

**ENCROACHMENT PERMIT AGREEMENT FOR IMPROVEMENTS
WITHIN 20' MUTUAL ACCESS EASEMENT**

WHEREAS, the INTERNATIONAL CHURCH OF THE FOURSQUARE GOSPEL ("CHURCH") and AHMET & MARTHA TIRYAKI & JASON M & COLLEEN BUCHANNAN & ROB & BANU MCKINLEY (AJR) possesses a 20' mutual access easement within **Lot H-1, La Questa Subdivision**, as the same has been filed for public record in Bernalillo County, New Mexico, on **3/3/2000 in book A9, page 924, as document # 2000021020**; and

WHEREAS, said easement reserves to the owners, their successors and assigns, the right to use said lands for purposes which will not interfere with the rights and easements granted, providing that the owners obtain mutual written approval for such use from; and

WHEREAS, the owners of said lot, AJR, desire to encroach into said easement area and construct thereon certain appurtenances ("IMPROVEMENTS") with the intent that neither the present use shall be significantly altered or changed.

NOW, THEREFORE, in return for the promises and covenants contained herein, CHURCH hereby grants to AJR, their successors and assigns, this Permit to encroach upon the easement and to construct, operate and maintain the IMPROVEMENTS shown on attached **Exhibit "A"**, subject to the following terms and conditions:

1. OWNERS shall obtain CHURCH's written approval for the following:
 - a. All pertinent plans for installation of the IMPROVEMENTS, which must be obtained prior to construction. .
 - b. All changes to subject plans.
 - c. All future repair, modification, removal, or other activities affecting the completed IMPROVEMENTS.
2. CHURCH shall have the authority to cause the installation of any of the IMPROVEMENTS to be stopped or to require the IMPROVEMENTS to be removed from the easement area if the construction does not comply with the approved plans, or if the IMPROVEMENTS are not maintained.
3. All construction, operation, maintenance, repair, relocation and removal of the IMPROVEMENTS shall be accomplished at AJR' sole expense and in such a manner as shown on the plans approved by CHURCH. AJR will be responsible for obtaining any additional permits as may be required.

Who is
"ABM" ?

4. ABM shall maintain the IMPROVEMENTS as shown on the approved plans in good operating order. AJR shall immediately repair any damage, which may occur to the IMPROVEMENTS within the easement. CHURCH does not maintain this improvement, and AJR shall be responsible for protecting their property.

Ahmet
Buchanna
McKinley

5. AJR shall indemnify and hold CHURCH harmless from all claims or judgments for damages or injury to property or persons arising from the construction, operation, maintenance, relocation or removal of the IMPROVEMENTS and use of related equipment, and shall defend CHURCH against any such claim. AJR shall reimburse CHURCH for all costs and expenses incurred by CHURCH resulting from the installation, operation, maintenance or removal of the IMPROVEMENTS should such activities be required to prevent damage to CHURCH or others.
6. In the event that any of the IMPROVEMENTS become ineffective or endanger the function of the remaining portion of the easement, CHURCH shall notify AJR, and AJR shall promptly commence to correct such condition. In the event that AJR fail to undertake or complete such repairs, CHURCH may modify or remove the IMPROVEMENTS constructed on easement, provided that CHURCH gives AJR thirty (30) days notice of such modification or removal.
7. Should AJR fail to properly and timely maintain or repair any IMPROVEMENTS after timely notice from CHURCH, CHURCH may terminate this Permit and all rights and privileges herein granted. CHURCH will provide AJR with thirty (30) days notice of such intent to terminate.
8. This Permit shall be in full force from the date of signature from CHURCH and shall run with the land or are binding upon and insure to the benefit of the successors and assigns to the parties hereto and shall be
9. Nothing in this Permit shall be construed to create in any person or entity, other than CHURCH and AJR, any rights whatsoever, including, but not limited to, the rights of a third party beneficiary, nor to authorize any third party to maintain a suit or any other claim.
10. AJR covenant and warrant that they are the owners in fee simple of the property and that they have a good and lawful right to enter into this Agreement.

1-24-95
Spoke w/ Engr. on phone.
Informed them that as-built elev.
onsite @ valley gutter from
Piasano appears too high. Site
will not exempt flows from
Street as intended. They will
check elev. again and resubmit
Scott

The provisions hereof shall inure to the benefit of and bind the heirs, executors, administrators, successors, and assigns of the parties hereto.


Witness our hands and seals this 22nd day of October, 2013.

TERMS AND CONDITIONS OF PERMIT AGREED TO AND ACKNOWLEDGED.

AHMET & MARTHA TIRYAKI & JASON M & COLLEEN BUCHANNAN & ROB & BANU MCKINLEY:



AHMET TIRYAKI




MARTHA TIRYAKI



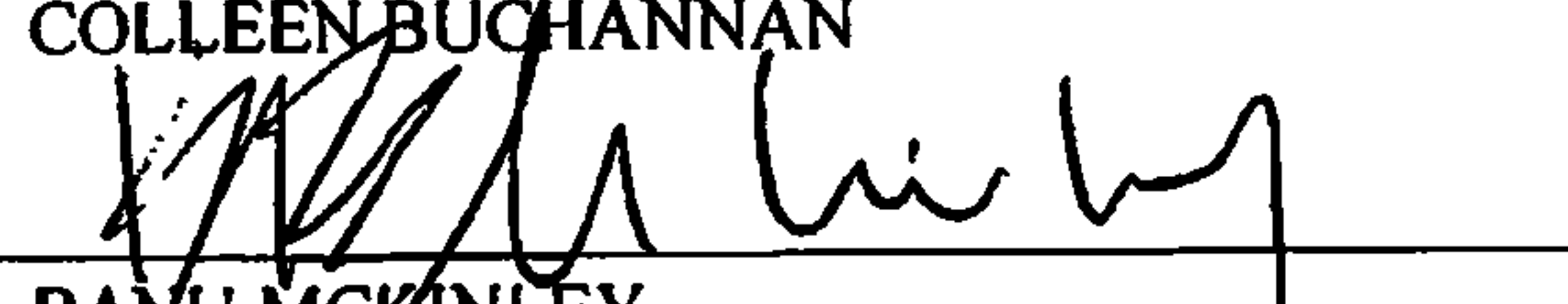
JASON M. BUCHANNAN



COLLEEN BUCHANNAN

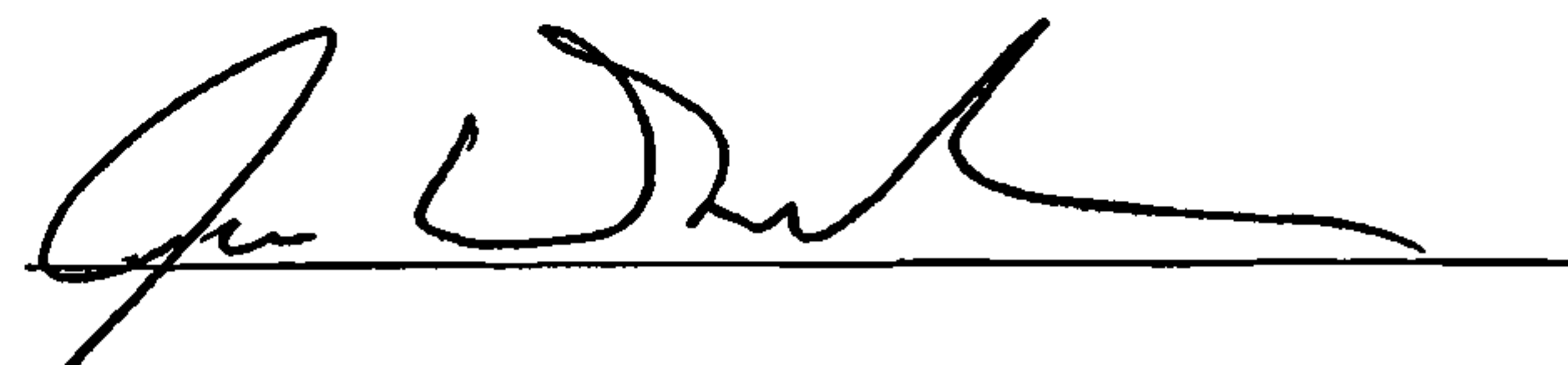


ROB MCKINLEY



BANU MCKINLEY

INTERNTIONAL CHURCH OF THE FOURSQUARE GOSPEL:

By: 

ACKNOWLEDGMENTS

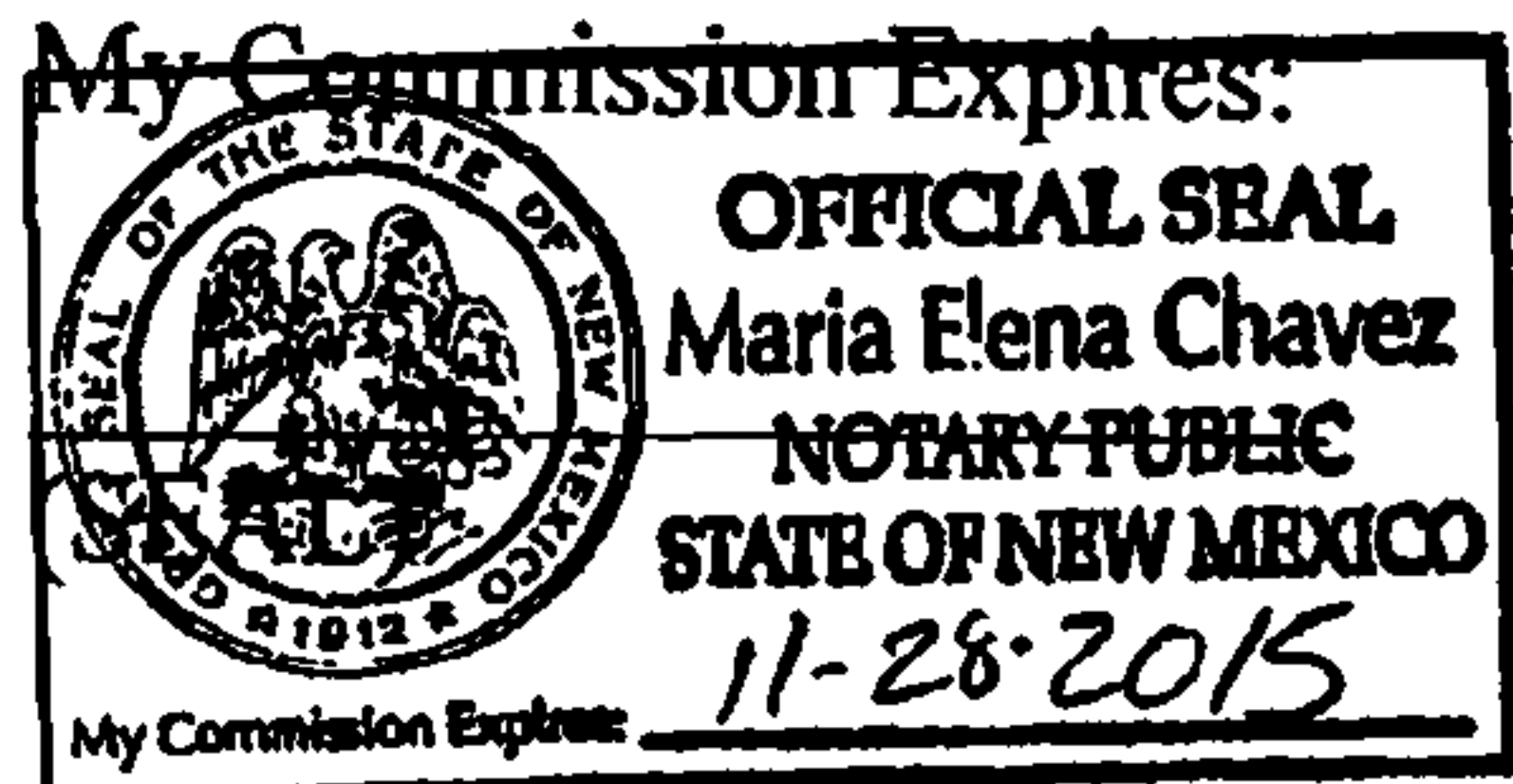
STATE OF NEW MEXICO)

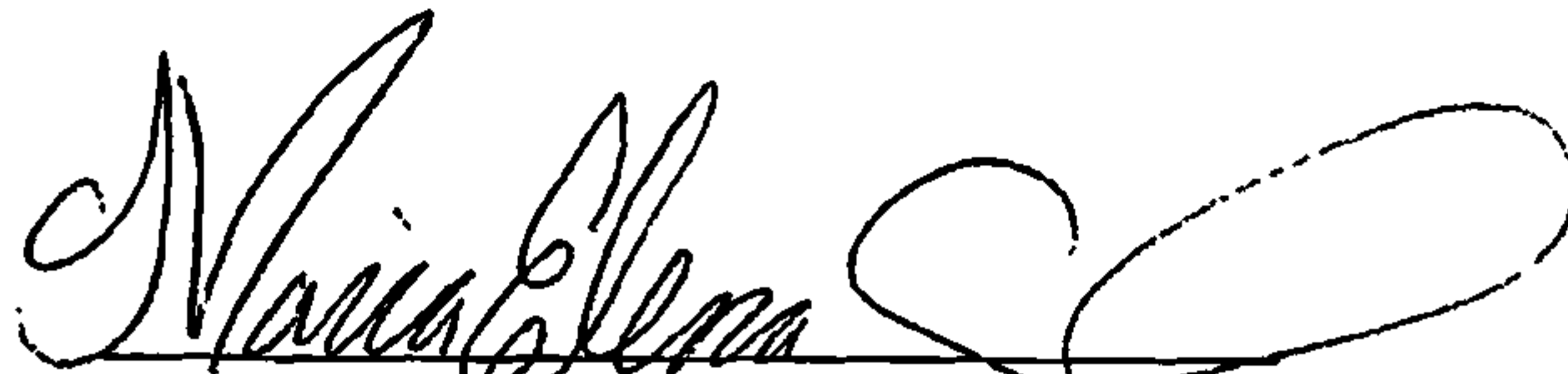
)s.s.

COUNTY OF BERNALILLO)

This instrument was acknowledged before me on October 22nd, 2013

by AHMET & MARTHA TIRYAKI.




Notary Public

STATE OF NEW MEXICO)

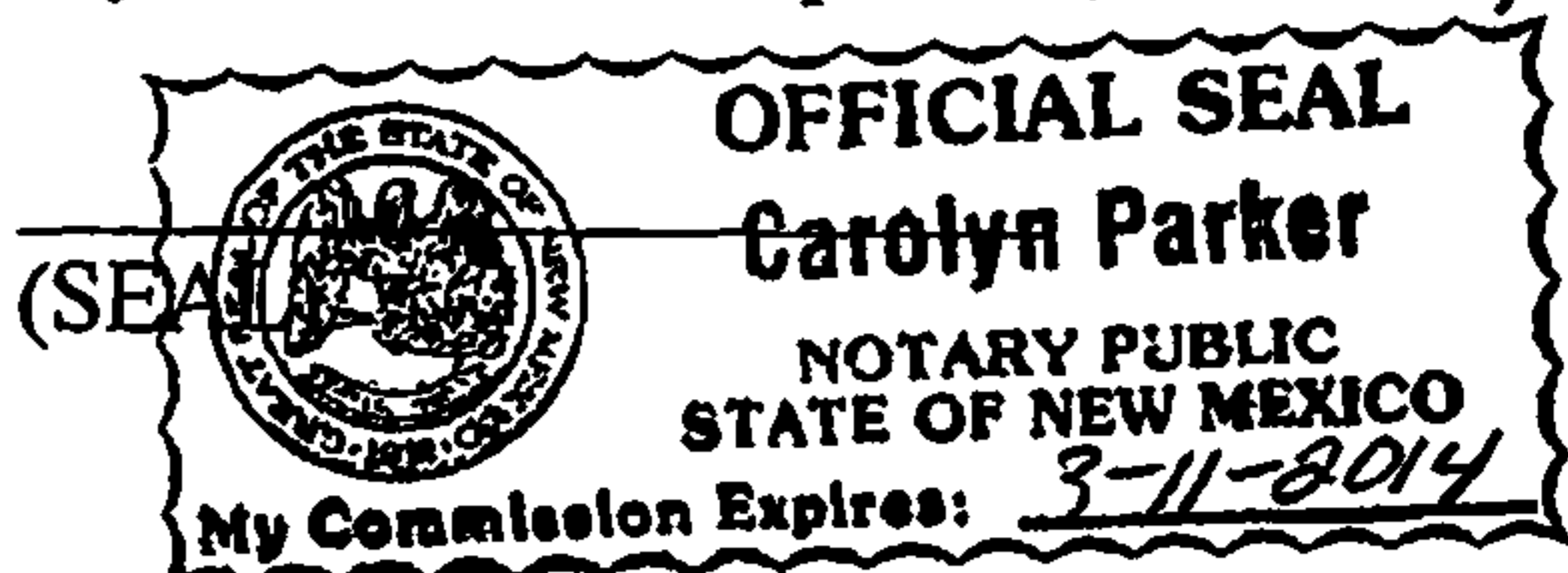
)s.s.

COUNTY OF BERNALILLO)

This instrument was acknowledged before me on October 22, 2013

by JASON M & COLLEEN BUCHANNAN.

My Commission Expires: 3-11-2014




Notary Public

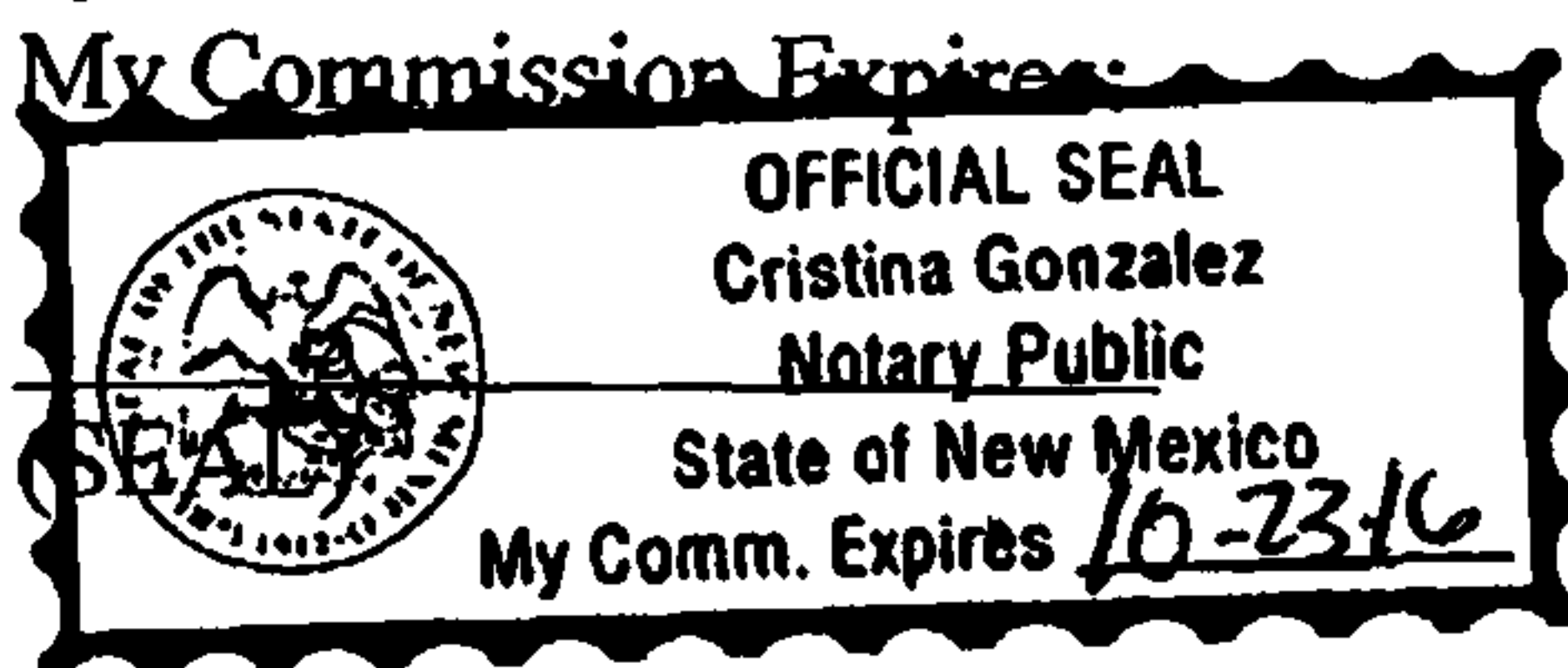
STATE OF NEW MEXICO)

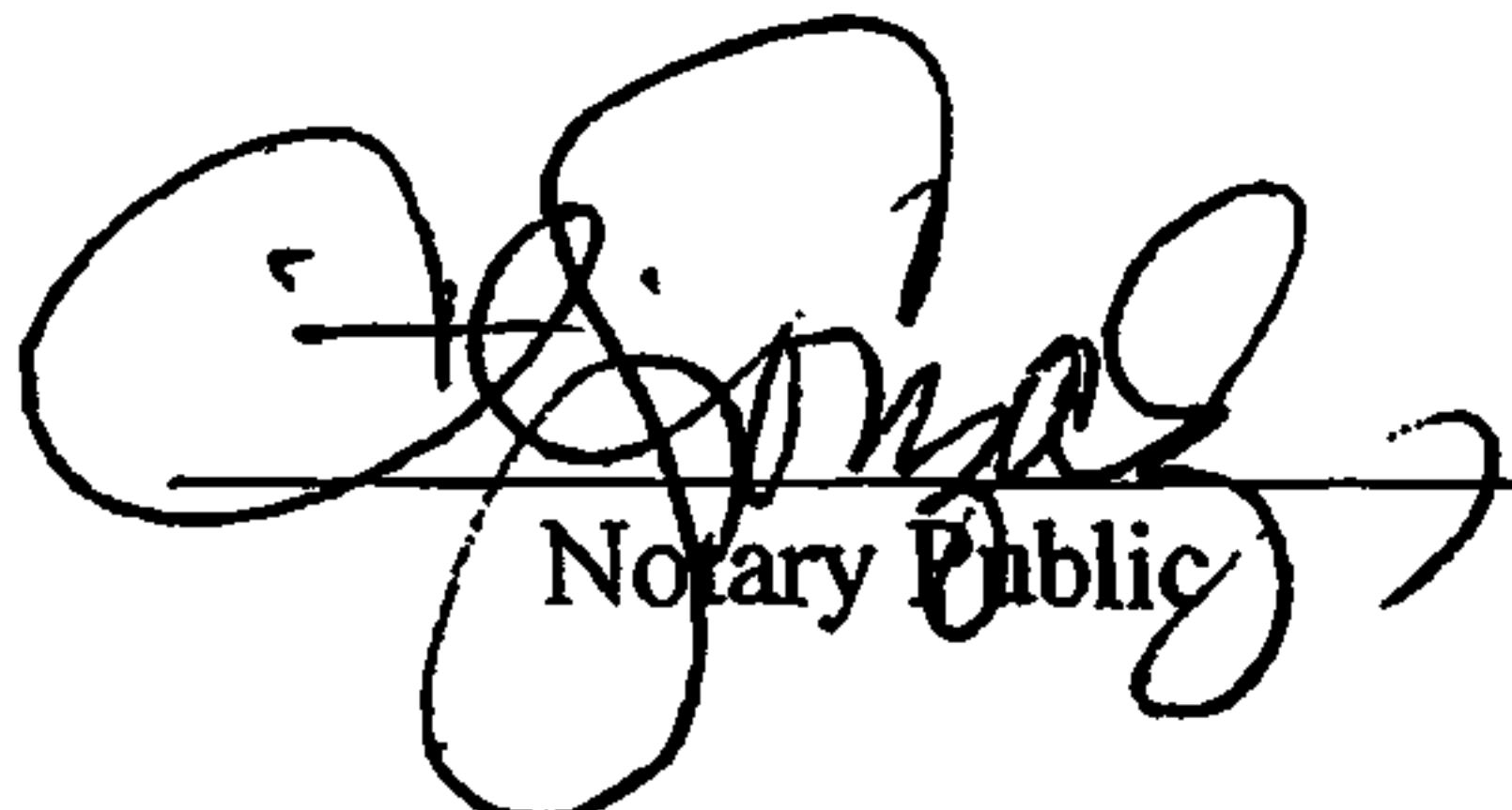
)s.s.

COUNTY OF BERNALILLO)

This instrument was acknowledged before me on October 22nd, 2013

by ROB & BANU MCKINLEY.




Notary Public

STATE OF NEW MEXICO)

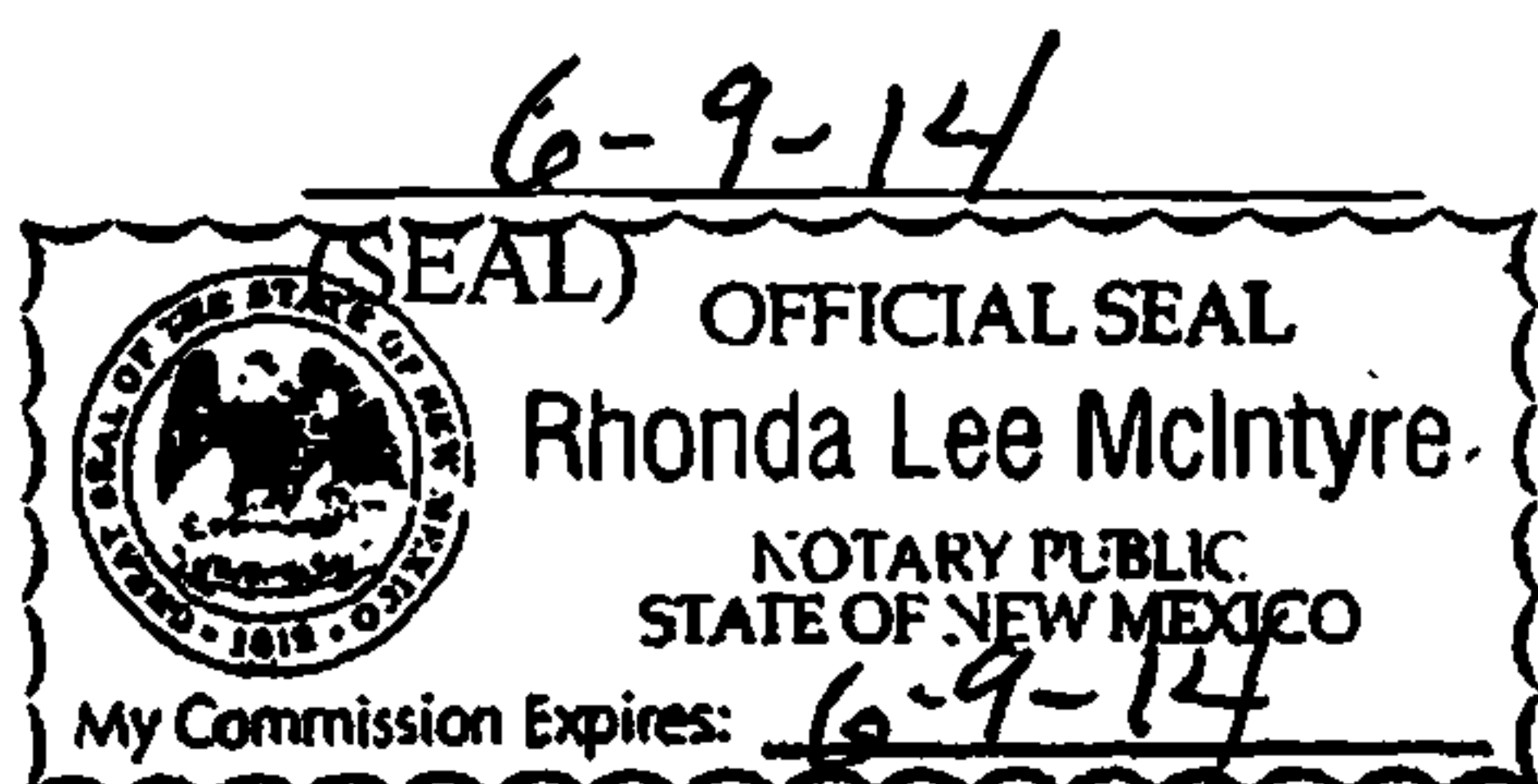
)s.s.

COUNTY OF BERNALILLO)

This instrument was acknowledged before me on October 22, 2013

by Sam Wheeler of INTERNATIONAL CHURCH OF THE FOURSQUARE GOSPEL

My Commission Expires:




Notary Public

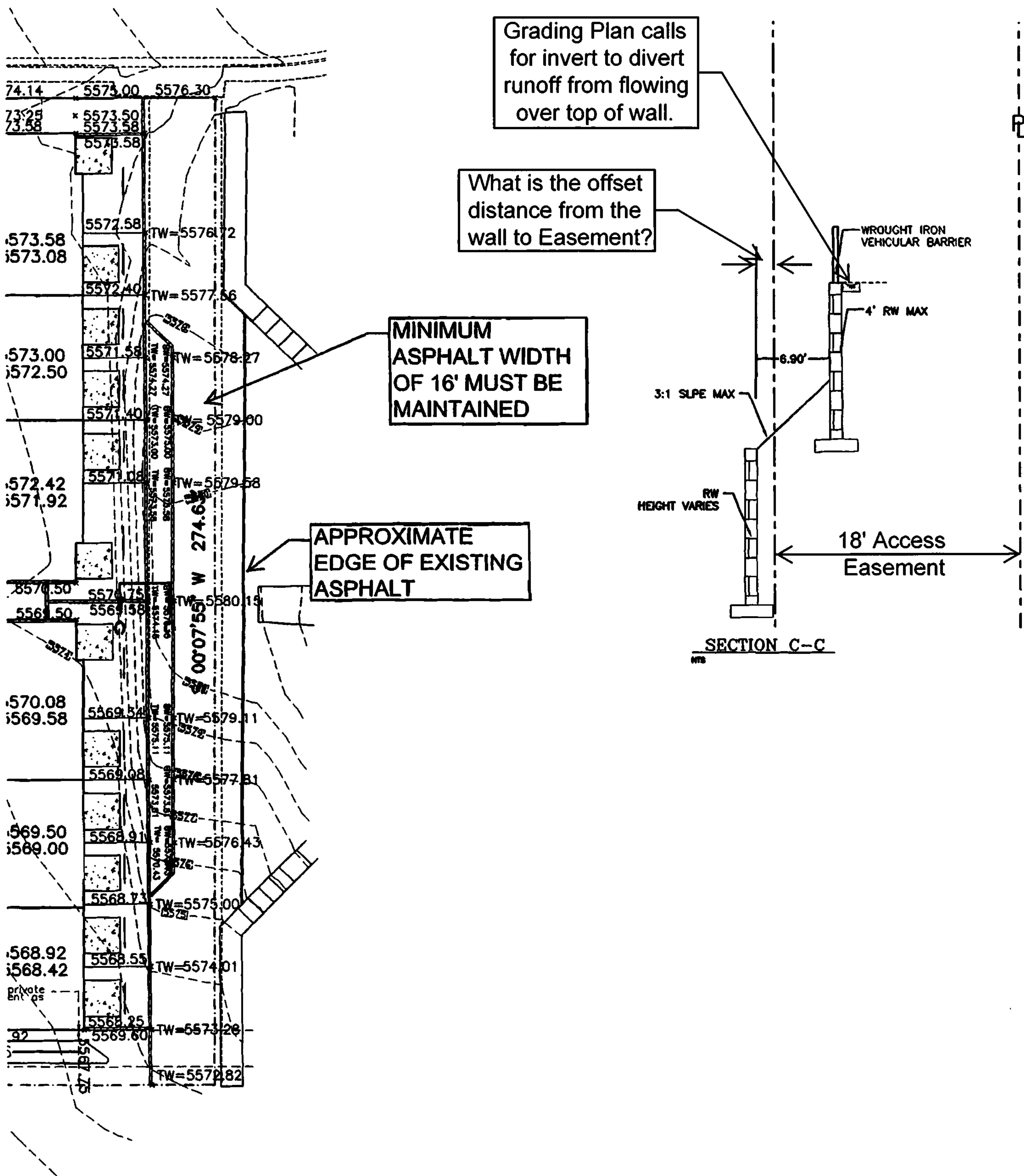


EXHIBIT A



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 8, 1995

Benny Gabaldon
Resource Technology, Inc.
2129 Osuna Rd. NE, Suite 200
Albuquerque, NM 87113

RE: CERTIFICATE OF OCCUPANCY FOR MOTEL @ ZIA & PAISANO (K-22/D22F)
ENGINEER'S STAMP DATED 1/30/95

Dear Mr. Gabaldon:

Based upon the additional survey information supplied in your 2/2/95 resubmittal, Engineer's Certification for the referenced site is acceptable.

If I can be of further assistance, feel free to contact me at 768-3622.

Sincerely,

Scott Davis
PWD, Hydrology Division

c: Terri Martin
Andrew Garcia
File

TRANSMITTAL


Resource Technology, Inc.
ENGINEERS AND ENVIRONMENTAL SCIENTISTS
2129 Osuna Road NE, Suite 200
Albuquerque, NM 87113
(505) 345-3115

To : CITY HYDROLOGY

From : BENNY GABALDON

Date : FEB 1, 1995

Attn : SCOTT DAVIS

Re : PAISANO & ZIA

Our Project No. : 93-250

WE TRANSMIT THE FOLLOWING :

- | | | |
|--|---|---|
| <input type="checkbox"/> SHOP DRAWINGS | <input type="checkbox"/> SPECIFICATIONS | <input type="checkbox"/> CHANGE ORDER |
| <input type="checkbox"/> PRINTS | <input type="checkbox"/> COPY OF LETTER | <input type="checkbox"/> UNDER SEPARATE COVER VIA _____ |
| <input type="checkbox"/> DOCUMENTS | | <input type="checkbox"/> _____ |

FOR YOUR :

- | | |
|--|--|
| <input checked="" type="checkbox"/> APPROVAL | <input type="checkbox"/> DISTRIBUTION TO PARTIES |
| <input checked="" type="checkbox"/> REVIEW & COMMENT | <input checked="" type="checkbox"/> RECORD |
| <input type="checkbox"/> USE | <input type="checkbox"/> INFORMATION |

IF MATERIAL RECEIVED IS NOT AS LISTED,
PLEASE NOTIFY US AT ONCE.

COPIES	DATE	ITEM DESCRIPTION
2	1/30/95	ENGINEER CERTIFIED DRAINAGE PLAN (PAISANO & ZIA)

Remarks : _____

Copy To : _____

DRAINAGE INFORMATION SHEET

PROJECT TITLE: ZIA & PAISANO GRADING & DRAIN ZONE ATLAS/DRNG. FILE #: K-22 / 11221

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: _____

CITY ADDRESS: _____

ENGINEERING FIRM: RESOURCE TECHNOLOGY INC CONTACT: BENNY GABALDON

ADDRESS: 2129 OSUNA RD NE SUITE 200 PHONE: 345-3115

OWNER: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER _____

CHECK TYPE OF APPROVAL SOUGHT:

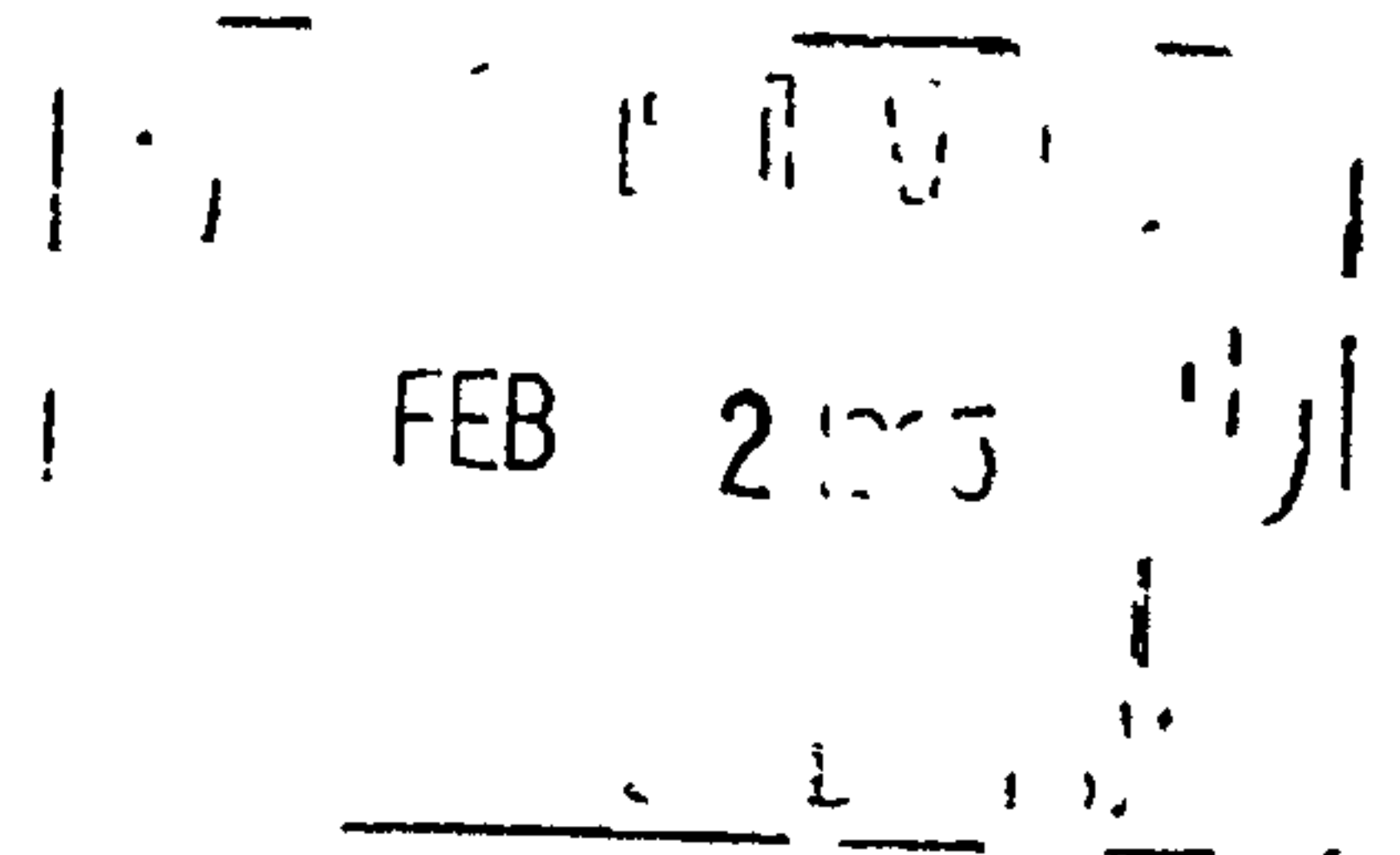
- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ OTHER _____ (SPECIFY)

PRE-DESIGN MEETING:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: FEBRUARY 1, 1995

BY: RESOURCE TECHNOLOGY INC



DRAINAGE INFORMATION SHEET

PROJECT TITLE: Pact Inn ZONE ATLAS/DRNG. FILE #: K-22/022F

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Track K, La Costa Subdivision

CITY ADDRESS: 601 Paisano ST N.E.

ENGINEERING FIRM: Resource Technology, Inc. CONTACT: Elvidio Diaz

ADDRESS: 2129 Osana N.E. PHONE: 345-3115

OWNER: ~~Barry~~ Bart Mody CONTACT: _____

ADDRESS: 601 Paisano PHONE: _____

ARCHITECT: Roger Cinelli and Assoc CONTACT: Roger Cinelli

ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: Tee Pee Corporation CONTACT: Jack Payne

ADDRESS: P.O. Box 643 Edgewood N.M. PHONE: ~~266-0416~~ 281-9095

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☒ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION **TEMP**
- ☐ OTHER _____

CHECK TYPE OF APPROVAL SOUGHT:

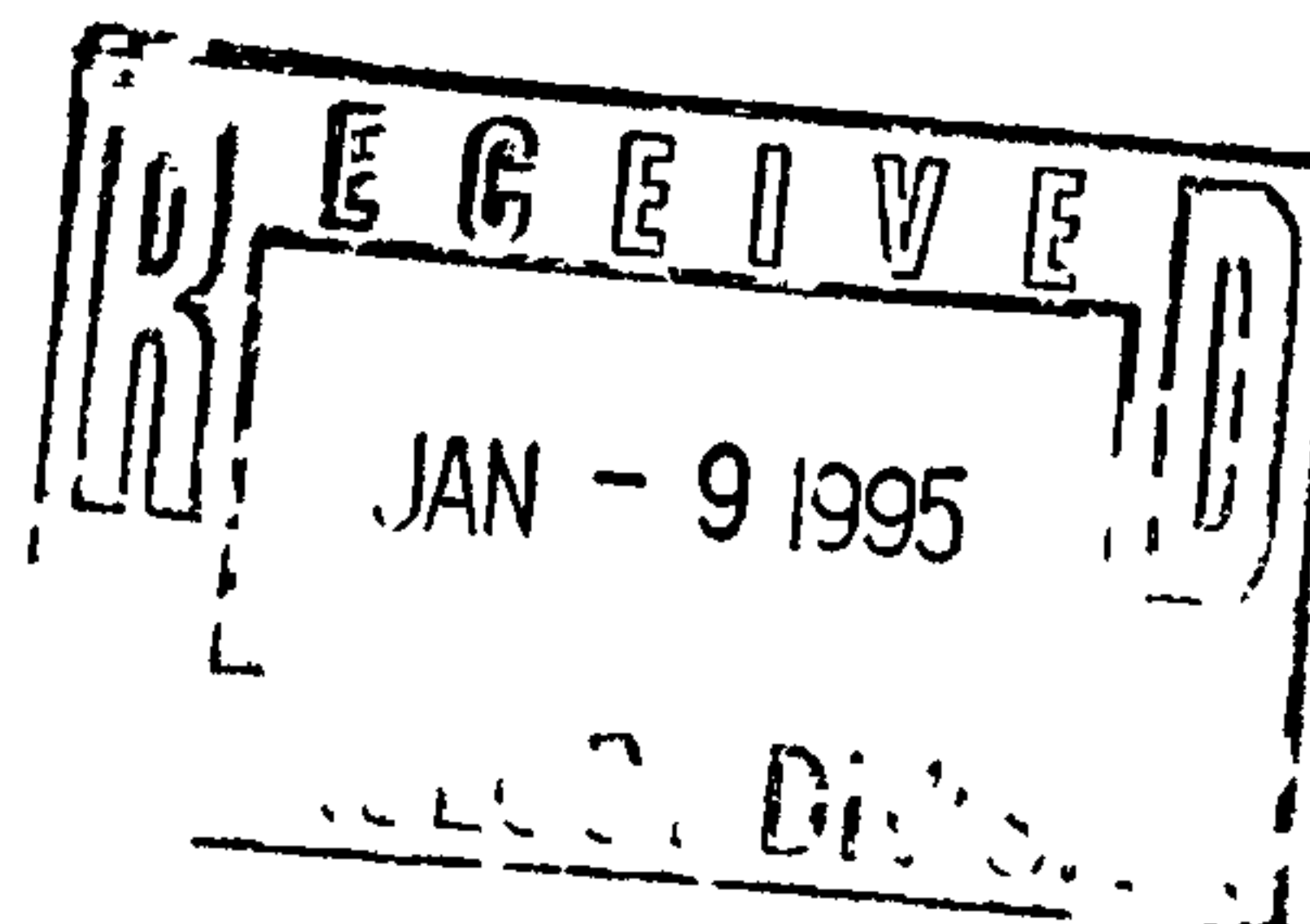
- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY APPROVAL **TEMP**
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ OTHER _____ (SPECIFY)

PRE-DESIGN MEETING:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 1-6-95

BY: Jack Payne





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 3, 1994

Mr. Elvidio Diniz, P.E.
Resource Technology, Inc.
2129 Osuna Road, Suite 200
Albuquerque, NM 87113

RE: RESUBMITTAL FOR PROPOSED MOTEL ON PAISANO ST. (K-22/D22F) ENGINEER'S
STAMP DATED 4/29/94

Dear Mr. Diniz:

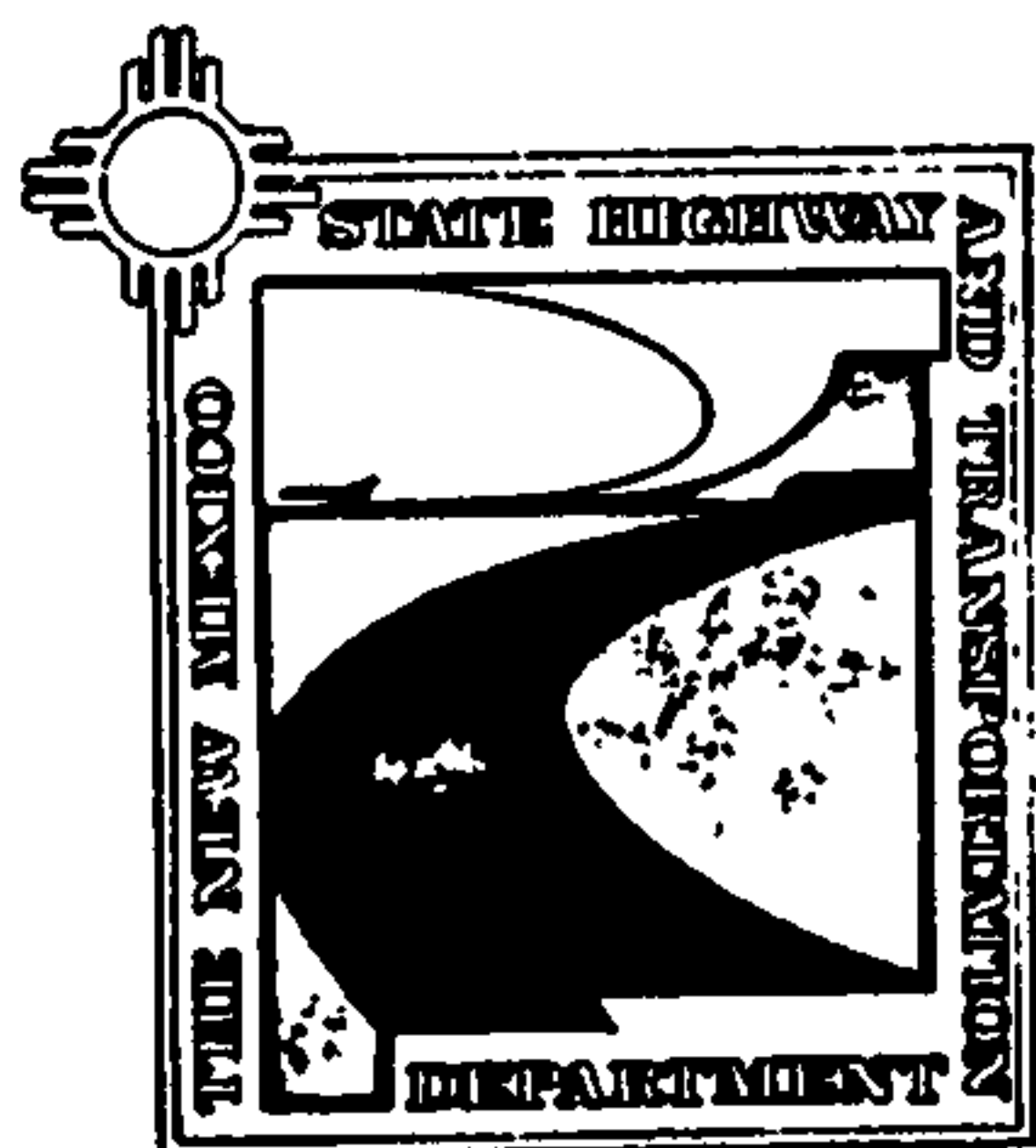
Based upon your 5/2/94 resubmittal, the referenced project is approved for Building Permit. Please be advised that prior to Certificate of Occupancy release, we will need Engineer's Certification per the Certification Checklist.

If I can be of further assistance, feel free to contact me at 768-3622.

Cordially,

Scott Davis
PWD, Hydrology Division

(WP+8473)
c: Andrew Garcia
File



NEW MEXICO STATE HIGHWAY
AND TRANSPORTATION DEPARTMENT
AN EQUAL OPPORTUNITY EMPLOYER
DISTRICT THREE OFFICE

RECEIVED APR 26 1994

April 25, 1994

BRUCE KING
GOVERNOR

COMMISSION

Joe M. Anaya
Chairman, Stanley

J. V. "Rip" Curtis
Vice-Chairman, Clovis

Dr. Quentin Ford, P.E.
Secretary, Las Cruces

Peter T. Mocho, Sr.
Member, Albuquerque

Albert N. Sanchez
Member, Santa Rosa

Edward T. Begay
Member, Gallup

DEPARTMENT

Secretary
Louis J. Medrano

General Office
P.O. Box 1149
Santa Fe, N.M.
87504-1149
505-827-5100

District One Office
P.O. Box 231
Deming, N.M.
88031-0231
505-546-2603

District Two Office
P.O. Box 1457
Roswell, N.M.
88202-1457
505-624-3300

District Three Office
P.O. Box 91750
Albuquerque, N.M.
87199-1750
505-841-2700

District Four Office
P.O. Box 30
Las Vegas, N.M.
87701-0030
505-425-7527

District Five Office
P.O. Box 4127
Coronado Station
Santa Fe, N.M.
87502-4127
505-827-9500

District Six Office
P.O. Box 2159
Milan, N.M.
87021
505-285-6623

Mr. Greg Clarke,
Resource Technology, Inc.
2129 Osuna Rd., N.E. Suite 200
Albuquerque, New Mexico 87113

Dear Mr. Clarke:

Your recent submittal of the drainage plan for the development of the Tract "K", La Cuesta Subdivision at the northeast corner of I-40 and Juan Tabo has been approved by our Drainage Section. A copy of the letter of approval for the proposed discharge into the adjacent existing culvert under I-40 is attached.

If we can be of further assistance please contact us at 841-2700.

Sincerely,

MICHAEL L. BARNES
District Three Engineer

xc: Rae Van Hoven, Drainage
Anthony Lopez

RECEIVED
MAY - 2 1994

New Mexico
DRUG FREE
It's a State of Mind

DRAINAGE INFORMATION SHEET

PROJECT TITLE: PROPOSED MOTEL
PAISANO ST. & 21A RD. ZONE ATLAS/DRAINAGE FILE # K-22/622F

LEGAL DESCRIPTION: TRACT K, LA CUESTA SUBDIVISION

CITY ADDRESS: NONE PROVIDED

ENGINEERING FIRM: RESOURCE TECHNOLOGY, INC. CONTACT: ELVIDIO DINIZ, P.E.
 ADDRESS: 2129 OSCUNA RD. SUITE 200 PHONE: 345-3115
ALB, NM 87113

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

ARCHITECT: ROGER CINOWI & ASSOCIATES CONTACT: ROGER CINOWI
 ADDRESS: P.O. BOX 965 PHONE: _____
ALB, N.M. 87059

SURVEYOR: R.T.I. CONTACT: SAME
 ADDRESS: SAME PHONE: SAME

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☒ YES
☐ NO
☒ COPY OF CONFERENCE
 RECAP SHEET PROVIDED

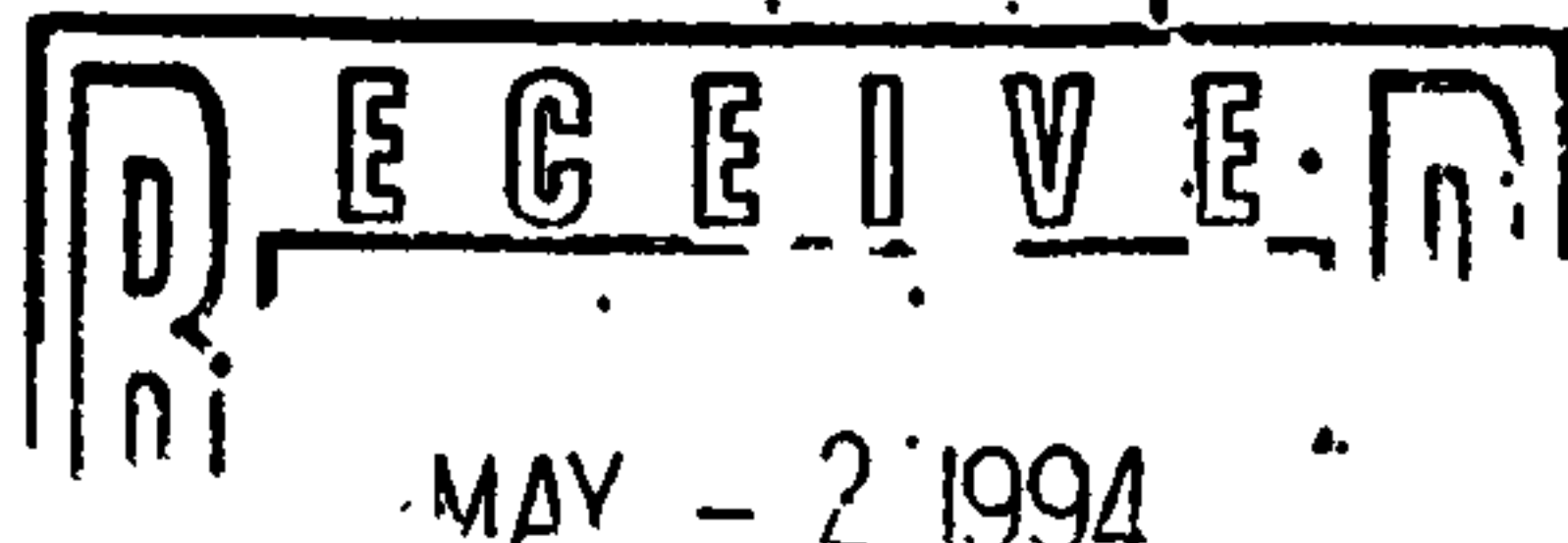
DRB. NO. _____
 EPC NO. _____
 PROJECT NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAIN PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SECTOR PLAN APPROVAL
☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE DEVELOPMENT PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
 APPROVAL
☐ ROUGH GRADING PERMIT APPROVAL
☐ GRADING/PAVING PERMIT APPROVAL
☐ OTHER _____ (SPECIFY)



DATE SUBMITTED: 4/29/94
 BY: Greg Clarke

TRANSMITTAL


Resource Technology, Inc.
ENGINEERS AND ENVIRONMENTAL SCIENTISTS
2129 Osuna Road NE, Suite 200
Albuquerque, NM 87113
(505) 345-3115

To : G.O.A. - HYDROLOGY

From : GREG CLARKE

Attn : SCOTT DAVIS

Date : 4/29/94

Re : PROPOSED HOTEL PAISANO RD & 21A ST.

Our Project No. : 93-250

WE TRANSMIT THE FOLLOWING :

- | | | |
|---|---|---|
| <input type="checkbox"/> SHOP DRAWINGS | <input type="checkbox"/> SPECIFICATIONS | <input type="checkbox"/> CHANGE ORDER |
| <input checked="" type="checkbox"/> PRINTS | <input type="checkbox"/> COPY OF LETTER | <input type="checkbox"/> UNDER SEPARATE COVER VIA _____ |
| <input checked="" type="checkbox"/> DOCUMENTS | <input type="checkbox"/> _____ | |

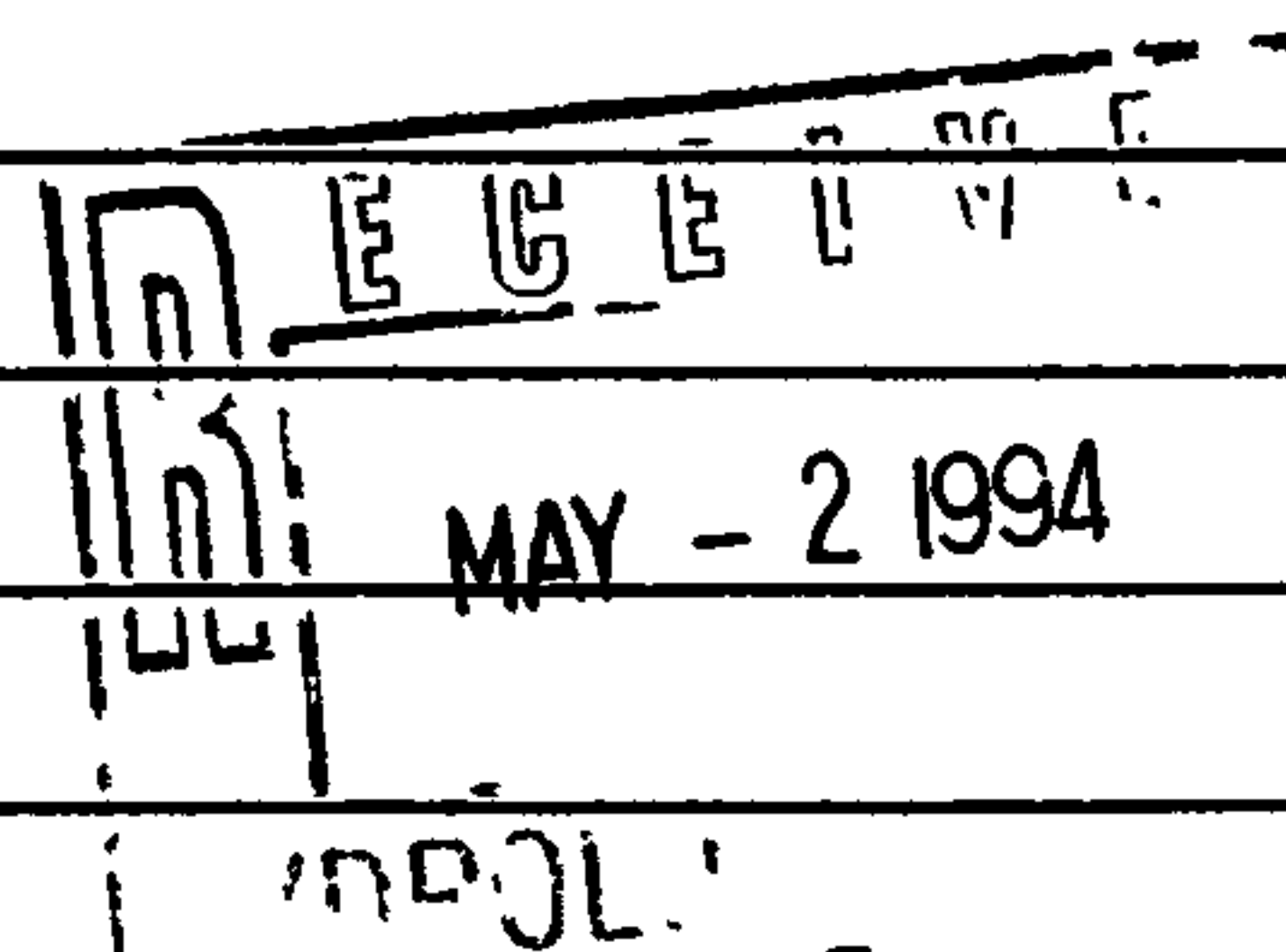
FOR YOUR :

- | | |
|--|--|
| <input checked="" type="checkbox"/> APPROVAL | <input type="checkbox"/> DISTRIBUTION TO PARTIES |
| <input type="checkbox"/> REVIEW & COMMENT | <input type="checkbox"/> RECORD |
| <input type="checkbox"/> USE | <input type="checkbox"/> INFORMATION |

IF MATERIAL RECEIVED IS NOT AS LISTED,
PLEASE NOTIFY US AT ONCE.

COPIES	DATE	ITEM DESCRIPTION
1	4/29/94	REVISED BLUELINE OF GRADING & DRAINAGE PLAN FOR YOUR APPROVAL
1	4/1/94	PRE-DESIGN CONFERENCE SHEET
1	4/1/94	DRAINAGE INFORMATION SHEET
1	4/25/94	APPROVAL LETTER FROM STATE HIGHWAY DEPT.

Remarks : _____



Copy To : _____



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 22, 1994

Mr. Greg Clarke
Resource Technology, Inc.
2129 Osuna Rd. Suite 200
Albuquerque, NM 87113

RE: DRAINAGE & GRADING SUBMITTAL FOR BUILDING PERMIT APPROVAL - MOTEL @
PAISANO ST. & ZIA RD. (K-22/D22F) ENGINEER'S STAMP DATED 4/8/94

Dear Mr. Clarke:

Based upon your submittal concerning the referenced project, the following concerns will need to be addressed prior to authorizing Building Permit approval.

1. An approval letter from the State Highway Hydrology Section authorizing the discharge of your developed storm flows into their right-of-way will be required prior to the City's approval of the Building Permit.
2. If, as your pre-design meeting minutes indicate, the existing swale across your site falls within a Public Drainage Easement, please indicate this on your plan.

If I can be of further assistance, feel free to call me at 768-3622.

Cordially,

Scott Davis
PWD, Hydrology Division

(WP+8473)
c: ~~File~~

DRAINAGE INFORMATION SHEET

PROPOSED HOTEL

PROJECT TITLE: PAISANO ST. & BIA RD. ZONE ATLAS/DRAINAGE FILE # K-22 / 1022F

LEGAL DESCRIPTION: TRACT K, LA CUESTA SUBDIVISION

CITY ADDRESS: NONE PROVIDED

ENGINEERING FIRM: RESOURCE TECHNOLOGY, INC.

CONTACT: GREG CLARKE

ADDRESS: 2129 OSUNA RD. SUITE 200
ALB, N.M. 87113

PHONE: 345-3115

OWNER:

CONTACT:

ADDRESS:

PHONE:

ARCHITECT: ROGER CINELLI & ASSOCIATES

CONTACT: ROGER CINELLI

ADDRESS: P.O. BOX 965
ALB, NM 87059

PHONE:

SURVEYOR: R.T.E.

CONTACT: SAME

ADDRESS: SAME

PHONE: SAME

CONTRACTOR:

CONTACT:

ADDRESS:

PHONE:

PRE-DESIGN MEETING:

☒ YES

ORB. NO. _____

☐ NO

EPC NO. _____

☒ COPY OF CONFERENCE
RECAP SHEET PROVIDED

PROJECT NO. _____

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

☐ DRAINAGE REPORT

☐ SECTOR PLAN APPROVAL

☒ DRAINAGE PLAN

☐ SKETCH PLAT APPROVAL

☐ CONCEPTUAL GRADING & DRAIN PLAN

☐ PRELIMINARY PLAT APPROVAL

☒ GRADING PLAN

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ EROSION CONTROL PLAN

☐ FINAL PLAT APPROVAL

☐ ENGINEER'S CERTIFICATION

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY
APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

APR - 8 1994

TECHNOLOGY DIV.

DATE SUBMITTED: 4/7/94

BY: GREG CLARKE

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
UTILITY DEVELOPMENT DIVISION/HYDROLOGY SECTION

PRE-DESIGN CONFERENCE

DRAINAGE FILE/ZONE ATLAS PAGE NO.: K-22 DATE: 8/11/93
EPC NO.: _____ DRB NO.: _____ ZONE: C-2
SUBJECT: Holiday Inn
STREET ADDRESS: Paisano St.
LEGAL DESCRIPTION: Tract 15 La Costa Subdivision

APPROVAL REQUESTED: _____ PRELIMINARY PLAT _____ FINAL PLAT
_____ SITE DEVELOPMENT PLAN ☒ BUILDING PERMIT
_____ GRADING/PAVING PERMIT _____ OTHER

ATTENDANCE: WHO Brian Clark REPRESENTING Resource Tech. 345-
Bernie Montoya City of Abq. 3115

FINDINGS:

1. Drainage plan per D.P.M. guidelines required prior to Building Permit approval.
2. Existing 10' foot Public drainage easement straddling the Tract.
3. Must evaluate off-site runoff entering the property along with developed on-site runoff and what effect it will have on the project.
4. Existing box culvert within State Highway R/W. You will need concurrence from the State Highway Hydrology section prior to Submittal to the City Hydrology Section.
5. _____

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: Bernie Montoya
TITLE: Engineer Associate
DATE: 8/11/93

SIGNED: Bob Allen
TITLE: Landscape Architect
DATE: 8/11/93

NOTE PLEASE PROVIDE A COPY OF THIS PRE-DESIGN FORM WITH THE DRAINAGE SUBMITTAL.

4/22/94

chkg dep 924.72

svgs. dep. 100⁰⁰