

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

July 3, 2018

Åsa Nilsson-Weber, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. N.E
Albuquerque, NM 87108

RE: **Manzano High School Gym
12200 Lomas Blvd NE
Request for Certificate of Occupancy – Temporary
Hydrology Final Inspection - Disapproved
Engineer's Stamp Date 6/8/16 (K22D020)
Certification Dated: 6/22/18**

Dear Ms. Nilsson-Weber:

PO Box 1293

Based on the submittal received 6/28/18, this certification cannot be approved in support of Certificate of Occupancy until the following are corrected:

Albuquerque

Prior to Temporary (30-day) Certificate of Occupancy:

NM 87103

1. The interim grading plan on CG-101 needs to be implemented. The temporary retaining walls, swale, and grading needs to be constructed and surveyed; the removal of the bubblers is acceptable. The area between the new gym and old building needs to be able to drain in the interim condition and be certified as such. Runoff from the old building will pond in the low area along the east side of the new gym. Watermarks are present along the new gym building and there are indications of ponding already. With larger storm events, it is likely that the new building will flood. Photos of the area of concern:

www.cabq.gov

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PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



Prior to Permanent Certificate of Occupancy:

2. The Paving and Grading along the southeast side of the building will need to be completed to plan grades.
3. The storm drains, roadway and site improvements in the area where the existing building is currently being demolished need to be completed.

CITY OF ALBUQUERQUE

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4. The swale needs to be built along the north side of the tennis courts and the excess fill adjacent to the tennis courts needs to be removed:



5. The pond in the parking island on the west side of the building needs to be constructed per plan.
6. The full grading and drainage plan will need to be certified (CG-100, CG-101, CG-102, and CG-103).

If you have any questions, you can contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development and Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Manzano High School Gymnasium **Building Permit #:** _____ **Hydrology File #:** K22D020

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: Unplatted Lands of APS also known as Manzano High School, City of Albuquerque, New Mexico

City Address: 12200 Lomas Blvd. NE - Albuquerque, NM 87112

Applicant: Isaacson & Arfman, PA **Contact:** Åsa Nilsson-Weber

Address: 128 Monroe Street NE - Albuquerque, NM 87108

Phone#: (505) 268-8828 **Fax#:** _____ **E-mail:** asaw@iacivil.com

Other Contact: Studio Southwest **Contact:** Richard Braun

Address: 2101 Mountain Road NW - Albuquerque, NM 87104

Phone#: (505) 843-9639 **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (TEMPORARY)

TYPE OF SUBMITTAL:

☒ ENGINEER ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

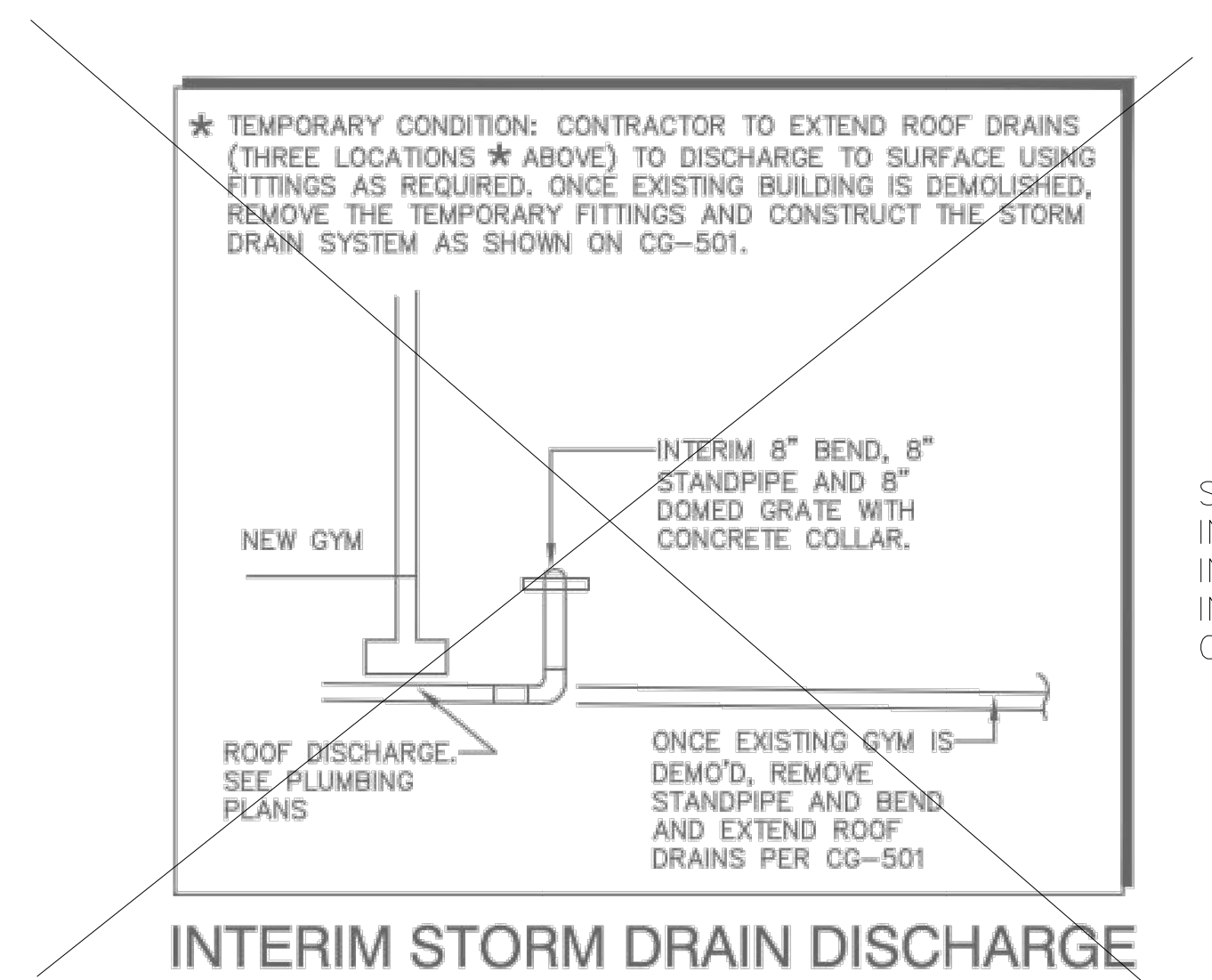
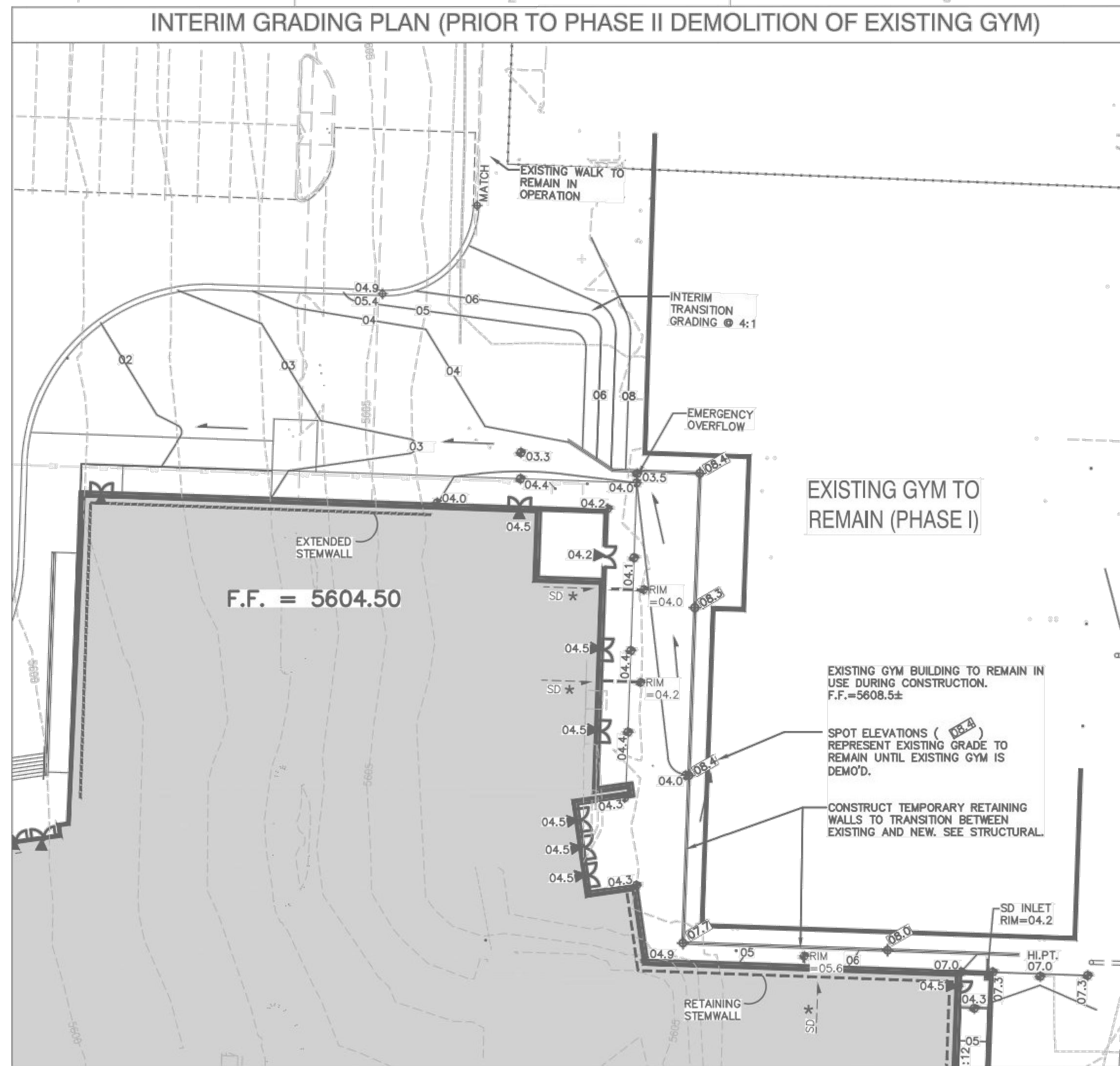
IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DATE SUBMITTED: June 27, 2018 **By:** Åsa Nilsson-Weber

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



DRAINAGE CERTIFICATION:

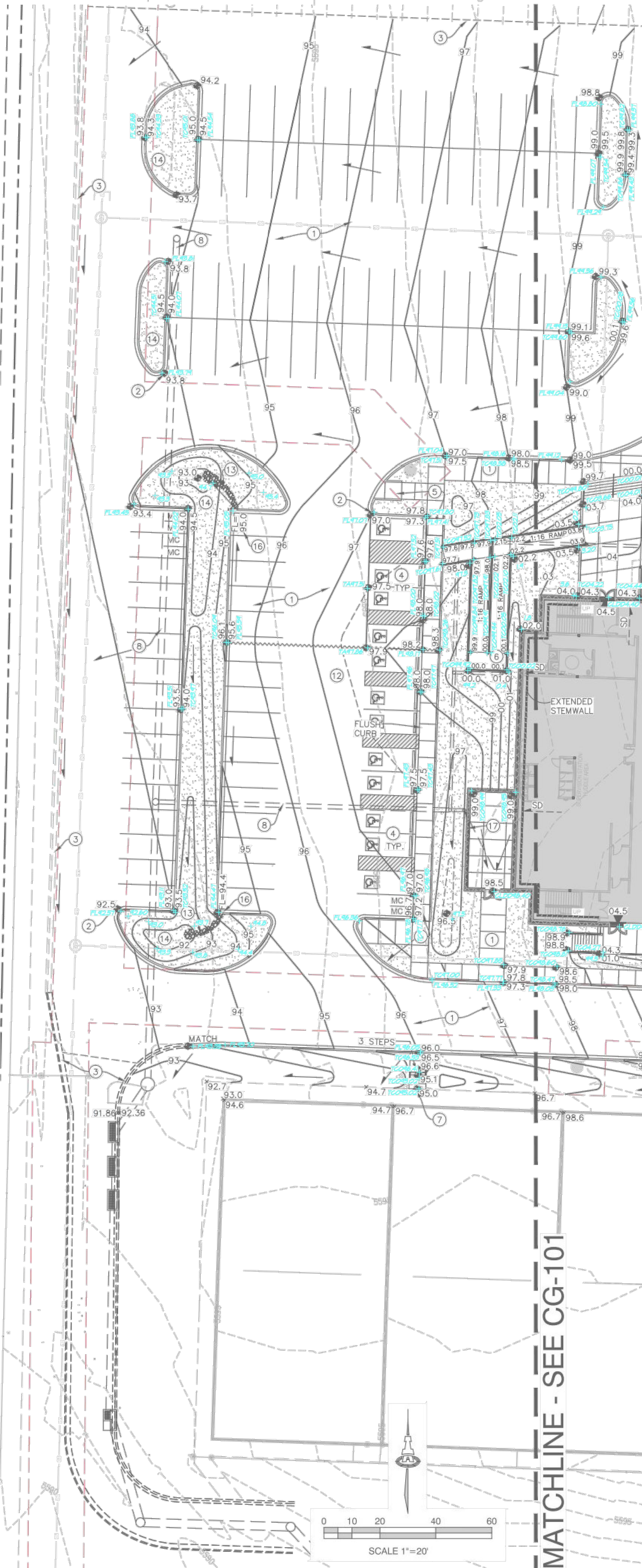
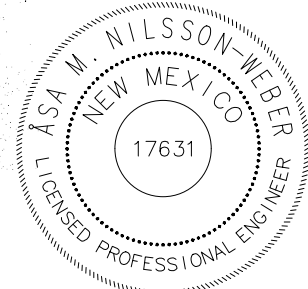
I, Anna Nilsson-Weber, NDE 17631 of the firm Isaacson & Arman, P.A., hereby certify that the site has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved Grading & Drainage Plan dated June 8, 2016. The record information edited onto the original design document has been obtained by Joseph M. Solomon Jr., NMPIS, 15075, of the firm High Mesa Consulting Group. I further certify that I or someone under my direct supervision conducted a visual inspection of the site on June 21, 2018, and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Temporary Certificate of Occupancy.

Prior to the final certification the following shall be completed.

1. The paving and grading along the east side of building shall be completed to plan grades.
2. The storm drains, roadway and site improvements in the area where the existing building is currently being demolished shall be completed.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Asa Nilsson-Weber 6/22/18
 Asa Nilsson-Weber Date
 NMPE 17631



KEYED NOTES


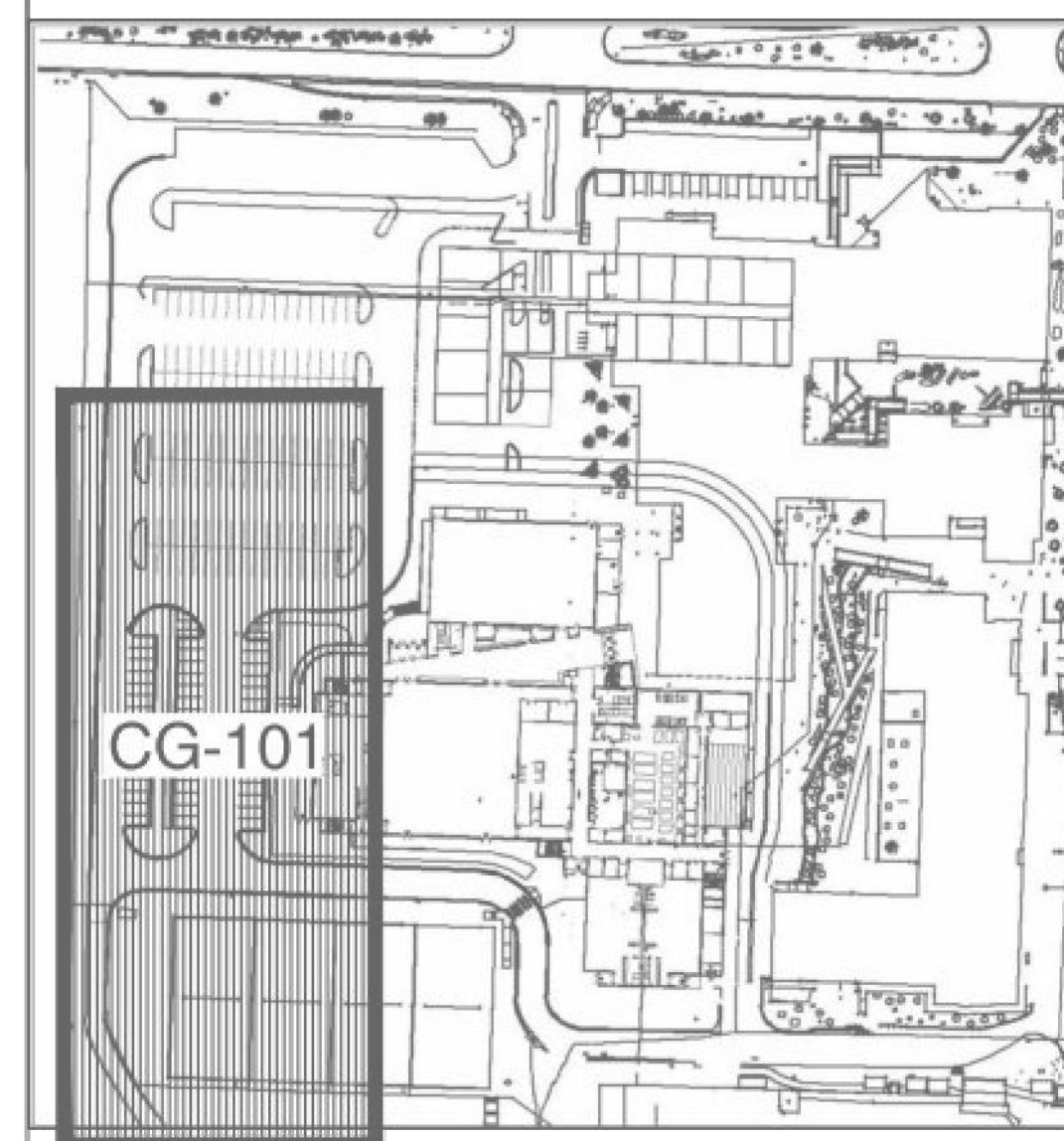
THE FOLLOWING KEYED NOTES ARE FOR USE ON SHEETS CG-101, CG-102 AND CG-103. NOT ALL NOTES ARE REFERENCED ON EACH SHEET.

1. CONSTRUCT NEW PAVEMENT, CURB AND GUTTER, SIDEWALKS AT ELEVATIONS SHOWN, SEE PAVING PLAN (CP-101) FOR ADDITIONAL INFORMATION.
2. TO ENSURE READABILITY, NOT ALL PAVEMENT SPOT ELEVATIONS SHOW ADJACENT TOP OF CURB / TOP OF WALK ELEVATION. TEXT SHOWN WITHIN FLOWLINE REPRESENTS FLOWLINE ELEVATION. 1" = 4" IS TYPICAL FOR TOP OF ADJACENT CURB OR WALK ELEVATIONS UNLESS NOTED.
3. TRANSITIONS BETWEEN NEW AND EXISTING PAVEMENT SHALL BE SMOOTH.
4. SLOPE WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
5. CONSTRUCT 1:12 (MAX.) SIDEWALK RAMP; SEE SHEET CG-501 PAVING DETAILS. 1" = 4" IS TYPICAL TO BE FLUSH WITH TOP OF CONCRETE EDGE FOR ADA COMPLIANCE.
6. SITE PEDESTRIAN ACCESS RAMP (1:12 MAX.) WITH RETAINING WALLS. SEE ARCHITECTURAL.
7. SITE EXTERIOR STAIRS/STEPS. SEE ARCHITECTURAL.
8. PORTION OF SITE STORM DRAIN SYSTEM TO BE INSTALLED PRIOR TO THIS PROJECT UNDER SEPARATE CONTRACT (BY OTHERS) SEE CG-501 FOR ADDITIONAL INFORMATION.
9. PROPOSED ROOF DISCHARGE LOCATION. SEE CG-501 FOR CONTINUATION.
10. CONSTRUCT EXTENDED STEM WALL TO ACHIEVE GRADE DIFFERENCE. SEE ARCHITECTURAL.
11. CONSTRUCT RETAINING STEM WALL TO ACHIEVE GRADE DIFFERENCE. SEE ARCHITECTURAL.
12. ONE-HALF FOOT DESIGN CONTOURS (0.5' INCREMENTS) SHOWN DASHED TO CLARIFY GRADING CONCEPT. SEE LEGEND FOR ADDITIONAL INFORMATION.
13. INSTALL COBBLE EROSION PROTECTION THIS AREA. NOTE: PER A.P.S. STANDARDS, ALL ROCK EROSION PROTECTION WITHIN THE SCHOOL SITE IS TO BE 6" AVG. DIA. ROUNDED ROCK EMBEDDED IN CONCRETE. NO LOOSE COBBLE SWALES OR EROSION PROTECTION SHALL BE ALLOWED ON A.P.S. DISTRICT PROPERTIES.
14. TYPICAL FOR LANDSCAPE: DEPRESS LANDSCAPING TO PROVIDE SHALLOW WATER HARVESTING BASIN. NOTE: NO WATER HARVESTING SHALL OCCUR WITHIN 10' OF BUILDINGS.
15. CONSTRUCT SITE STORM DRAIN SYSTEM THIS AREA AS PART OF PHASE II (FOLLOWING THE REMOVAL OF THE EXISTING GYM BUILDING). SEE CG-501 FOR ADDITIONAL INFORMATION.
16. PROVIDE 18" WIDE OPENING IN CURB AT FLOWLINE ELEVATION SHOWN. SEE CG-501 FOR DETAIL.
17. CONSTRUCT SITE RETAINING WALL TO ACHIEVE REQUIRED GRADE DIFFERENCE AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION INCLUDING GUARDRAILS WHERE REQUIRED.
18. CONSTRUCT 2' WIDE CONCRETE ALLEY GUTTER AT ELEVATIONS SHOWN.
19. CONSTRUCT 8" HIGH HEADER CURB TO DEFLECT UPSTREAM FLOW SOUTH TO PROPOSED POND. SEE ENLARGED DETAIL THIS SHEET FOR ADDITIONAL INFORMATION.

LEGEND

----	EXISTING CONTOUR
—02—	PROPOSED 1' CONTOUR
---02.5---	PROPOSED 0.5' CONTOUR
● 03.8	PROPOSED SPOT ELEVATION
→	FLOW ARROW
FF = 5604.50	FINISH FLOOR ELEVATION
INV=	INVERT ELEVATION
FL=	FLOWLINE ELEVATION
=====	PROPOSED STORM DRAIN
~~~~~	PROPOSED GRADE BREAK

### SITE KEY



STUDIO  
SW  
ARCHITECTS

STUDIO SOUTHWEST ARCHITECTS, INC.  
2101 Mountain Rd. NW, Albuquerque, NM 87104  
505.843.9639 fax 505.843.9683  
Web Site: [www.studioswarch.com](http://www.studioswarch.com)  
E-Mail: [mail@studioswarch.com](mailto:mail@studioswarch.com)

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## CONSULTANTS



Architect

Engineer



MANZANO HIGH  
SCHOOL  
GYMNASIUM  
LOMAS BLVD  
ALBUQUERQUE, NM

### Key Plan

NTS

[illegible]

MARK	DATE	DESCRIPTION
ISSUE:		PERMIT
PROJECT NO:		1401
CAD DWG FILE:		
DRAWN BY:		
CHECKED BY:		ANW
DATE:		APRIL 1, 2016

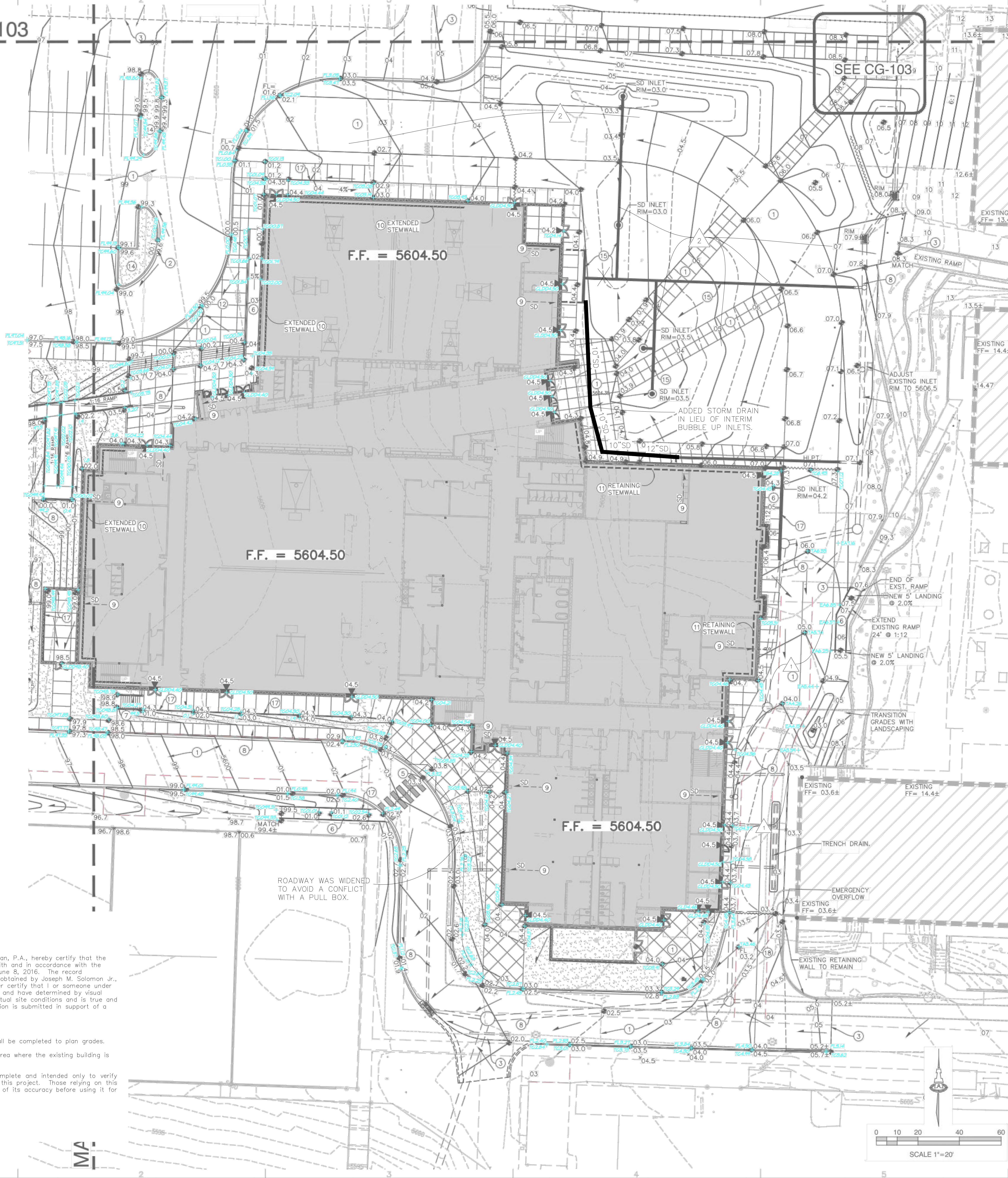
SHEET TITLE

GRADING AND  
DRAINAGE PLAN 1 OF 3

CG-101



MATCHLINE - SEE CG-103



### KEYED NOTES

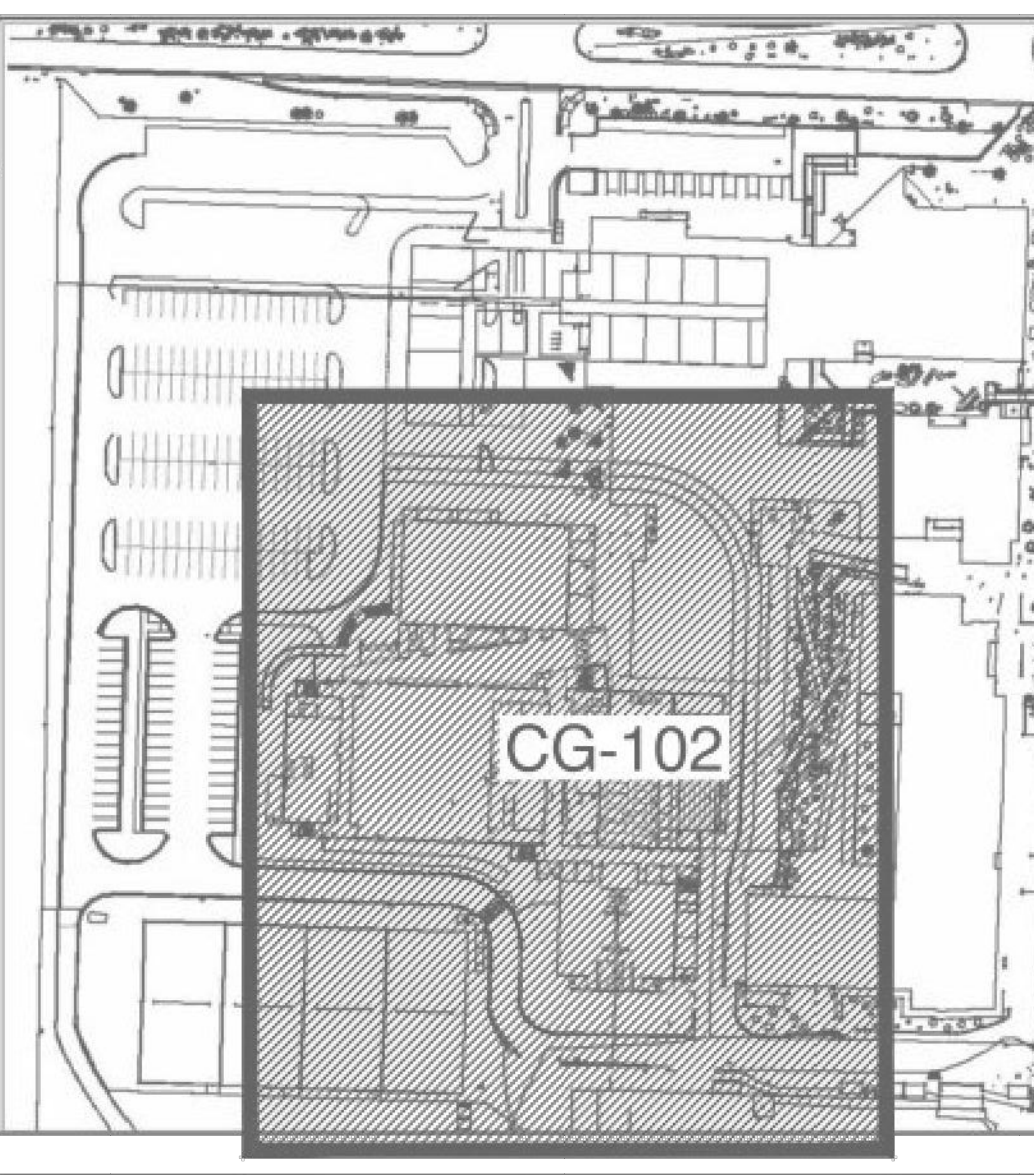
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### LEGEND

- EXISTING CONTOUR
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- 0.2.5- PROPOSED 0.5' CONTOUR
- 03.8 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 5604.50 FINISH FLOOR ELEVATION
- INV= INVERT ELEVATION
- FL= FLOWLINE ELEVATION
- PROPOSED STORM DRAIN
- ~~~~~ PROPOSED GRADE BREAK

### SITE KEY



#### DRAINAGE CERTIFICATION:

I, Asa Nilsson-Weber, NMPE 17631 of the firm Isaacson & Arfman, P.A., hereby certify that the site has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved Grading & Drainage Plan dated June 8, 2016. The record information edited onto the original design document has been obtained by Joseph M. Salomon Jr., NMPS, 15075, of the firm High Mesa Consulting Group. I further certify that I or someone under my direct supervision visited the project site on June 21, 2018, and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Temporary Certificate of Occupancy.

Prior to the final certification the following shall be completed.

- △ The paving and grading along the east side of building shall be completed to plan grades.
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Asa Nilsson-Weber, NMPE 17631  
Date: 6/22/18  
Firm: ISAACSON & ARFMAN, P.A.  
Professional Seal: ASA NILSSON-WEBER, NMPE 17631, NEW MEXICO

STUDIO  
SW  
ARCHITECTS

STUDIO SOUTHWEST ARCHITECTS, INC.  
2101 Mountain Rd. NW, Albuquerque, NM 87104  
505.843.9639 fax 505.843.9683  
Web Site: www.studioswarch.com  
E-Mail: mail@studioswarch.com

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CONSULTANTS

ISAACSON & ARFMAN, P.A.  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87105  
Ph. 505-268-8828 www.isactell.com  
2091 CG-101.dwg Jun 08, 2016

Architect

Engineer



MANZANO HIGH  
SCHOOL  
GYMNASIUM  
LOMAS BLVD  
ALBUQUERQUE, NM

#### Key Plan

NTS

MARK	DATE	DESCRIPTION
ISSUE:		PERMIT
PROJECT NO:		1401
CAD DWG FILE:		
DRAWN BY:		
CHECKED BY:	ANW	
DATE:	APRIL 1, 2016	

SHEET TITLE

GRADING AND  
DRAINAGE PLAN  
2 OF 3

CG-102