

CITY OF ALBUQUERQUE



January 17, 2014

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

Re: Zia Townhomes, 12004 Zia Rd NE, Phase 1
Request for Permanent C.O. –Accepted
Engineer's Stamp dated: 6/18/13, (K22/D022)
Certification dated: 1-10-13

Dear Mr. Soule,

Based upon the information provided in the Certification received 1-16-14, the above referenced Certification is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3985.

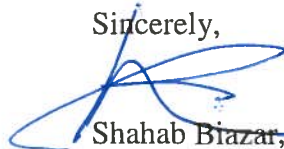
PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Sincerely,


Shahab Biazar, P.E.
Principal Engineer—Hydrology Section
Development and Building Services

C: CO Clerk—Katrina Sigala
File
Address via e—mail

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services



June 18, 2013

Richard J. Berry, Mayor

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, New Mexico 87199

RE: **Zia Park Townhouse Apartments – Zia Road NE**
Grading & Drainage Plan for Grading and Building Permit
Tracts H & I, La Cuesta Subdivision

File **K22-D022D**
PE Stamp: 6/18/13

Dear Mr. Soule,

Based upon the information provided in your submittal received 6/18/2013, the above referenced Grading and Drainage plan meets the requirements for Grading and Building Permits. However, please be advised that before either permit can be issued an Erosion and Sediment Control Plan (ESC), prepared by a registered professional engineer under the laws of the state of New Mexico, must be prepared, submitted and approved by the Hydrology Department.

Please attach a copy of this approved plan to the construction sets when submitting for a building permit. If the approved plan is not attached to the construction set, Hydrology will reject the construction set for building permit.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, please contact me at grolson@cabq.gov or phone 505-924-3994.

Sincerely,

Gregory R. Olson, P.E.
Senior Engineer

Orig: Drainage file K22-D022D
c.pdf Addressee via Email: david@riograndeengineering.com

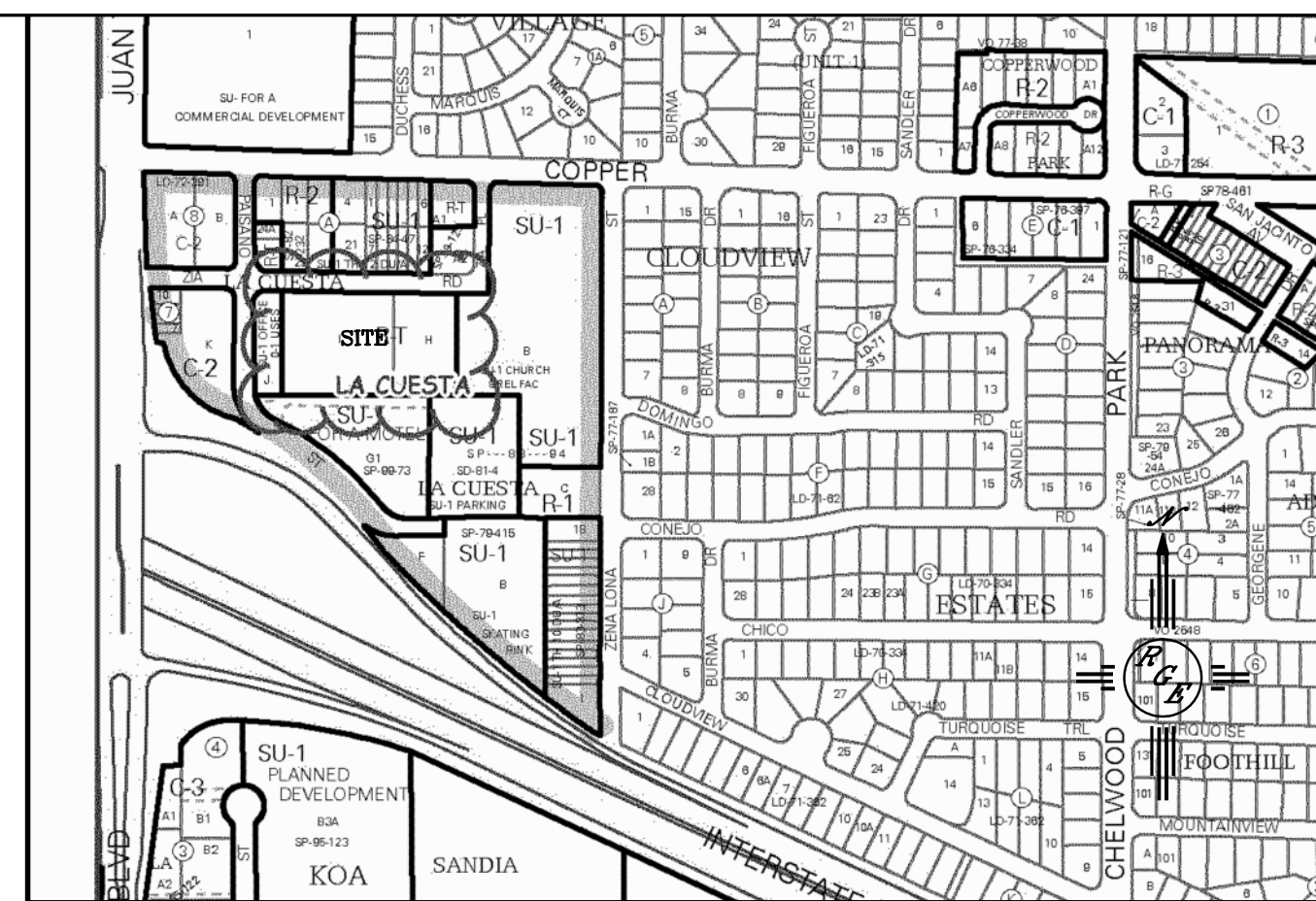
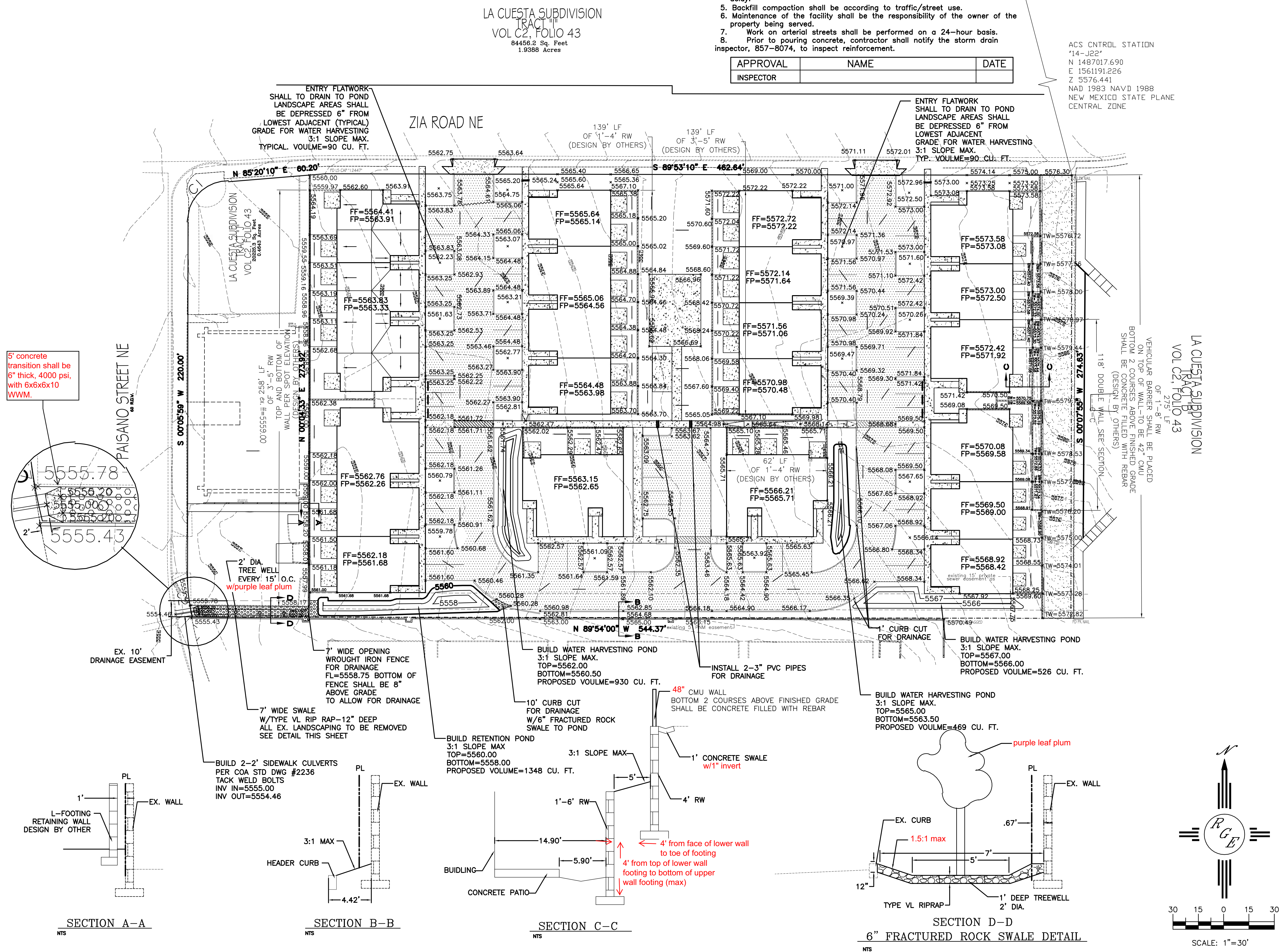
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER TO BE 6" HEADER.
3. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. THERE IS AN EXISTING PRIVATE SANITARY SEWERLINE RUNNING PARALLEL TO THE SITES SOUTH PROPERTY LINE APPROXIMATELY 10' NORTH OF SAID PROPERTY LINE. THIS LINE SHALL REMAIN. IN THE EVENT OF CONFLICT, THE LINE MUST BE RELOCATED AND/OR ADJUSTED TO GRADE. 6"x6" CONCRETE COLLARS SHALL BE CONSTRUCTED AND CLEANOUTS AND CLEANOUTS SHALL BE FLUSH TO NEW GRADE. IN THE EVENT CLEANOUT LOCATED WITH PONDING AREA, CLEANOUT SHALL BE RELOCATED OUTSIDE PONDING AREA.

Notice to Contractor
(Special Order 19 ~ "50-19")

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" [or (505) 260-1990] for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets shall be performed on a 24-hour basis.
8. Prior to pouring concrete, contractor shall notify the storm drain inspector, 857-8074, to inspect reinforcement.

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.



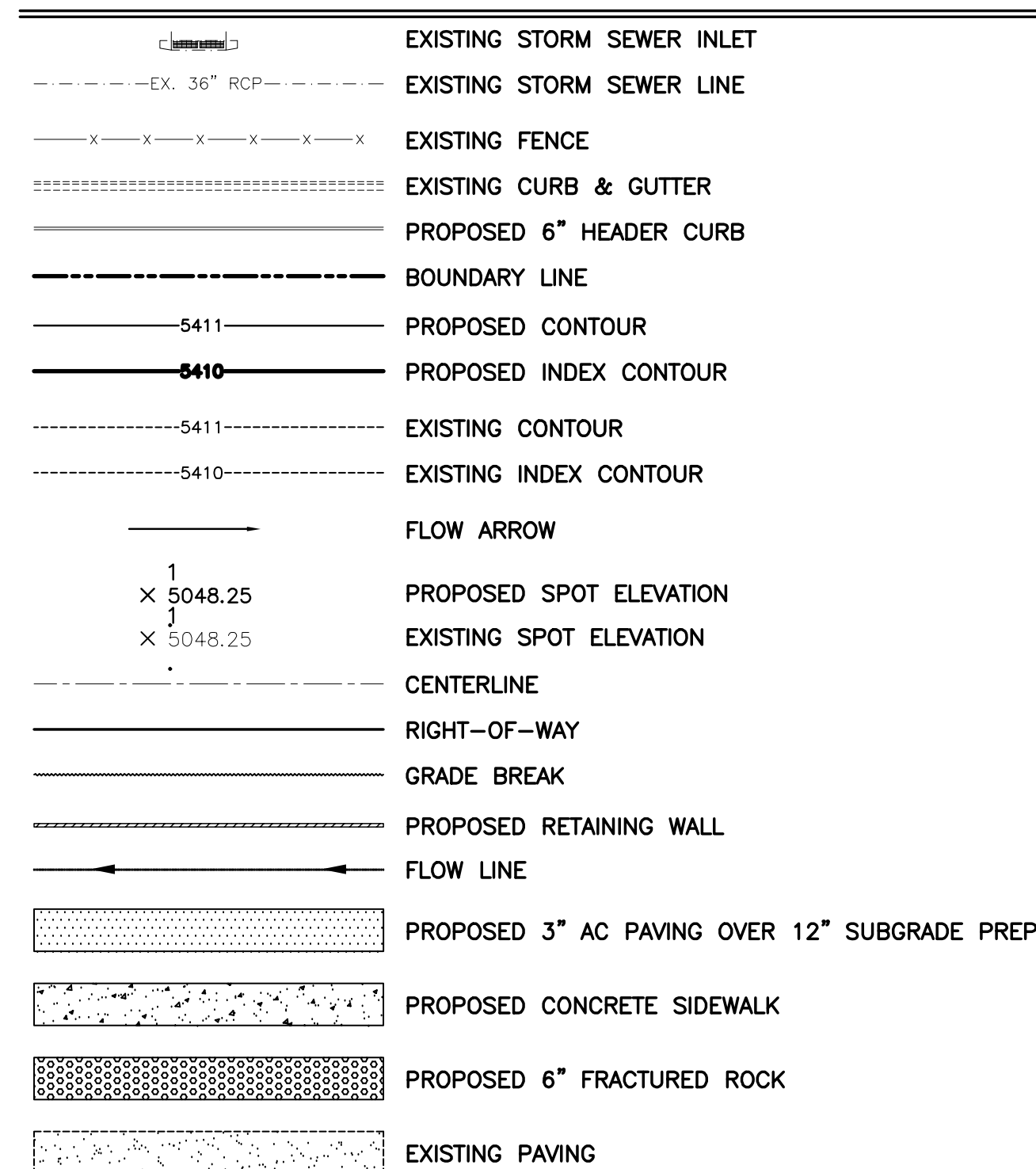
VICINITY MAP: K-22-Z

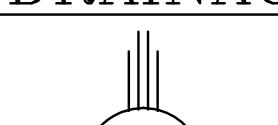


FIRM MAP:	35001C0359G
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LEGAL DESCRIPTION:
TRACT H, AND TRACT I, LA CUESTA SUBDIVISION

LEGEND



ENGINEER'S SEAL  6/18/13	ZIA PARK HOMES	DRAWN BY: WCMJ
	GRADING AND DRAINAGE PLAN	DATE 5-07-13
		2721-LAYOUT-2-05-13
DAVID SOULE P.E. #14522	 <i>Rio Grande Engineering</i> 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET # —
		JOB # 2721