIAL RETAIL  
SIZE OF DEVELOPMENT: BUILDING = 7,453 SQ. FT.  
PARKING LOT = 23,477 SQ. FT.  
7,453 / 200 = 37.27 = 38 SPACES

PARKING SPACES REQUIRED: 38 SPACES  
PARKING SPACES PROVIDED: 38 SPACES  
MOTORCYCLE SPACES PROVIDED: 2 SPACES  
BICYCLE SPACES PROVIDED: 2 SPACES  
HANDICAP SPACES PROVIDED: 2 SPACES

## EXECUTIVE SUMMARY:

THIS COMMERCIAL PROJECT IS LOCATED AT 12700 LOMAS BLVD NE ALBUQUERQUE, NM. O'REILLY AUTO PARTS IS PROPOSING A 7,453 SQ. FT. BUILDING AND 23,477 SQ. FT. OF PARKING LOT. THE PARKING LOT PROVIDES 38 TOTAL PARKING SPACES WITH 2 HANDICAP SPACES, 2 MOTORCYCLE SPACES, 2 BICYCLE SPACES AND AN UNLOADING ZONE. THE PARKING LAYOUT PROVIDES 3 DRIVEWAY ACCESSES WITH 30' WIDE DRIVE AISLES.

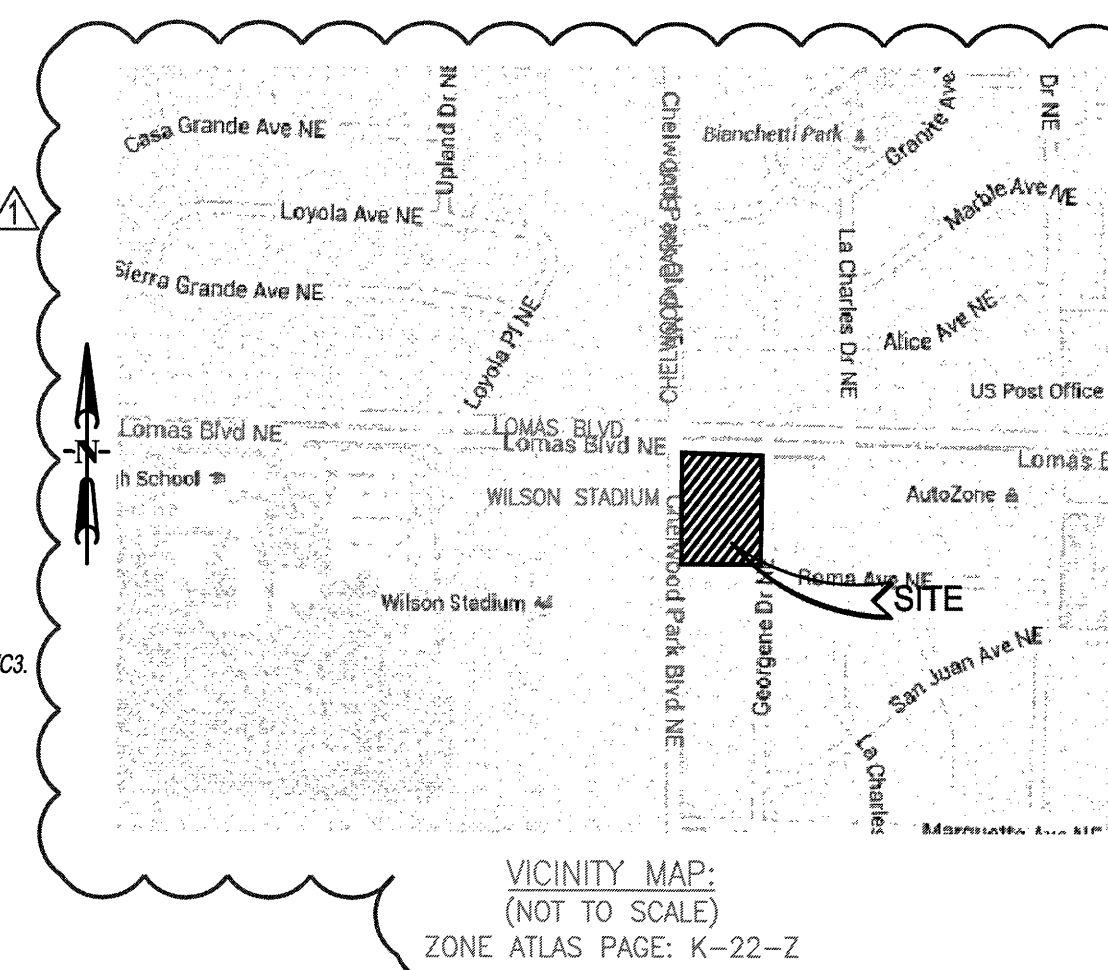
**LEGAL DESCRIPTION (AS-SURVEYED):**  
ALL OF BLOCK ONE (1) OF CHELWOOD PARK, LYING WITHIN SECTION 22, T.10N., R.4E., N.M.P.M., WITHIN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS SHOWN ON PLAT OF SURVEY FILED ON MAY 25, 1955, IN PLAT BOOK D1, FOLIO 138, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.

## KEY NOTES:

1. CONCRETE PAVING:  
REFER TO DETAIL 1/C3.
2. NOT USED
3. CONCRETE CURB:  
REFER TO DETAIL 3/C3.
4. CONCRETE SIDEWALK:  
REFER TO DETAIL 4/C3.
5. CONCRETE DOOR LANDING:  
REFER TO DETAIL 4/C3 AND STRUCTURAL DETAILS. RAMP PAVING AS INDICATED. LANDING CAN BE POURED MONOLITHIC IF CONCRETE PAVING IS USED.
6. STEEL BOLLARD:  
REFER TO DETAIL 6/C3. PROVIDE (2) AT TRASH PAD AND (2) AT OVERHEAD DOOR. PROVIDE (9) AT SIDEWALK AND (2) AT MOTORCYCLE PARKING SPACES. REFER TO STRUCTURAL PLAN FOR LOCATION.
7. HANDICAP PARKING SIGN:  
REFER TO DETAIL 7/C3 AND THIS SHEET.
8. NEW CURB:  
NEW CURB TO MATCH EXISTING ADJACENT CURB.
9. HANDICAP PARKING SYMBOL:  
REFER TO DETAIL 9/C3.
10. HANDICAP ACCESS UNLOADING ZONE:  
SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN. ACCESS AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE. PLACED AS SHOWN ON PLANS.
11. TRASH ENCLOSURE:  
REFER TO DETAIL 11/C3.
12. NOT USED
13. CONCRETE BUMPER BLOCK:  
8" x 5" x 6" LONG CONCRETE. ANCHOR TO PAVING WITH (2) 1" x 6" LONG #4 REBAR (TO SIT LEVEL WITH PAVING).
14. PARKING LOT LIGHTING:  
REFER TO SITE LIGHTING PLAN FOR LOCATION AND TYPE.
15. LIMITS OF NEW PAVING:  
MATCH EXISTING PER CITY AND OR STATE STANDARDS.
16. CONSTRUCTION LIMIT LINE.
17. NOT USED.
18. STRIPING:  
PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT: WHITE (2 COATS)
19. 3" CURB CUT.
20. CONCRETE HANDICAP RAMP:  
REFER TO DETAIL 9/C3.
21. MOTORCYCLE PARKING SIGN:  
REFER TO DETAIL 12/C3.
22. PROVIDE 2 BICYCLE PARKING SPACES:  
REFER TO DETAIL 8/C3.
23. CONCRETE PAVING IN TRASH ENCLOSURE:  
REFER TO DETAIL 11/C3.
24. INSTALL DRIVEPADS PER COA STD DWG 2425:  
REFER TO DETAIL 3/C2.
25. INSTALL 3' X 2' TRUNCATED DOMES PER ADA STANDARDS.

## SYMBOLS LEGEND

REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND	
	NEW BUILDING CONSTRUCTION
	AREA OF CONCRETE
	AREA OF PAVING
	NEW CONCRETE PAVING BLOCK
	NEW LIGHT POLE LOCATION
	CONSTRUCTION LIMIT LINE



VICINITY MAP:  
(NOT TO SCALE)  
ZONE ATLAS PAGE: K-22-Z

**ANDERSON ENGINEERING, INC.**  
ENGINEERS - SURVEYORS - LABORATORIES - DRILLING  
2405 W. WOODLAND - SPRINGFIELD, MISSOURI 65807 • PHONE (417) 896-2741  
ANDERSON ENGINEERING, INC. CO. #262767 • TEL. S. BRADY, PER 16230

PROJ # 10143-15  
BY: MRR  
CHECKED: NSB  
DRAWING # WB-110-427

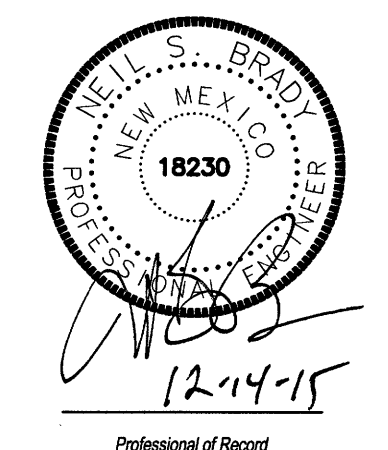
**O'Reilly AUTO PARTS**

CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
417-882-2574 PHONE

PROJECT: **NEW O'REILLY AUTO PARTS STORE**

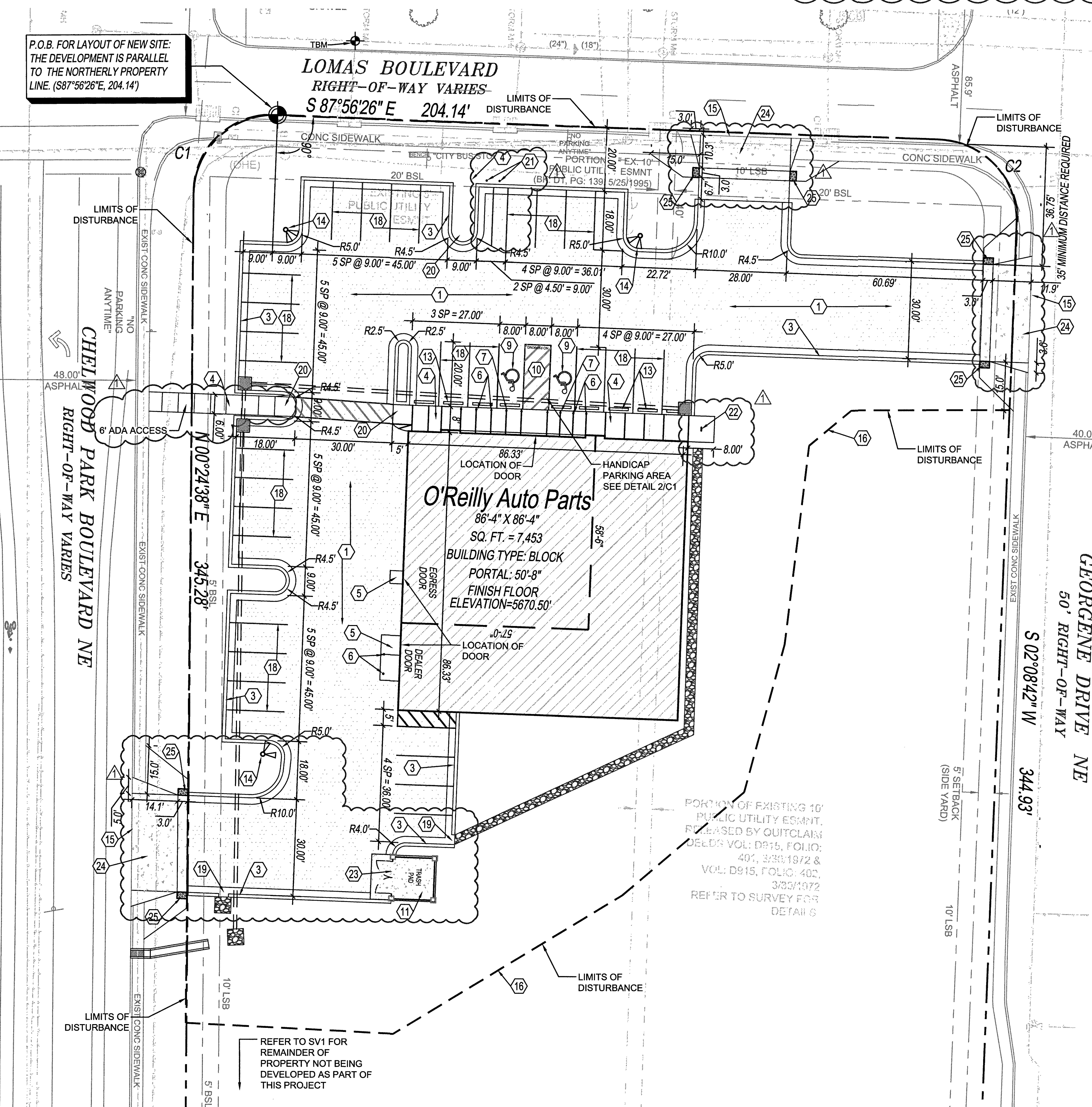
**12700 LOMAS BLVD NE  
ALBUQUERQUE, NM 87123**

**TRAFFIC CIRCULATION LAYOUT PLAN**



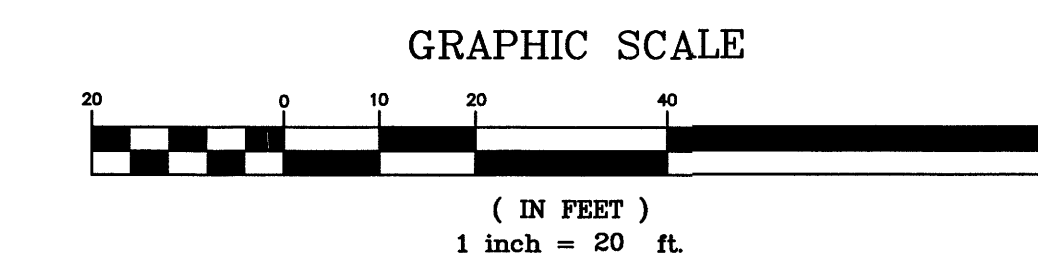
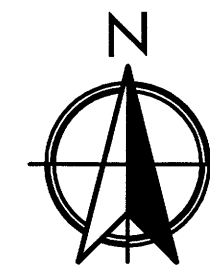
DRAWN: MRR  
CHECKED: NSB  
DATE: 10-08-2015  
JOB NO.: 315621 (A15)  
SHEET:

**C2**  
SHEET 2 OF 5



## 1 TRAFFIC CIRCULATION LAYOUT PLAN

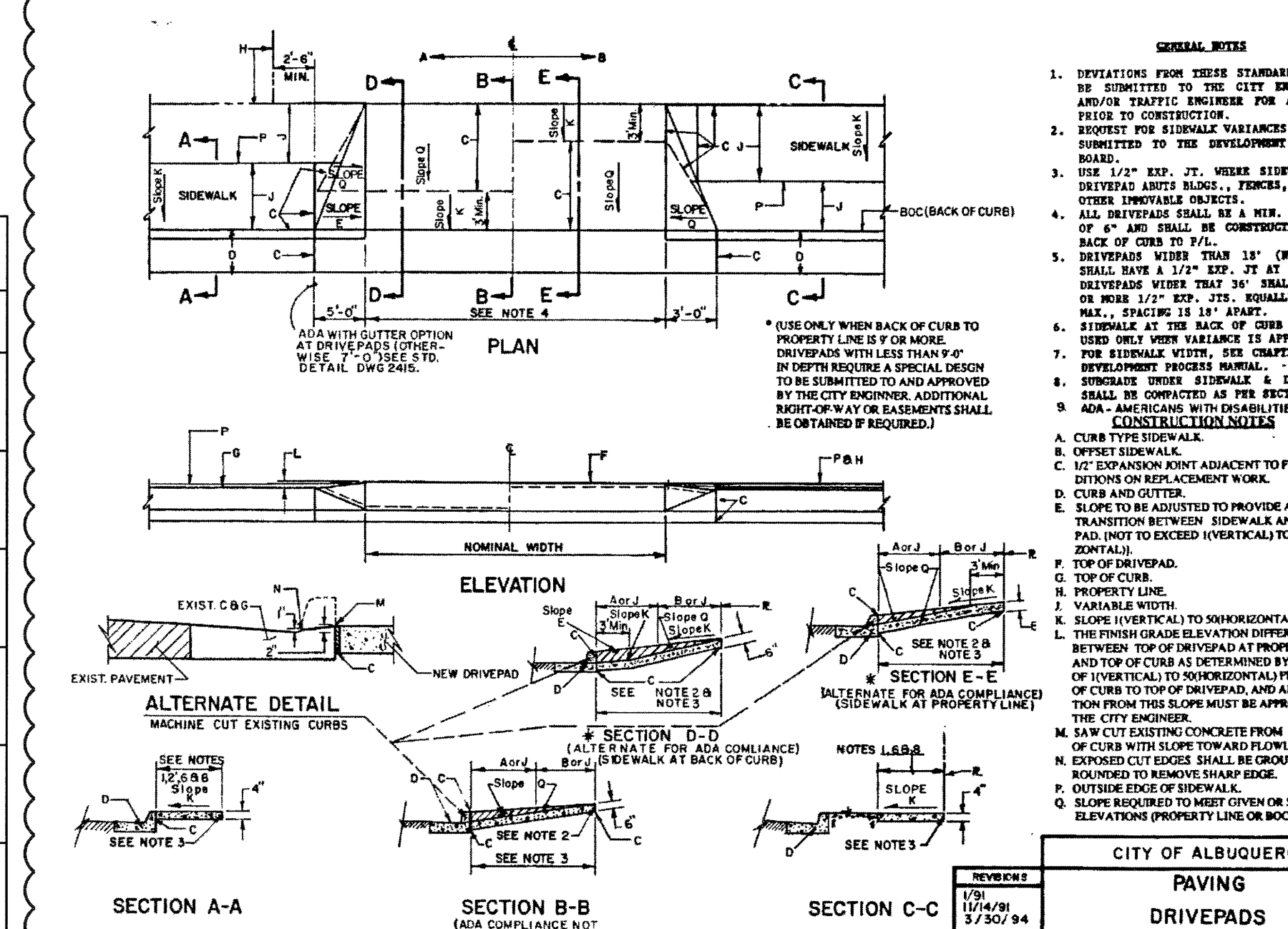
C2 SCALE: 1" = 20'



REFER TO LANDSCAPE PLAN  
FOR PLANTINGS

## 2 DELIVERY TRUCK VEHICLE ROUTE

C2 SCALE: NOT TO SCALE



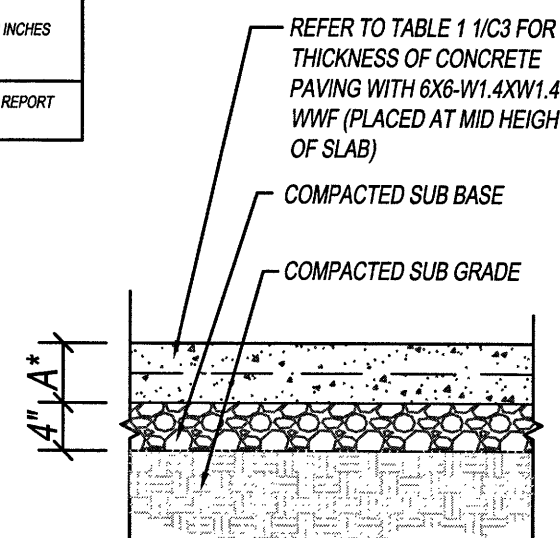
## 3 COA STD DWG 2425

C2 SCALE: NOT TO SCALE



TABLE 1**		
PAVEMENT SECTION		
PAVEMENT TYPE	THICKNESS	
AUTOMOBILE PARKING AREAS	5 INCHES	
TRUCK TRAFFIC AND MAIN DRIVE LANES	6-10 INCHES	
PORTLAND CEMENT CONCRETE (W)	5 INCHES	

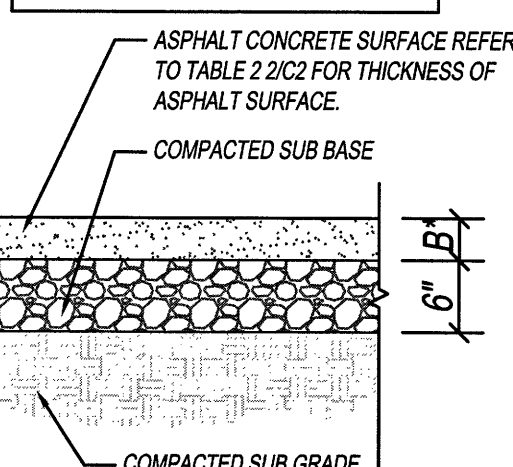
PROVIDE CONTROL JOINTS AT 12' O.C. (25% SLAB THICKNESS)



## 1 CONCRETE PAVING SECTION

C3 SCALE: 3/4" = 1'-0"

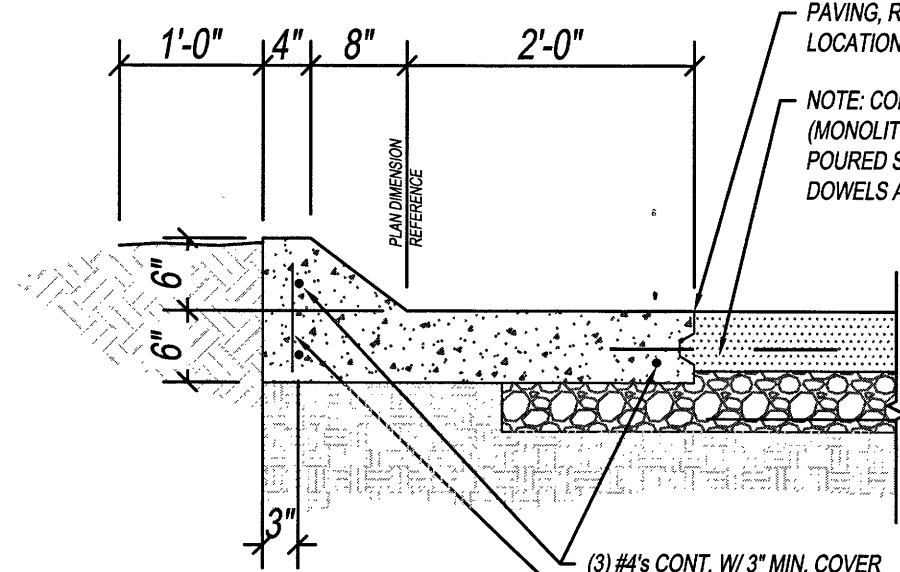
TABLE 2**		
PAVEMENT SECTION		
PAVEMENT TYPE	THICKNESS	
AUTOMOBILE PARKING AREAS	2-10 INCHES	
TRUCK TRAFFIC AND MAIN DRIVE LANES	3-10 INCHES	
ASPHALT CONCRETE SURFACE (BY)	2-10 INCHES	



## 2 ASPHALT PAVING SECTION

C3 SCALE: 3/4" = 1'-0"

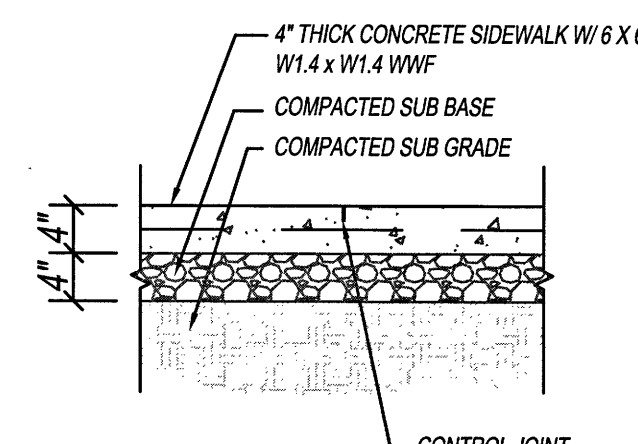
PROVIDE CONTROL JOINTS AT 10' O.C. (25% SLAB THICKNESS)



## 3 CONCRETE CURB SECTION

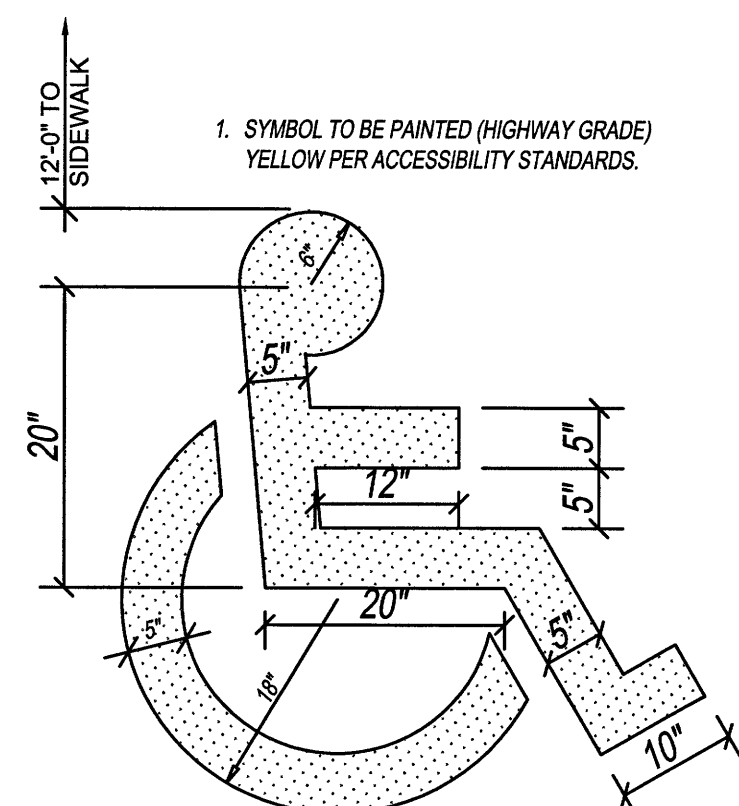
C3 SCALE: 3/4" = 1'-0"

PROVIDE TOOLED CONTROL JOINTS AT 6' O.C. (25% SLAB THICKNESS) AND ISOLATION JOINTS AT 24' O.C., UNLESS OTHERWISE NOTED.



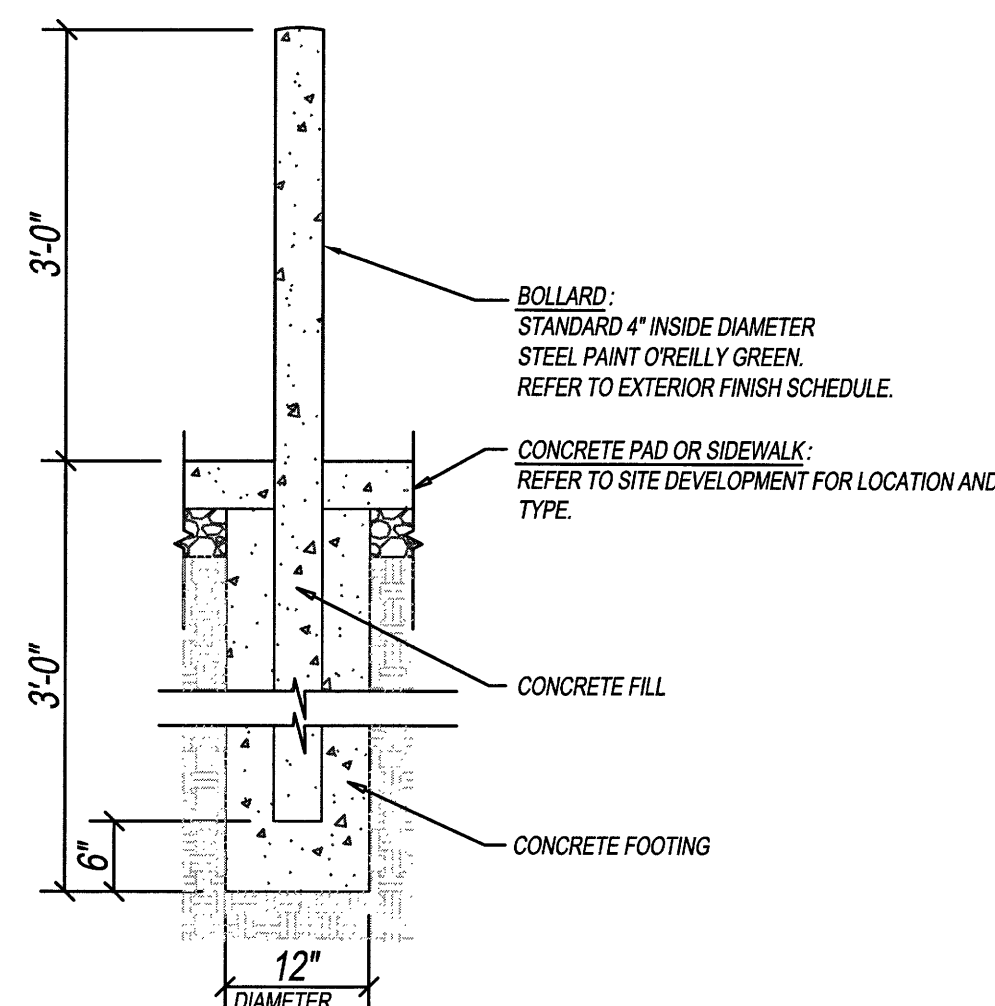
## 4 CONCRETE SIDEWALK SECTION

C3 SCALE: 3/4" = 1'-0"



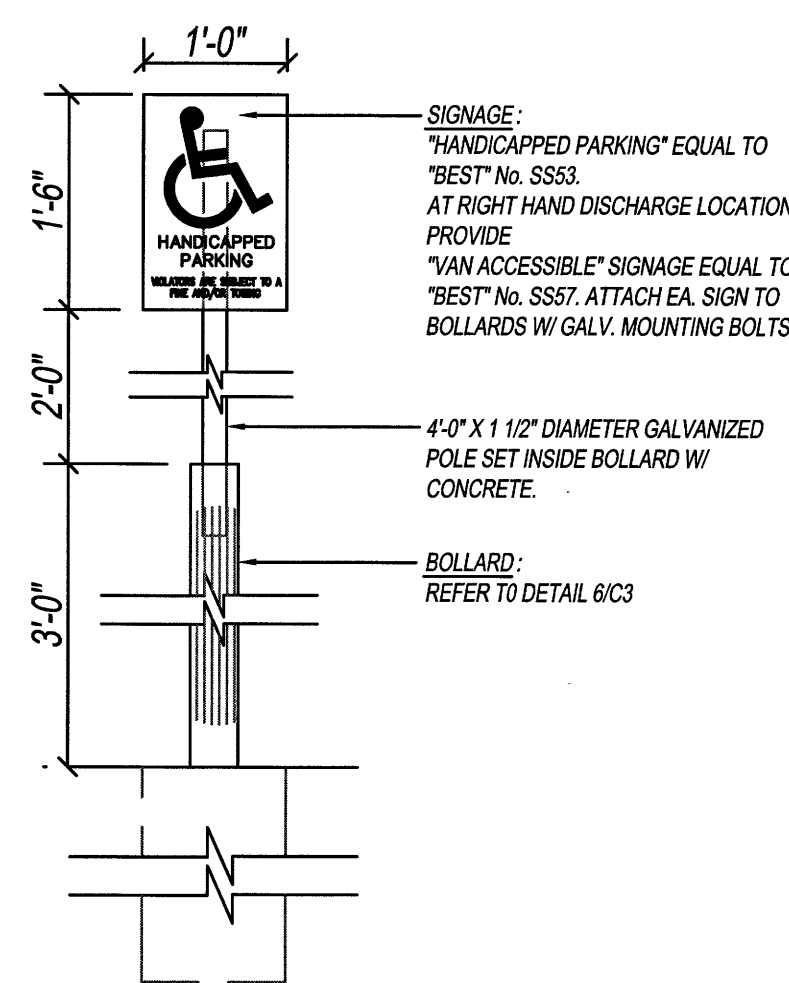
## 5 HANDICAP PARKING SYMBOL

C3 SCALE: 3/4" = 1'-0"



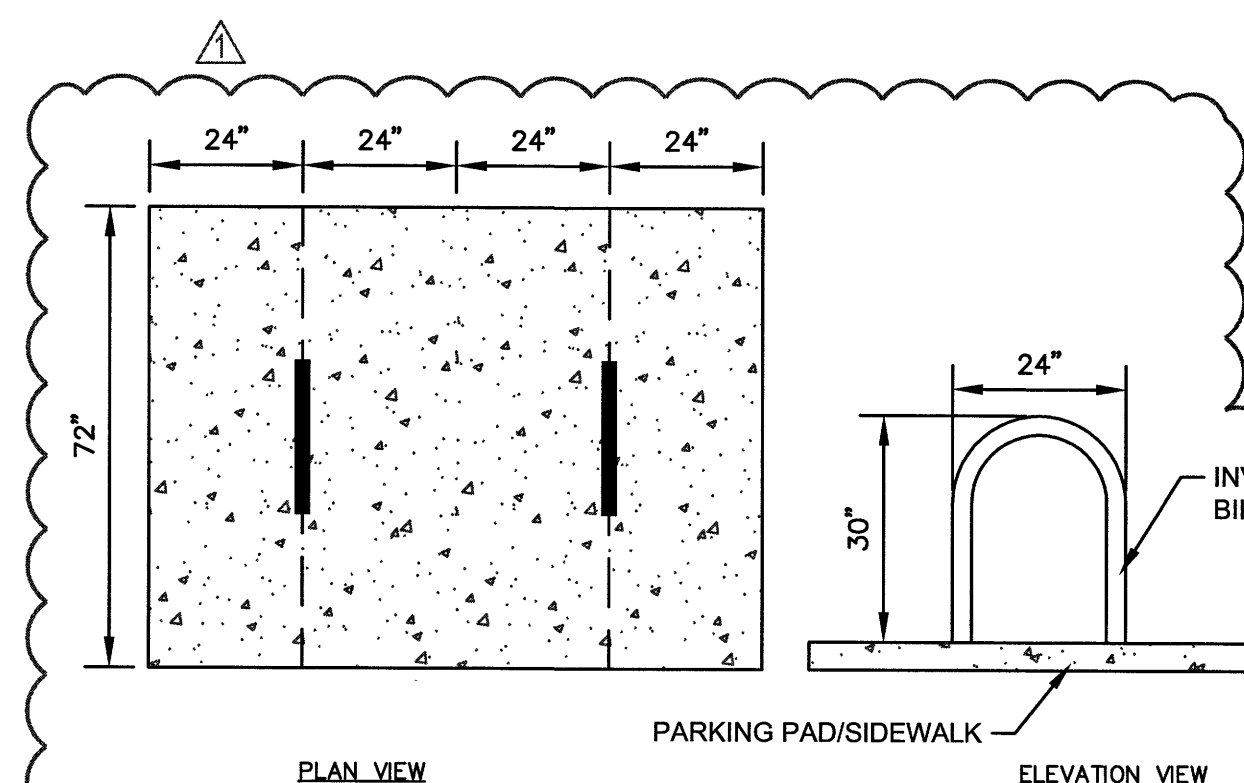
## 6 STEEL BOLLARD SECTION

C3 SCALE: 3/4" = 1'-0"



## 7 HANDICAP PARKING SIGN

C3 SCALE: 3/4" = 1'-0"

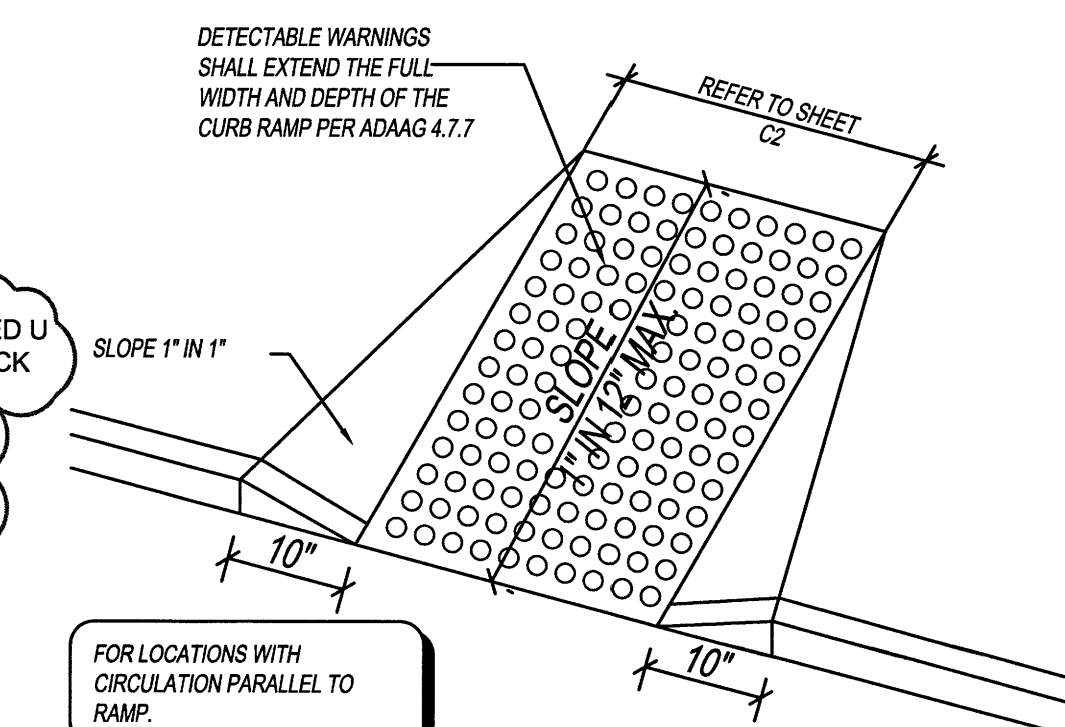


NOTES:  
1. PAD CAN BE EITHER ASPHALT OR CONCRETE.  
2. BICYCLE PARKING SPACES SHALL BE ACCESSED ON AT LEAST ONE SIDE WITH A CLEARANCE OF NOT LESS THAN 48 INCHES.

## 8 BICYCLE PARKING DETAIL

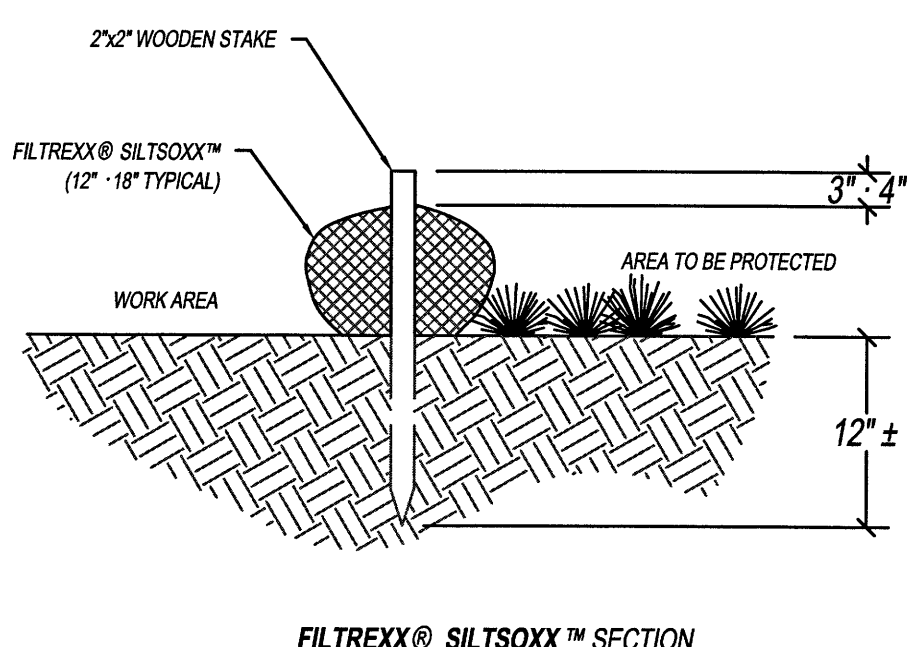
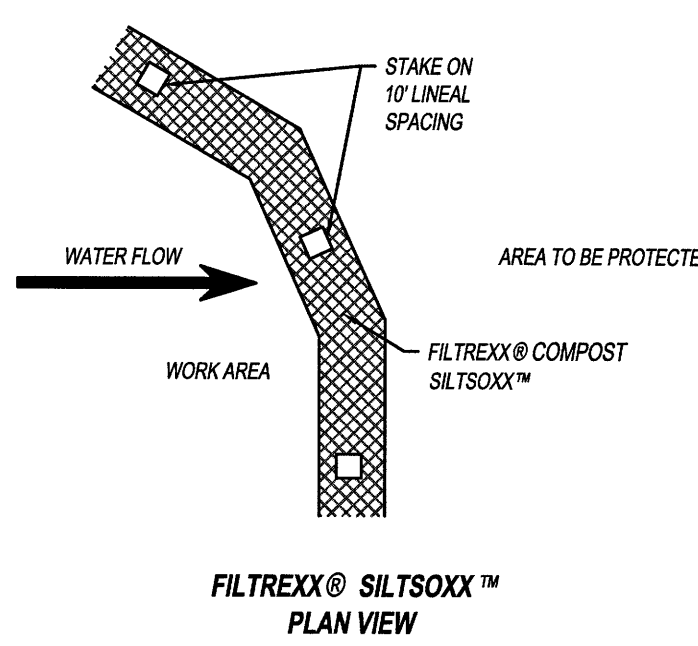
C3 SCALE: NOT TO SCALE

PROVIDE DETECTABLE WARNINGS WITH RAISED PATTERN (CAUTION YELLOW COLOR WITH .9" DIA. AND RAISE .02" PER ADAAG 4.7.7)



## 9 CONCRETE HANDICAP RAMP

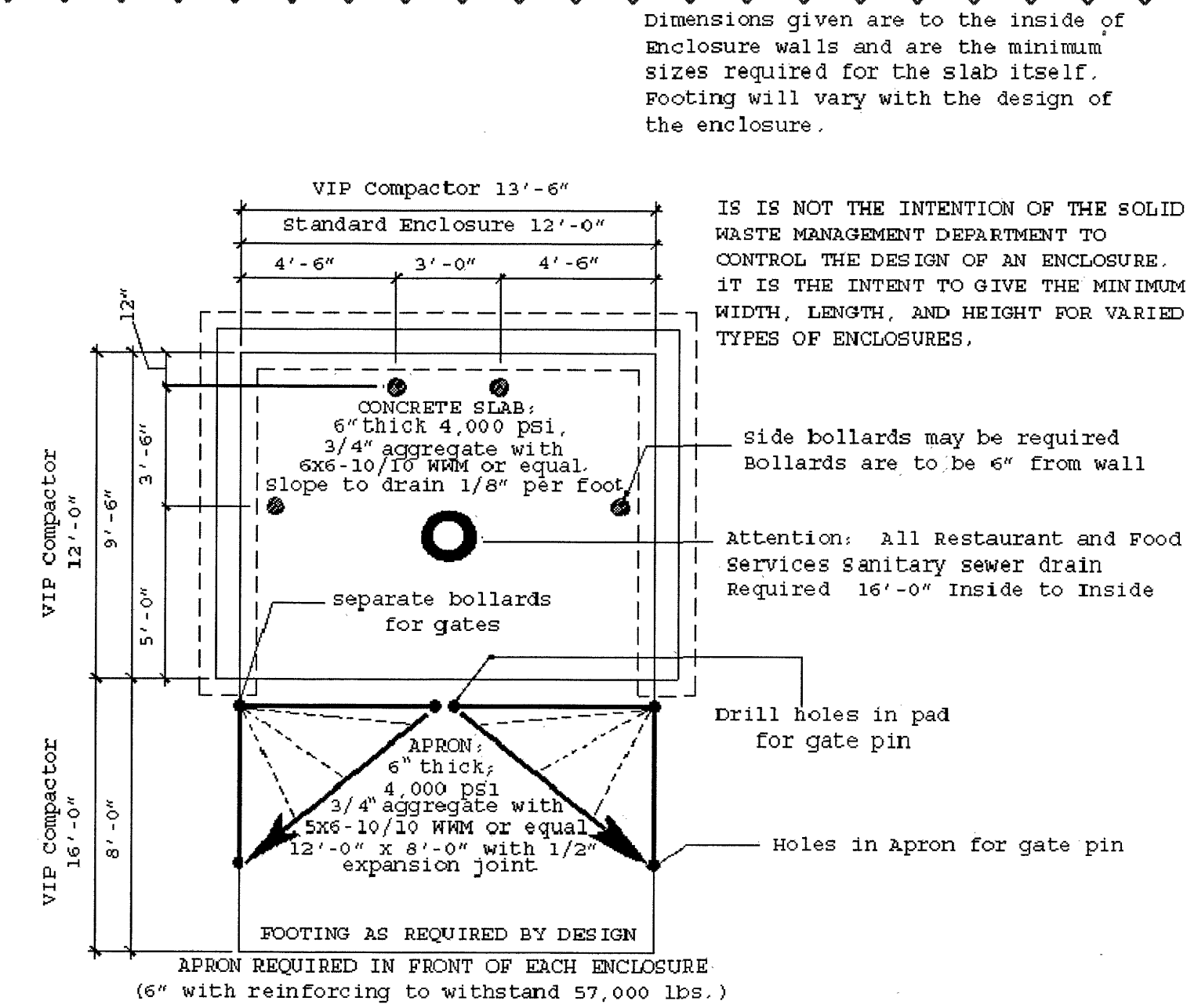
C3 SCALE: N.T.S.



NOTE:  
1. ALL MATERIAL TO MEET FILTREX® SPECIFICATIONS OR APPROVED EQUAL.  
2. SILTISOXX™ COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS.  
3. SILTISOXX™ DEPICTED IS FOR MINIMUM SLOPES. GREATER SLOPES MAY REQUIRE LARGER SOCKS PER THE ENGINEER.  
4. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

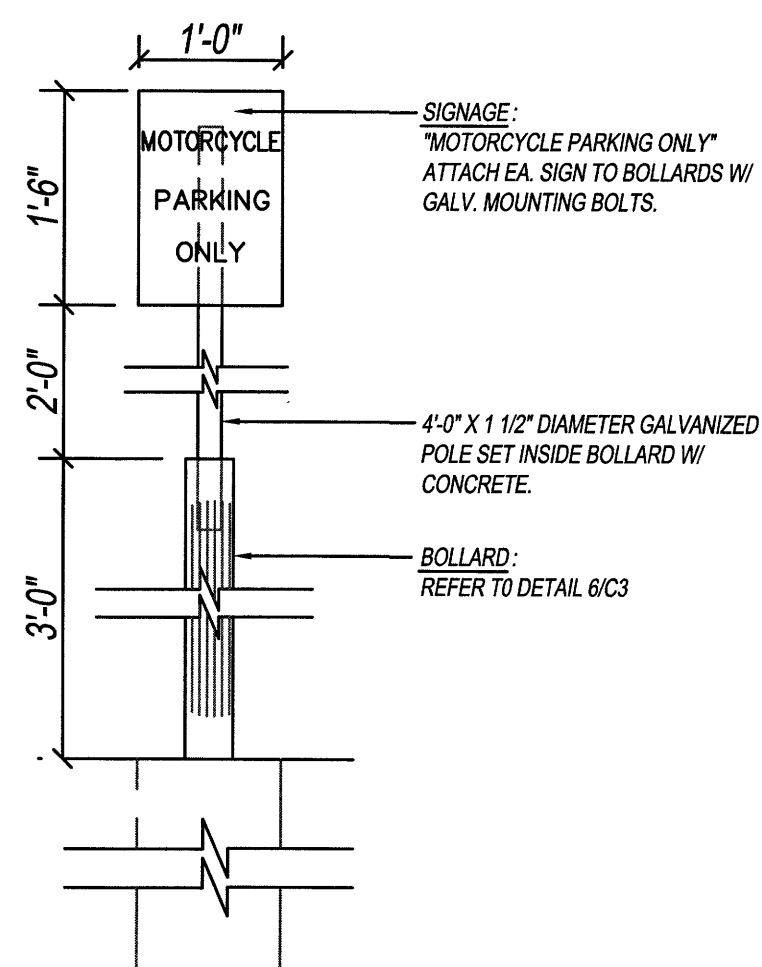
## 10 FILTREX® SILTISOXX™

C3 SCALE: NTS



## 11 TRASH PAD ENCLOSURE DETAIL

C3 SCALE: 3/4" = 1'-0"

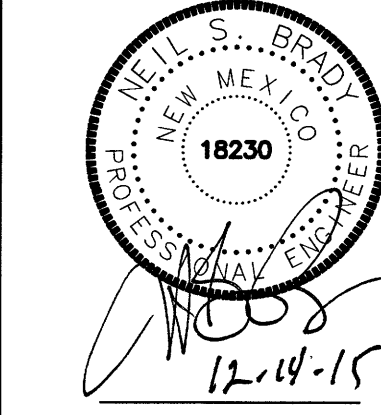


## 12 MOTORCYCLE PARKING SIGN

C3 SCALE: 3/4" = 1'-0"

**O'Reilly AUTO PARTS**

PROJECT: **NEW O'REILLY AUTO PARTS STORE**  
**12700 LOMAS BLVD NE**  
**ALBUQUERQUE, NM 87123**



DRAWN: MRR  
CHECKED: NSB  
DATE: 10-08-2015  
JOB NO.: 315621 (A15)  
SHEET:

**C3**  
SHEET 3 OF 5