

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 26, 2024

Michael D. Johnson, P.E.
Souder, Miller & Associates
3500 Sedona Hills Parkway
Las Cruces, NM 88011

**RE: Popeyes – Juan Tabo
Grading & Drainage Plans Resubmittal
Engineer’s Stamp Date: 11/06/2024
Hydrology File: K22D035A**

Dear Mr. Johnson:

Based upon the information provided in your resubmittal received 11/12/2023, the Grading & Drainage Plan is approved for Building Permit, Grading Permit, and SO-19 Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

1. Engineer’s Certification, per DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to “**Bernalillo County**” for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

NM 87103

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner’s certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3362 or richardmartinez@cabq.gov.

Sincerely,

Richard Martinez, P.E.
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

TYPE OF DEVELOPMENT: Plat (# of lots) _____ Single Family Home
All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

- Engineering / Architect Certification
- Conceptual Grading & Drainage Plan
- Grading & Drainage Plan, and/or Drainage Report
- Drainage Report (Work Order)
- Drainage Master Plan
- Conditional Letter of Map Revision (CLOMR)
- Letter of Map Revision (LOMR)
- Floodplain Development Permit
- Traffic Circulation Layout (TCL) – Administrative
- Traffic Circulation Layout (TCL) – DFT Approval
- Traffic Impact Study (TIS)
- Street Light Layout
- OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

- Pad Certification
- Building Permit
- Grading Permit
- Paving Permit
- SO-19 Permit
- Foundation Permit
- Certificate of Occupancy - Temp Perm
- Preliminary / Final Plat
- Site Plan for Building Permit - DFT
- Work Order (DRC)
- Release of Financial Guarantee (ROFG)
- CLOMR / LOMR
- Conceptual TCL - DFT
- OTHER (SPECIFY) _____

DATE SUBMITTED: _____

ABBREVIATIONS:

Table with 3 columns: Abbreviation, Description, and Symbol. Includes terms like ADVANCE DRAINAGE SYSTEM, BOTTOM OF POND, BRANCH (SIDEWALK), CENTERLINE, CORRUGATED METAL PIPE, etc.

CITY OF ALBUQUERQUE TRANSPORTATION NOTES:

- 1. ALL STREET STRIPING ALIGNED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REPAVED PAVEMENT MARKING BY CONTRACTOR AT THE SAME LOCATION AS EXISTING OR AS INDICATED ON THIS PLAN SET.
2. WORK AFFECTING ARTERIAL ROADWAYS MAY REQUIRE TWENTY-FOUR-HOUR CONSTRUCTION.
3. REMOVAL OF EXISTING CURB & GUTTER AND SIDEWALKS SHALL BE TO THE NEAREST JOINT.

EARTHWORK:

- 1. ALL EARTHWORK SHALL MEET THE REQUIREMENTS ON THE "GEO TECHNICAL REPORT" AS IT IS MADE AVAILABLE.
2. PRIOR TO BEGINNING EARTHWORK OPERATIONS ALL NECESSARY CLEARING AND GRUBBING IN THAT AREA SHALL HAVE BEEN PERFORMED.
3. REMOVAL OF EXISTING CURB & GUTTER AND SIDEWALKS SHALL BE TO THE NEAREST JOINT.

DUST CONTROL PLAN:

- 1. DEVELOPMENT TO COMPLY WITH CITY OF ALBUQUERQUE DUST CONTROL ORDINANCE BY USE OF THE FOLLOWING RACMS (COMPLETE DUST CONTROL PLAN INCLUDED IN STORM WATER POLLUTION PREVENTION PLAN): PRIMARY: STABILIZED CONSTRUCTION ENTRANCES) AND CONTINUOUS WATER APPLICATION (BY WATER TRUCK ON AT LEAST A DAILY BASIS DURING WINDY DAYS, PRIMARILY SPRING MONTHS OR AS NEEDED TO MINIMIZE FUGITIVE DUST).
2. ONCE CONSTRUCTION HAS COMMENCED, THE DISTURBED AREA CANNOT SIT FOR MORE THAN TEN (10) SUCCESSIVE CALENDAR DAYS.

GENERAL CONSTRUCTION NOTES:

- 1. THERE WILL BE A PERSON OR PERSONS (HEREINAFTER KNOWN AS THE OWNER'S REPRESENTATIVE) CHOSEN BY THE OWNER (HEREINAFTER KNOWN AS OWNER) TO ACT AS CONTACT PERSONS WITH THE ENGINEER.
2. SOUDER, MILLER AND ASSOCIATES SHALL HEREINAFTER BE KNOWN AS THE ENGINEER. THERE WILL BE A PERSON PROVIDED BY THE ENGINEER THAT WILL ACT AS A RESIDENT PROJECT REPRESENTATIVE WHO WILL BE THE FIELD CONTACT FOR QUESTIONS FROM THE CONTRACTOR TO THE ENGINEER.
3. THE ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND IS NOT LIABLE FOR PROBLEMS THAT MAY ARISE FROM THE CONTRACTOR'S FAILURE TO FOLLOW THE ENGINEER'S DRAWINGS, SPECIFICATIONS, AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS ARISING FROM FAILURE TO OBTAIN AND/OR FOLLOW THE ENGINEER'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS.

CITY OF ALBUQUERQUE GENERAL NOTES:

- 1. ALL WORK DETAILED ON THESE PLANS, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION THROUGH UPDATE #9, REFERRED TO HEREIN AS "STANDARD SPECIFICATIONS."
2. ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY OR PUBLIC EASEMENTS MUST BE DONE FROM APPROVED WORK ORDER DOCUMENTS ISSUED BY THE CITY.

CITY OF ALBUQUERQUE OTHER COMMON NOTES:

- 1. RCP SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURER'S RECOMMENDATION.
2. CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING WORK.
3. CONTRACTOR SHALL DETERMINE IN ADVANCE OF CONSTRUCTION IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS.

CONCRETE:

- 1. ALL CONCRETE SHALL BE PLACED IN A SINGLE CONTINUOUS OPERATION SO AS TO PRODUCE A MONOLITHIC SLAB/FOUNDATION BETWEEN CONSTRUCTION JOINTS.
2. CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI UNLESS OTHERWISE NOTED.
3. ALL REINFORCING SHALL CONFORM TO ASTM A617, GRADE 40, AND ACI 318-89 UNLESS OTHERWISE NOTED.

AMERICANS WITH DISABILITIES ACT (ADA) MINIMAL REQUIREMENTS:

- 1. THE GENERAL CONTRACTOR TO BECOME FAMILIAR WITH AND APPLY THE ADA MINIMAL REQUIREMENTS AND REPORT TO THE ARCHITECT/ENGINEER ANY DISCREPANCIES BEFORE CONSTRUCTION.
2. ACCESSIBLE ROUTES ON AN ACCESSIBLE SITE AND FOR NEW SITE IMPROVEMENTS SHALL BE PROVIDED TO SERVE ALL ACCESSIBLE SPACES OR ELEMENTS.
3. THE MINIMAL CLEAR WIDTH OF AN ACCESSIBLE ROUTE PER CODE IS 36".

CITY OF ALBUQUERQUE WATER & SEWER NOTES:

- 1. ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING. EXISTING VALVES AND MANHOLES SHALL NOT BE BURIED OR PAVED OVER; RIMS SHALL BE ADJUSTED TO MATCH NEW GRADE PER C.O.A. STANDARD DRAWINGS 2460 AND 2461.
2. MANHOLE RIMS, FIRE HYDRANT ELEVATIONS, AND FLANGE ELEVATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD-VERIFY AND ADJUST TO FINAL PAVEMENT OR SURFACE GRADES.
3. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE.

GRADING NOTES:

- 1. CONTRACTOR RESPONSIBLE FOR ALL SITE MATERIAL TESTING. TEST REPORTS TO BE SUBMITTED TO THE ENGINEER AND OWNER TO BE INCLUDED IN FINAL DOCUMENTATION.
2. ALL STATIONING IS CENTERLINE STATIONING. STATIONS ALONG CURVES ARE RADIAL.
3. ALL ROADWAY CONSTRUCTION SHALL MEET THE REQUIREMENTS AND STANDARDS SPECIFICATIONS OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION THROUGH UPDATE #9, REFERRED TO HEREIN AS "STANDARD SPECIFICATIONS."

EROSION CONTROL NOTES:

- 1. SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
2. WHERE POSSIBLE, SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
3. THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16" ABOVE THE ORIGINAL GROUND SURFACE.
4. THE SILT FENCE SHALL BE PLACED IN A TRENCH CUT A MINIMUM OF 6" DEEP. THE TRENCH SHALL BE CUT WITH A TRENCHER, OR OTHER SUITABLE DEVICE WHICH WILL INSURE ADEQUATE UNIFORM TRENCH DEPTH.

RAMPS

- 1. AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 1:20 (5.0%) IS A RAMP AND SHALL COMPLY WITH THE RAMP REQUIREMENTS.
2. AN ACCESSIBLE ROUTE MAY CROSS OPEN PAVEMENT OR CONDITIONS. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE ACROSS OPEN PAVEMENT MUST NOT EXCEED 1:20 (5.0%), WITH A CROSS SLOPE NOT EXCEEDING 1:50 (2.0%). SLOPES EXCEEDING 1:20 (5.0%), BUT LESS THAN 1:12 (8.33%), CONFORM TO THE RAMP REQUIREMENTS.
3. THE GENERAL CONTRACTOR/CONTRACTOR SHALL MEASURE THE SUBGRADE AND ACROSS FORMS PRIOR TO INSTALLATION OF ASPHALT OR CONCRETE IMPROVEMENTS TO ASSURE THE IMPROVEMENTS WILL MEET THESE MINIMAL ADA REQUIREMENTS.

FIXTURE SUPPLY UNITS & DEVICES NOTE:

- 1. ALL INFORMATION SHOWN IN THE FOLLOWING SHEETS THAT REFERENCES WATER, GAS AND SEWER CALCULATIONS, METERS AND BACKFLOW PREVENTION DEVICES WERE PROVIDED BY OTHERS AND ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY.

CITY OF ALBUQUERQUE WATER & SEWER NOTES:

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2. MANHOLE RIMS, FIRE HYDRANT ELEVATIONS, AND FLANGE ELEVATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD-VERIFY AND ADJUST TO FINAL PAVEMENT OR SURFACE GRADES.
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SITE DATA table with fields: IDO ZONE DISTRICT: MX-M, IDO DISTRICT DEFINITION: MODERATE INTENSITY, IDO CATEGORY: MIXED-USE, LAND USE CATEGORY: 03 - COMMERCIAL RETAIL, LAND USE DESCRIPTION: 03 - RESTAURANT, PROPOSED LAND USE: FAST FOOD RESTAURANT, LOT AREA: 32,745.99 SF, BUILDING AREA: 2,550.37 SF, ASPHALT AREA: 20,996.34 SF, CONCRETE AREA: 4,233.19 SF, LANDSCAPED AREA: 4,966.09 SF, PARKING PROVIDED: 14 SPACES, 17 DIAGONAL PARKING SPACES, HC PARKING PROVIDED: 1 REGULAR ADA PARKING SPACE, 1 VAN ACCESSIBLE PARKING SPACE, BICYCLE PARKING PROVIDED: 3, MOTORCYCLE PARKING PROVIDED: 1, MOTORCYCLE PARKING PROVIDED: 2, CoABQ FIRE DISTRICT: D12, FLOOD ZONE: ZONE X, DRAINAGE ZONE: ZONE 4

STANDARDS AND SPECIFICATIONS:

- 1. THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION THROUGH UPDATE #9, REFERRED TO HEREIN AS "STANDARD SPECIFICATIONS."
2. MUTCD, LATEST EDITION.
3. GEOTECHNICAL REPORT ENTITLED, "GEO TECHNICAL ENGINEERING SERVICES REPORT NO. 1-40101, POPEYES LOUISIANA KITCHEN, 840 JUAN TABO BLVD. ALBUQUERQUE, NEW MEXICO", DATED FEBRUARY 6, 2024.

Project information and stamps. Includes: Description: POPEYES COMMERCIAL SITE - 840 JUAN TABO BLVD. NE ALBUQUERQUE, NEW MEXICO; Date: 11/6/24; Scale: Horiz: AS SHOWN; Project No: 9432731; Sheet: C100. Stamps include: Soudier, Miller & Associates (Professional Engineer), Michael D. Johnson (Professional Engineer), and Louisiana Kitchen (Professional Resources for Damage Prevention).

DEMOLITION NOTES:

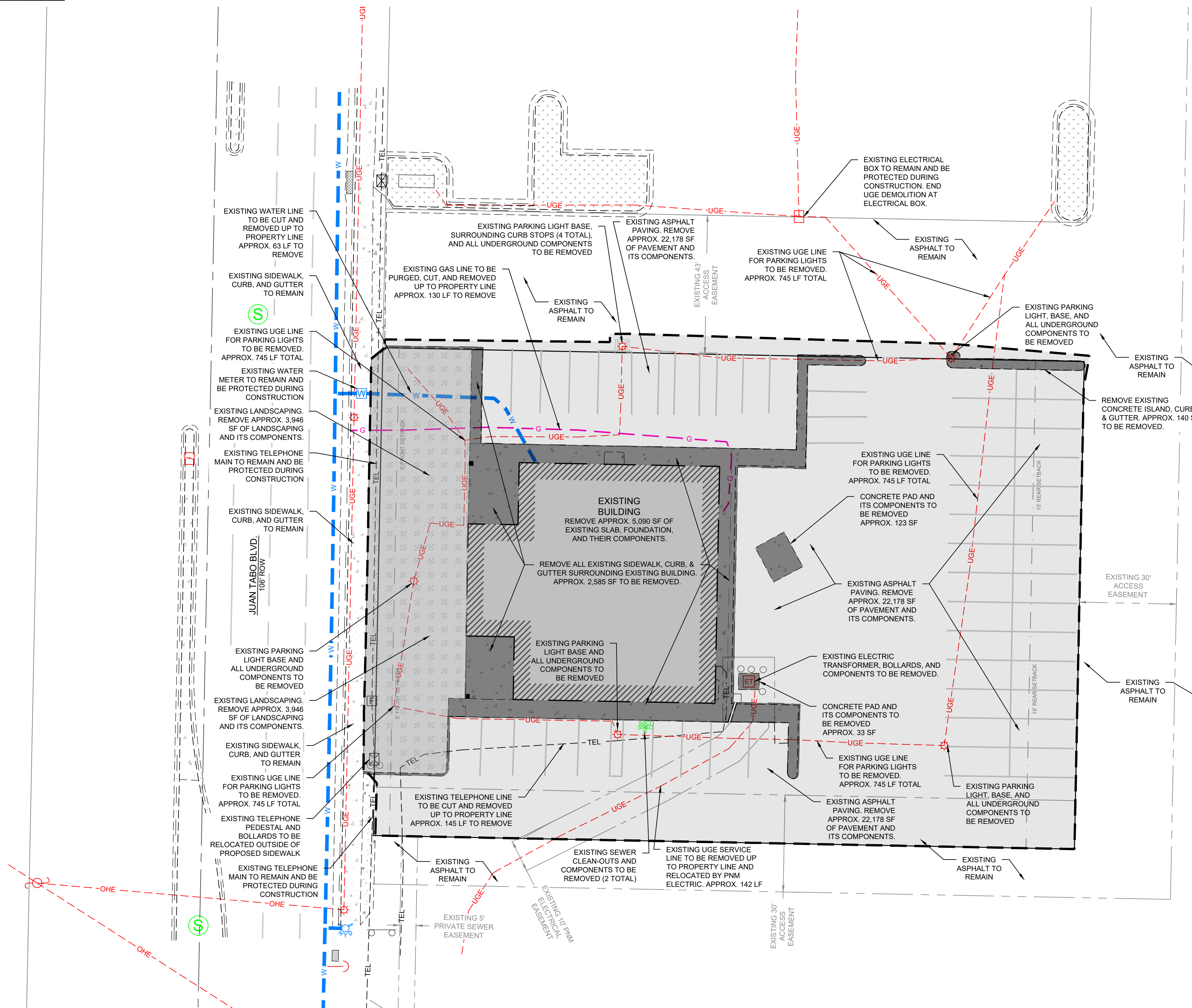
1. THE CONTRACTOR IS RESPONSIBLE TO INSPECT AND BECOME FAMILIARIZED WITH ALL EXISTING SITE CONDITIONS WITHIN THE DEMOLITION LIMITS. NOT ALL ITEMS TO BE RAZED AND REMOVED ARE SHOWN ON THIS DEMOLITION PLAN.
2. REMOVE ALL EXISTING PAVING, CONCRETE STRUCTURES, CURBING, FENCING, FLATWORK, VEGETATION, TREES AND ALL DELETERIOUS ITEMS WITHIN THE DEMOLITION LIMITS OF THE PROJECT, WHERE APPLICABLE.
3. ABANDON, REMOVE AND CUT/CAP EXISTING UTILITIES WITHIN DEMOLITION LIMITS AS APPLICABLE. PER UTILITY OWNERS DIRECTION. ACTUAL LOCATION AND NUMBER OF UTILITIES MAY VARY IN THE FIELD. SEE UTILITY PLAN FOR UTILITY LOCATIONS.
4. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW SIDEWALK, CURB, AND GUTTER.

NOTE TO CONTRACTOR:

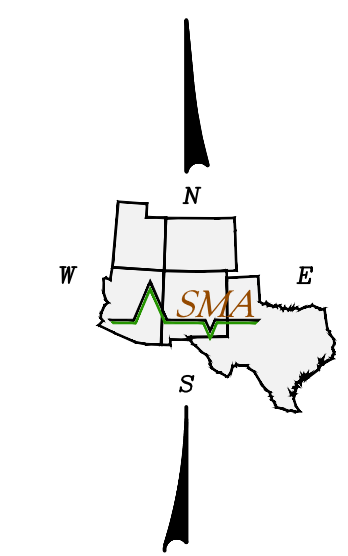
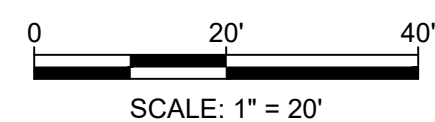
1. WHILE THIS SHEET IS INTENDED TO DELINEATE THE DEMOLITION ITEMS, THE CONTRACTOR SHALL BE AWARE THAT ALL ITEMS CONFLICTING WITH THE PROPOSED CONSTRUCTION SHALL BE REMOVED AND/OR RELOCATED WHETHER OR NOT SPECIFICALLY DESIGNATED. CONTRACTOR SHALL VERIFY THAT ALL UTILITY ITEMS SHOWN AS PREVIOUSLY REMOVED HAVE BEEN REMOVED AND TO WHAT EXTENT THEY WERE REMOVED. CONTRACTOR MUST COMPLETE A SITE VISIT PRIOR TO SUBMITTING BID PROPOSAL TO VERIFY EXISTING CONDITIONS ALIGN WITH SCOPE.

DEMOLITION LEGEND

- ASPHALT PAVING TO BE REMOVED
- CONCRETE PAVING, SIDEWALK, OR CURB TO BE REMOVED
- BUILDING / BUILDING COMPONENTS TO BE REMOVED
- LANDSCAPING / LANDSCAPING COMPONENTS TO BE REMOVED
- DEMOLITION LIMITS



DEMOLITION PLAN
SCALE: 1" = 20'



NOTE: THESE DRAWINGS ARE TO BE USED TO ACQUIRE PERMITS FROM JURISDICTIONAL GOVERNMENTAL AGENCIES AND ARE NOT TO BE RELIED UPON FOR PROJECT BIDDING PURPOSES OR FOR CONSTRUCTION UNTIL APPLICABLE CONSTRUCTION PERMITS ARE ISSUED.

Rev #	Date	Description	By	CHKD
0	2/15/24	SITE PLAN SUBMITTAL	DIF	NJ
1	3/8/24	CIVIL CHECK SET	DIF	NJ
2	3/25/24	CITY OF ALBUQUERQUE INITIAL SUBMITTAL	DIF	NJ
3	9/15/24	CITY OF ALBUQUERQUE 2ND SUBMITTAL	DIF	NJ
4	11/6/24	CITY OF ALBUQUERQUE 3RD SUBMITTAL	DIF	NJ

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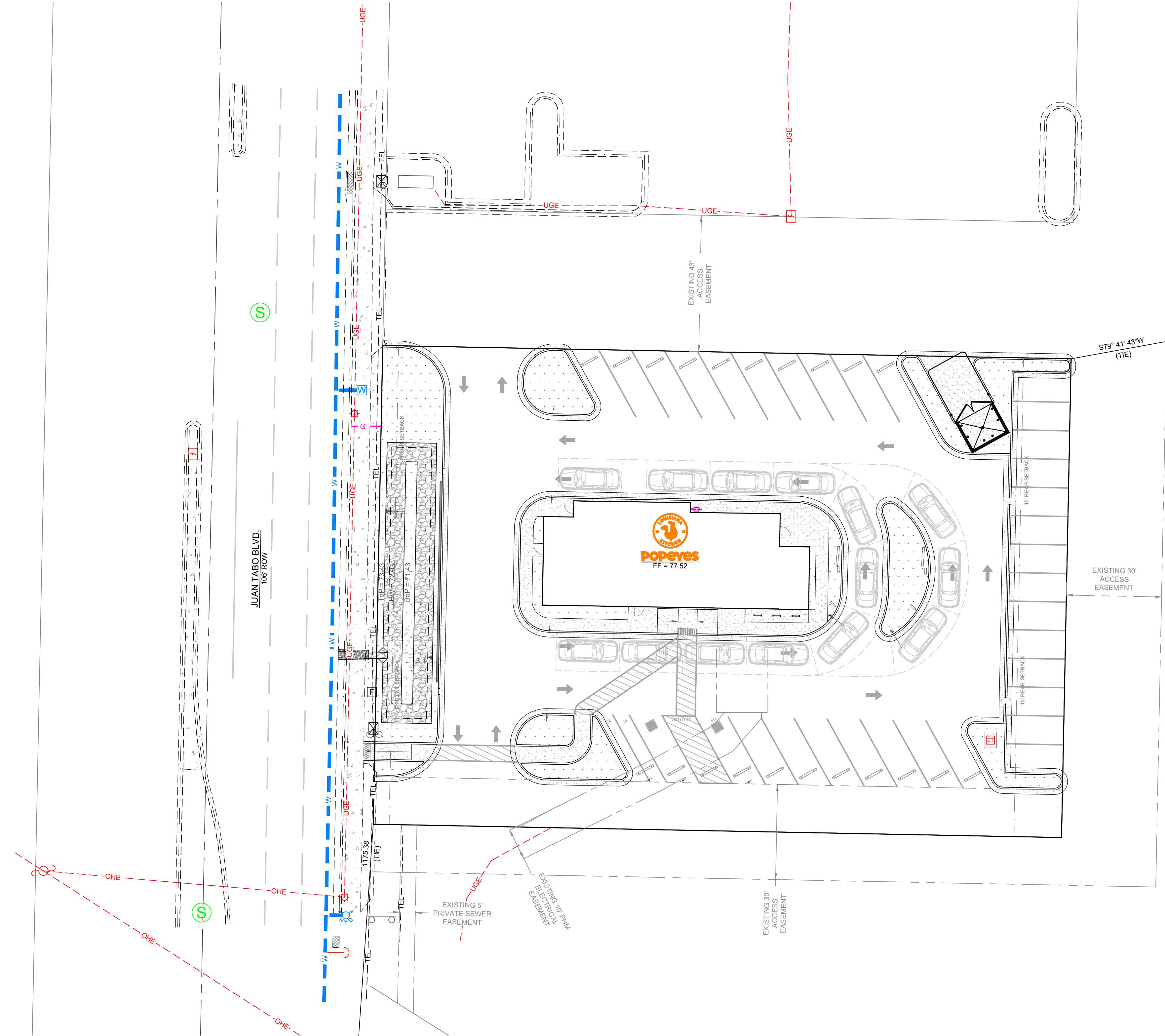
ALBUQUERQUE, NEW MEXICO
POPEYES COMMERCIAL SITE - 840 JUAN TABO BLVD. NE
 ALBUQUERQUE, NEW MEXICO
DEMOLITION PLAN



Designed	Drawn	Checked
MJ	DIF	MJ
Date:	November 2024	
Scale:	Horiz: AS SHOWN	
Project No:	9432731	
Sheet:	C101	



Professional Resources for Damage Prevention
 To Request a Line Locate Dial 811
 New Mexico state law requires everyone involved in any excavation to provide at least two working days' notice to owners of underground facilities when a dig is planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them.



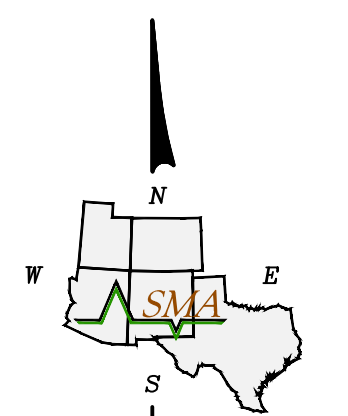
7004
BM ACS 20-K22
N=1486006.72
E=1561159.92
EL=5569.59

7003
BM ACS 10-K21
N=1485160.79
E=1561094.84
EL=5557.50

SURVEY CONTROL PLAN
SCALE: 1" = 20'



112
BM ACS 3-J22 1979 3_J22 GPS
N=1486921.23
E=1563821.70
EL=5667.46



NOTE: THESE DRAWINGS ARE TO BE USED TO ACQUIRE PERMITS FROM JURISDICTIONAL GOVERNMENTAL AGENCIES AND ARE NOT TO BE RELIED UPON FOR PROJECT BIDDING PURPOSES OR FOR CONSTRUCTION UNTIL APPLICABLE CONSTRUCTION PERMITS ARE ISSUED.



To Request a Line Locate Dial 811
New Mexico state law requires everyone involved in any excavation to provide at least two working days' notice to owners of underground facilities when a dig is planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them.

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4	11/6/24	CITY OF ALBUQUERQUE 3RD SUBMITTAL	DIF	NJ

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ALBUQUERQUE, NEW MEXICO
POPEYES COMMERCIAL SITE - 840 JUAN TABO BLVD. NE
ALBUQUERQUE, NEW MEXICO
SURVEY CONTROL PLAN

POPEYES LOUISIANA KITCHEN
MICHAEL D. JOHNSON
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER

11/6/24

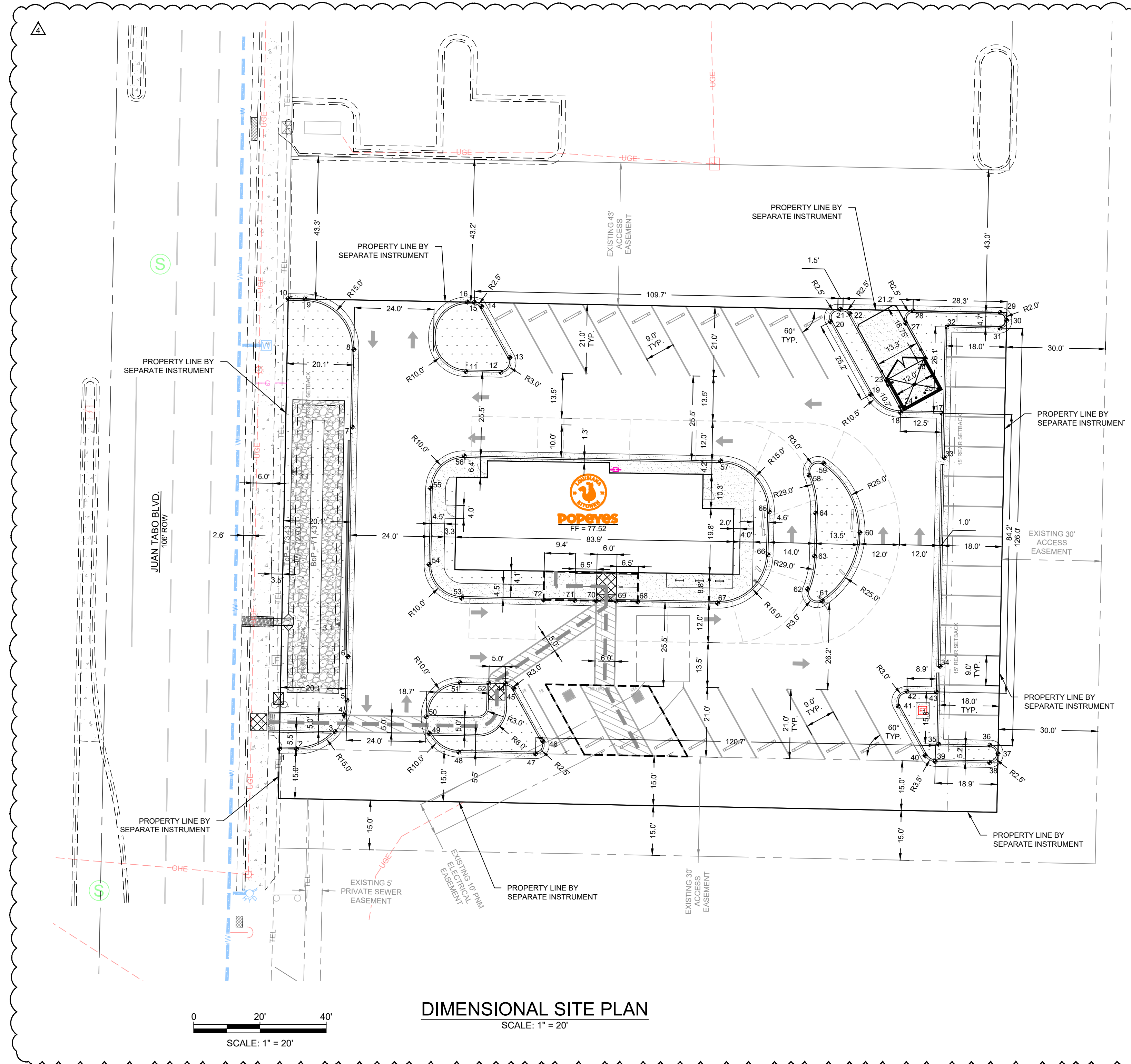
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

Designed	Drawn	Checked
MJ	DIF	MJ

Date: November 2024
Scale: Horiz: AS SHOWN
Vert: AS SHOWN
Project No: 9432731
Sheet: C200

Point #	Northing	Easting	Description
1	1486348.39	1561175.92	FLOW LINE
2	1486348.31	1561181.03	FLOW LINE
3	1486353.56	1561192.68	FLOW LINE
4	1486358.51	1561195.49	FLOW LINE
5	1486363.05	1561196.28	FLOW LINE
6	1486376.21	1561196.53	FLOW LINE
7	1486445.54	1561197.88	FLOW LINE
8	1486468.92	1561198.33	FLOW LINE
9	1486484.21	1561183.62	FLOW LINE
10	1486484.31	1561178.56	FLOW LINE
11	1486462.27	1561232.21	FLOW LINE
12	1486462.06	1561242.72	FLOW LINE
13	1486466.51	1561245.40	FLOW LINE
14	1486481.93	1561236.88	FLOW LINE
15	1486483.22	1561234.74	FLOW LINE
16	1486483.26	1561232.62	FLOW LINE
17	1486449.69	1561375.84	FLOW LINE
18	1486449.94	1561363.36	FLOW LINE
19	1486455.36	1561354.38	FLOW LINE
20	1486477.38	1561342.22	FLOW LINE
21	1486481.08	1561345.21	FLOW LINE
22	1486479.77	1561348.10	FLOW LINE
23	1486459.76	1561359.16	FLOW LINE
24	1486451.33	1561364.58	FLOW LINE
25	1486457.17	1561375.06	FLOW LINE
26	1486466.21	1561370.83	FLOW LINE
27	1486476.94	1561364.90	FLOW LINE
28	1486480.65	1561367.14	FLOW LINE
29	1486480.14	1561393.45	FLOW LINE
30	1486477.74	1561395.41	FLOW LINE
31	1486475.41	1561393.36	FLOW LINE
32	1486475.73	1561377.36	FLOW LINE
33	1486436.24	1561376.58	FLOW LINE
34	1486373.25	1561375.32	FLOW LINE
35	1486349.75	1561374.85	FLOW LINE
36	1486349.45	1561390.35	FLOW LINE

Point #	Northing	Easting	Description
37	1486346.90	1561392.80	FLOW LINE
38	1486344.23	1561390.24	FLOW LINE
39	1486344.55	1561373.85	FLOW LINE
40	1486346.36	1561370.85	FLOW LINE
41	1486361.27	1561362.63	FLOW LINE
42	1486365.72	1561365.31	FLOW LINE
43	1486365.55	1561374.16	FLOW LINE
44	1486368.07	1561244.09	FLOW LINE
45	1486366.52	1561246.66	FLOW LINE
46	1486350.60	1561255.45	FLOW LINE
47	1486346.89	1561253.21	FLOW LINE
48	1486347.34	1561229.99	FLOW LINE
49	1486352.99	1561221.18	FLOW LINE
50	1486358.01	1561220.19	FLOW LINE
51	1486368.34	1561230.39	FLOW LINE
52	1486368.17	1561239.09	FLOW LINE
53	1486393.85	1561230.88	FLOW LINE
54	1486404.05	1561221.08	FLOW LINE
55	1486427.00	1561221.52	FLOW LINE
56	1486436.81	1561231.71	FLOW LINE
57	1486435.30	1561309.04	FLOW LINE
58	1486431.00	1561335.71	FLOW LINE
59	1486434.58	1561340.19	FLOW LINE
60	1486413.65	1561351.13	FLOW LINE
61	1486392.95	1561339.75	FLOW LINE
62	1486396.58	1561335.33	FLOW LINE
63	1486406.57	1561337.39	FLOW LINE
64	1486419.53	1561337.74	FLOW LINE
65	1486419.90	1561323.75	FLOW LINE
66	1486406.95	1561323.40	FLOW LINE
67	1486392.38	1561308.11	FLOW LINE
68	1486392.80	1561284.01	FLOW LINE
69	1486392.94	1561277.51	FLOW LINE
70	1486393.05	1561271.52	FLOW LINE
71	1486393.19	1561265.02	FLOW LINE
72	1486393.38	1561255.63	FLOW LINE



DIMENSIONAL SITE PLAN
SCALE: 1" = 20'

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- PROPOSED 4000 PSI CONCRETE PAVEMENT
- PROPOSED LANDSCAPE AREA
- PROPOSED ASPHALT PAVEMENT
- A.D.A. ROUTE - NOT TO EXCEED A RUNNING SLOPE GREATER THAN 5% OR CROSS SLOPE GREATER THAN 2%.
- A.D.A. AREAS - NOT TO EXCEED A SLOPE GREATER THAN 2% IN ANY DIRECTION.
- ADA LANDING (5' x 5' MIN.)
- FLOW LINE LOCATION POINTS (AT PC AND ADA AREAS)

- ### GENERAL NOTES:
- ALL DIMENSIONS ARE TO FLOWLINE OR EDGE OF CONCRETE.
 - PERPENDICULAR PARKING STALLS ARE 9'x18'. 14 SPACES ARE PROVIDED.
 - DIAGONAL PARKING STALLS ARE 21' IN DEPTH AND 9' WIDE AT A 60° ANGLE. 17 SPACES ARE PROVIDED.
 - MOTORCYCLE PARKING STALLS ARE 21' IN DEPTH AND 4.5' WIDE AT A 60° ANGLE. 2 SPACES ARE PROVIDED.
 - 1 REGULAR ADA PARKING SPACE AND 1 VAN ADA SPACE IS PROVIDED.
 - BICYCLE PARKING SPACES ARE 4'x6'. 3 SPACES ARE PROVIDED.
 - ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.
 - ALL REQUIRED SITE FACILITIES AND AMENITIES SHALL BE ACCESSIBLE TO PEOPLE WITH DISABILITIES.

Rev #	Date	Description
0	2/15/24	SITE PLAN SUBMITTAL
1	3/8/24	CIVIL CHECK SET
2	3/25/24	CITY OF ALBUQUERQUE INITIAL SUBMITTAL
3	9/13/24	CITY OF ALBUQUERQUE 2ND SUBMITTAL
	11/6/24	CITY OF ALBUQUERQUE 3RD SUBMITTAL

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ALBUQUERQUE, NEW MEXICO

POPEYES COMMERCIAL SITE - 840 JUAN TABO BLVD. NE
ALBUQUERQUE, NEW MEXICO

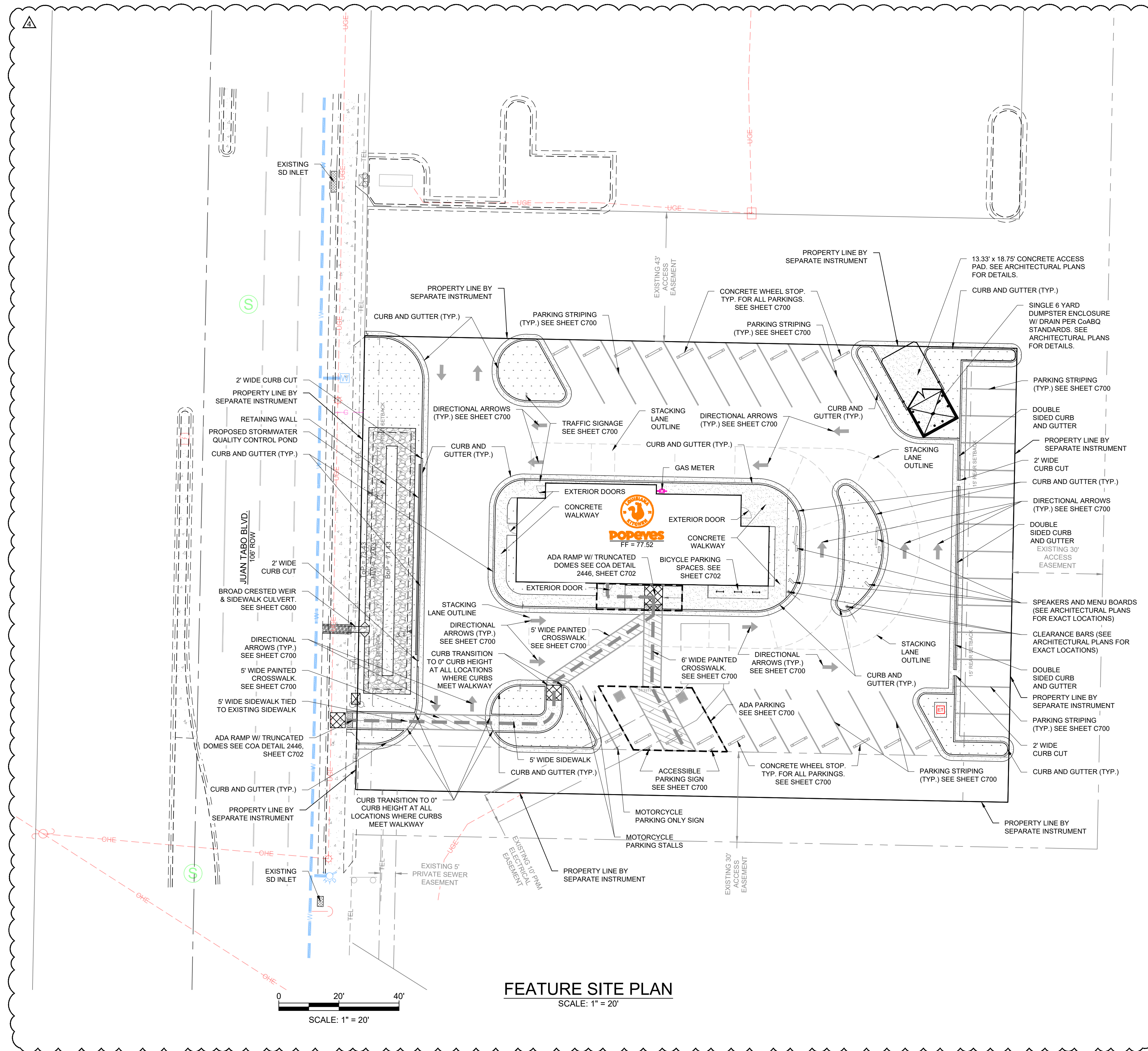
DIMENSIONAL SITE PLAN

MECHEL D. JOHNSON
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER

NOTE: THESE DRAWINGS ARE TO BE USED TO ACQUIRE PERMITS FROM JURISDICTIONAL GOVERNMENTAL AGENCIES AND ARE NOT TO BE RELIED UPON FOR PROJECT BIDDING PURPOSES OR FOR CONSTRUCTION UNTIL APPLICABLE CONSTRUCTION PERMITS ARE ISSUED.



Designed	Drawn	Checked
MJ	DIF	MJ
Date:	November 2024	
Scale:	Horiz: AS SHOWN	
Project No:	9432731	
Sheet:	C201	



FEATURE SITE PLAN
SCALE: 1" = 20'

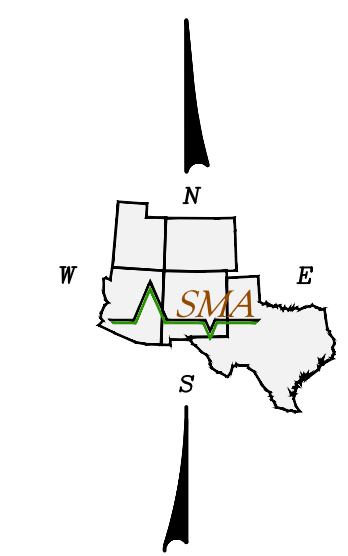
LEGEND	
	PROPERTY LINE
	EASEMENT LINE
	PROPOSED 4000 PSI CONCRETE PAVEMENT
	PROPOSED LANDSCAPE AREA
	PROPOSED ASPHALT PAVEMENT
	A.D.A. ROUTE - NOT TO EXCEED A RUNNING SLOPE GREATER THAN 5% OR CROSS SLOPE GREATER THAN 2%.
	A.D.A. AREAS - NOT TO EXCEED A SLOPE GREATER THAN 2% IN ANY DIRECTION.
	ADA LANDING (5' x 5' MIN.)
	FLOW LINE LOCATION POINTS (AT PC AND ADA AREAS)

- GENERAL NOTES:**
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ALBUQUERQUE, NEW MEXICO
POPEYES COMMERCIAL SITE - 840 JUAN TABO BLVD. NE
 ALBUQUERQUE, NEW MEXICO
FEATURE SITE PLAN



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MECHEL D. JOHNSON
 NEW MEXICO
 REGISTERED PROFESSIONAL ENGINEER
 11/6/24

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED		
Designed	Drawn	Checked
MJ	DIF	MJ
Date:	November 2024	
Scale:	Horiz: AS SHOWN	
Vert:		
Project No:	9432731	
Sheet:	C202	



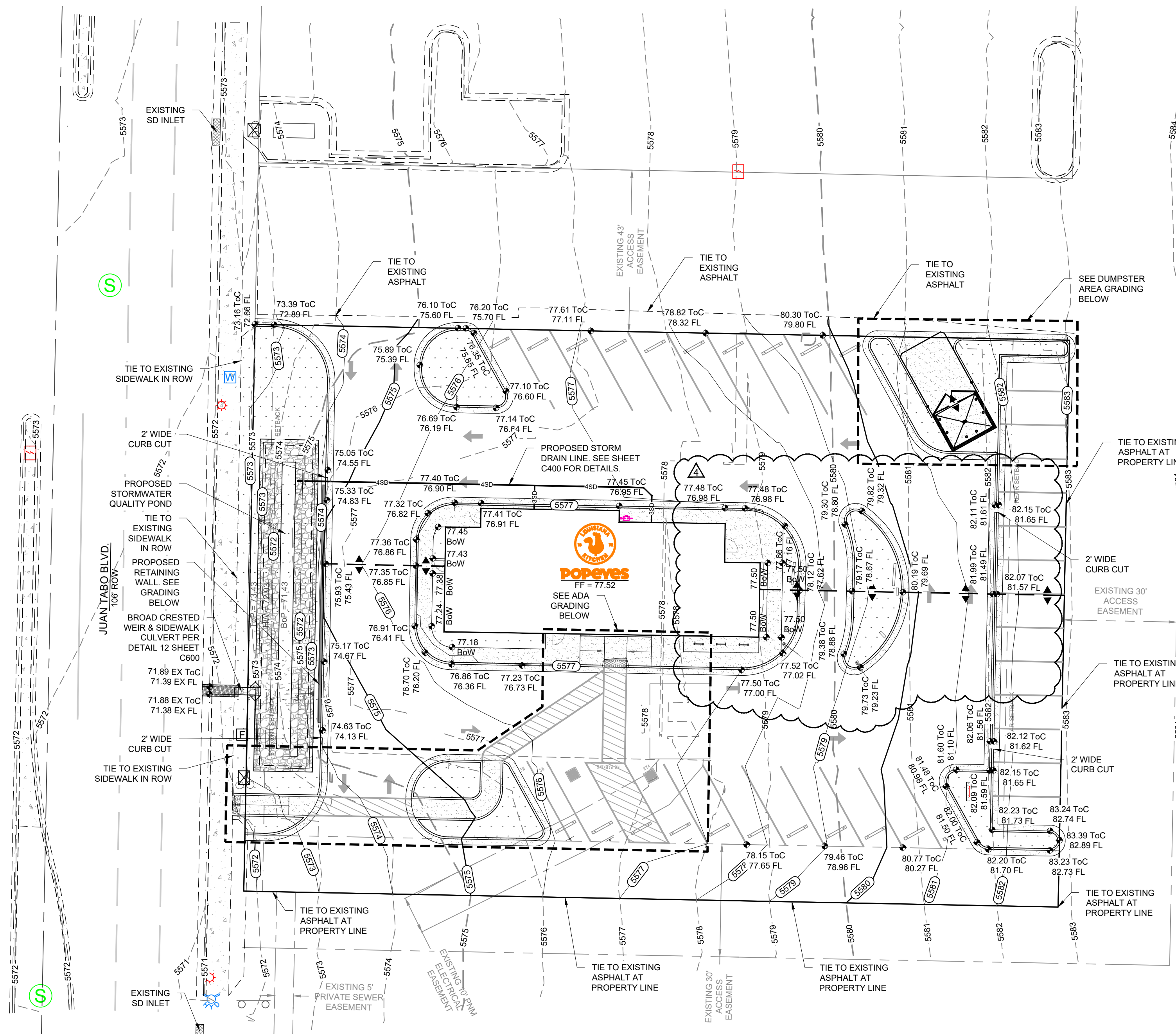
To Request a Line Locate Dial 811
 New Mexico state law requires everyone involved in any excavation to provide at least two working days' notice to owners of underground facilities when a dig is planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them.

GRADING LEGEND

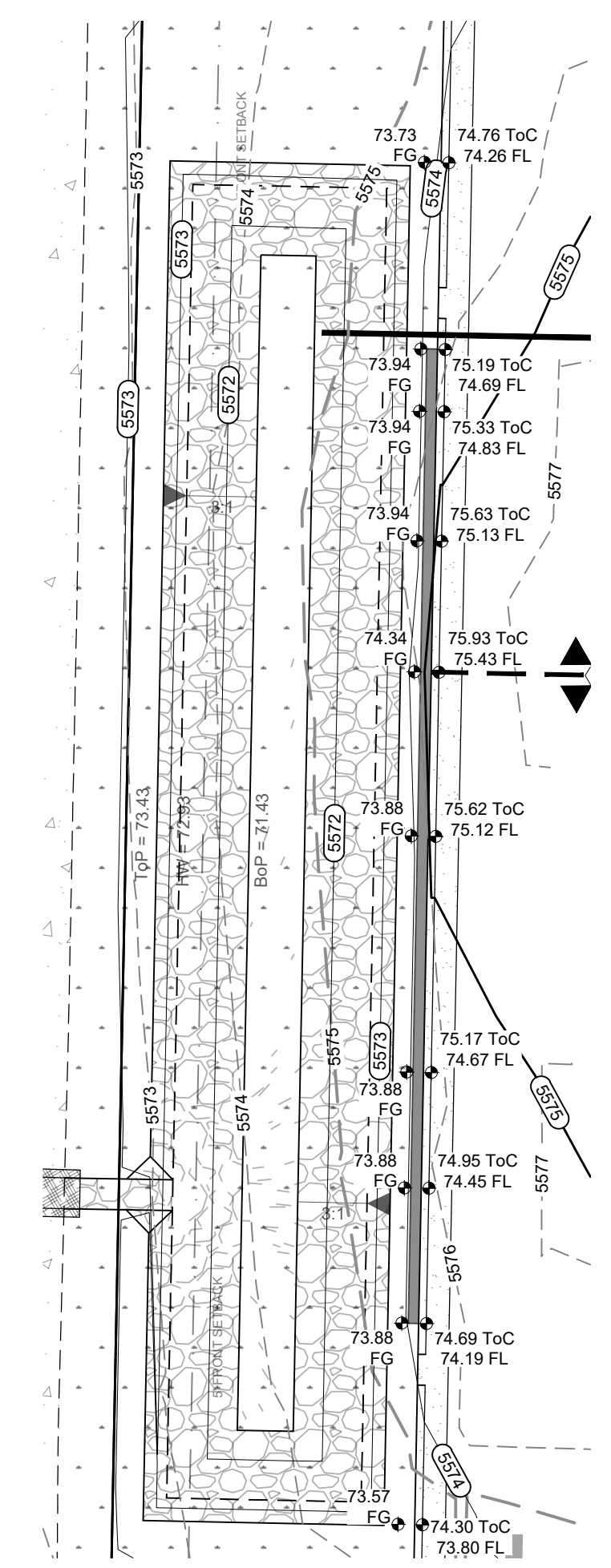
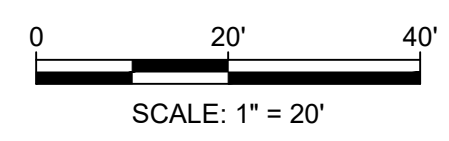
- ◆ EX BoW = EXISTING BACK OF SIDEWALK ELEVATION
- ◆ EX ToC = EXISTING TOP OF CURB ELEVATION
- ◆ EX FL = EXISTING FLOW LINE ELEVATION
- ◆ EX ToA = EXISTING TOP OF ASPHALT ELEVATION
- ◆ EG = EXISTING GRADE ELEVATION
- ◆ EX EoP = EXISTING EDGE OF PAVEMENT ELEVATION
- ◆ ToC = TOP OF CURB ELEVATION
- ◆ FL = FLOW LINE ELEVATION
- ◆ ToA = TOP OF ASPHALT ELEVATION
- ◆ BoW = BACK OF SIDEWALK ELEVATION
- ◆ FG = FINISH GRADE ELEVATION
- ◆ ToS = TOP OF SURFACE ELEVATION
- ◆ ToP = TOP OF POND ELEVATION
- ◆ BoP = BOTTOM OF POND ELEVATION
- ◆ HW = HIGH WATER ELEVATION
- ◆ 5580 = EXISTING MAJOR CONTOUR
- ◆ 5583 = EXISTING MINOR CONTOUR
- ◆ 5575 = PROPOSED MAJOR CONTOUR
- ◆ 5572 = PROPOSED MINOR CONTOUR
- ◆ = LOW POINT (GRADE BREAK)
- ◆ = HIGH POINT (GRADE BREAK)

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR (SPECIAL ORDER 19 ~ "SO-19")

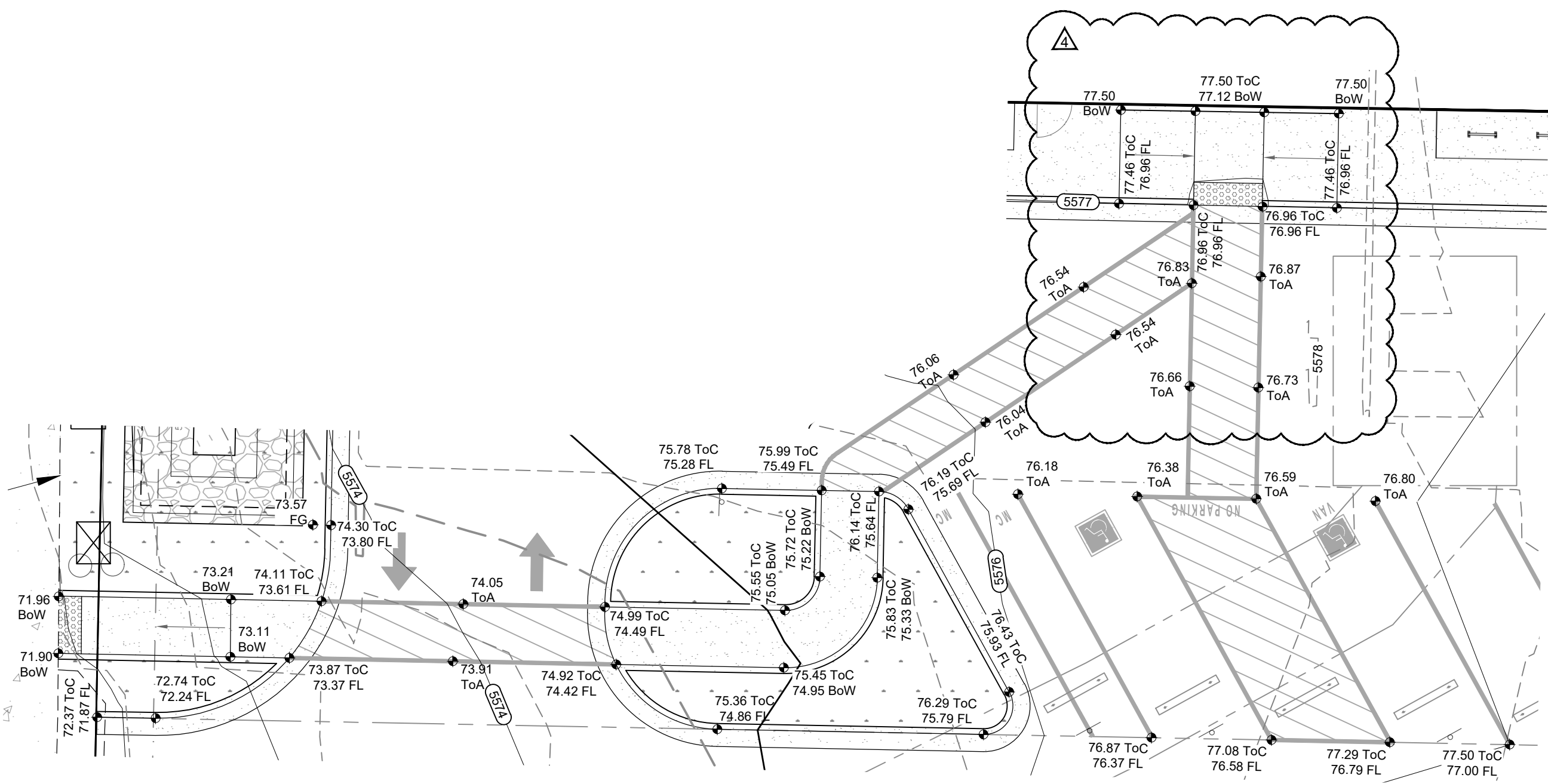
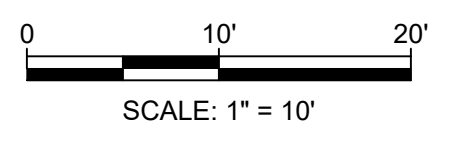
1. BUILD SIDEWALK CULVERT PER COA STD DWG 2236.
2. CONTACT STORM MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
3. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
4. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
5. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" (OR (505) 260-1990 FOR THE LOCATION OF EXISTING UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
6. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
7. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
8. WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
9. CONTRACTOR MUST CONTACT STORM MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING AND BARRICADING INSPECTIONS, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.



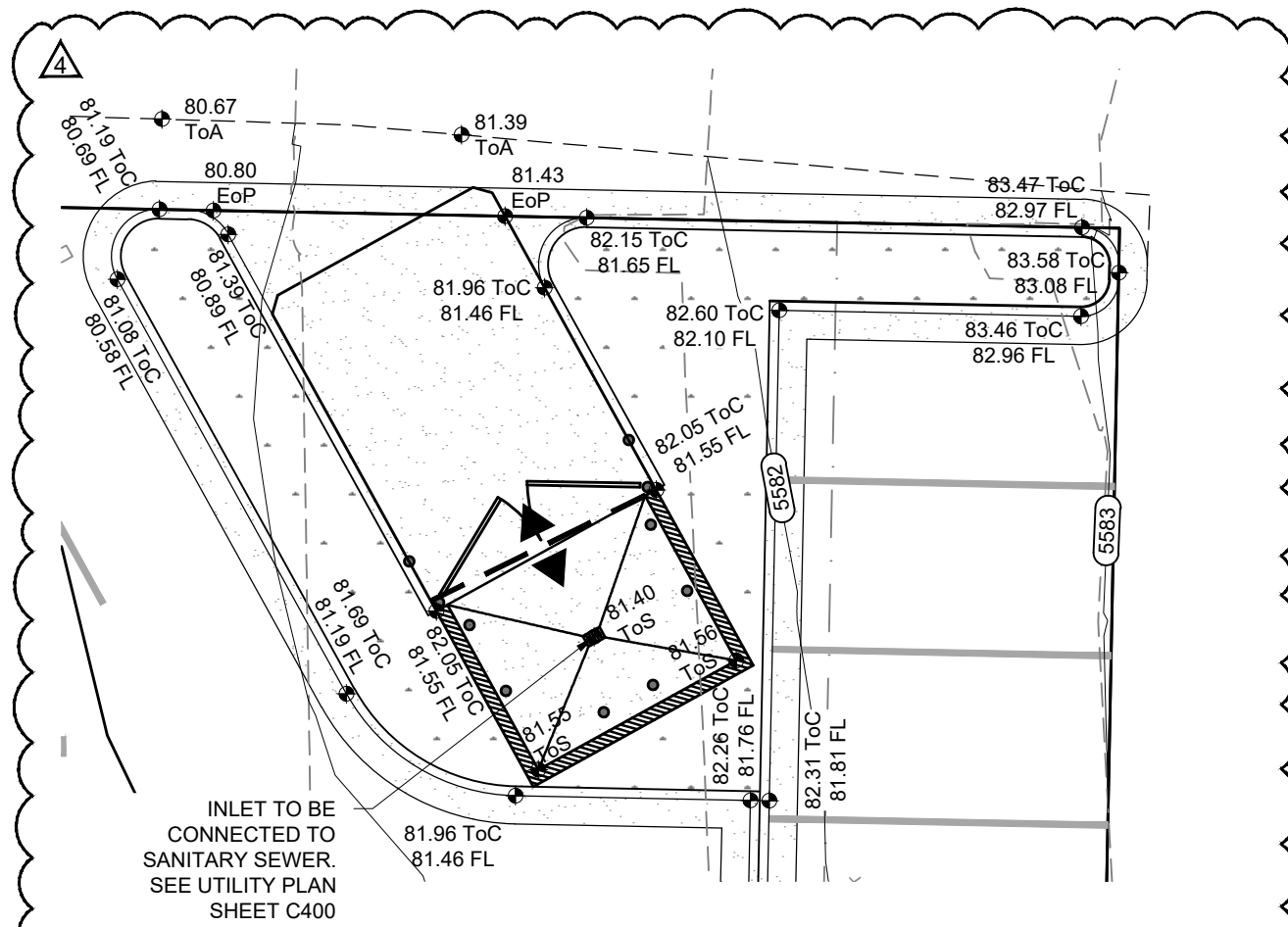
GRADING PLAN
SCALE: 1" = 20'



RETAINING WALL GRADING PLAN
SCALE: 1" = 10'



ADA GRADING PLAN
SCALE: 1" = 10'



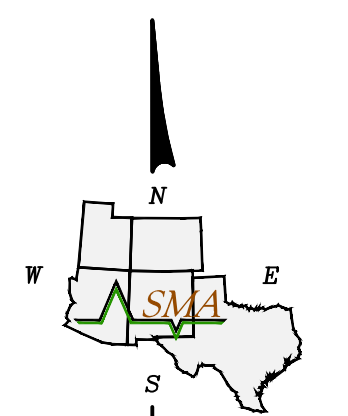
DUMPSTER GRADING PLAN
SCALE: 1" = 10'

**City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED**

DATE: 11/26/2024
BY: [Signature]
HydroTrans #: K22D035A

THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE CONSIDERED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUIRING CORRECTIONS, OR ERROR OR OMISSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTIONS, SUCH APPROVED PLANS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.

APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.



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ALBUQUERQUE, NEW MEXICO
POPEYES COMMERCIAL SITE - 840 JUAN TABO BLVD. NE
ALBUQUERQUE, NEW MEXICO
GRADING PLAN

POPEYES LOUISIANA KITCHEN
MICHEL D. JOHNSON
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER

11/8/24
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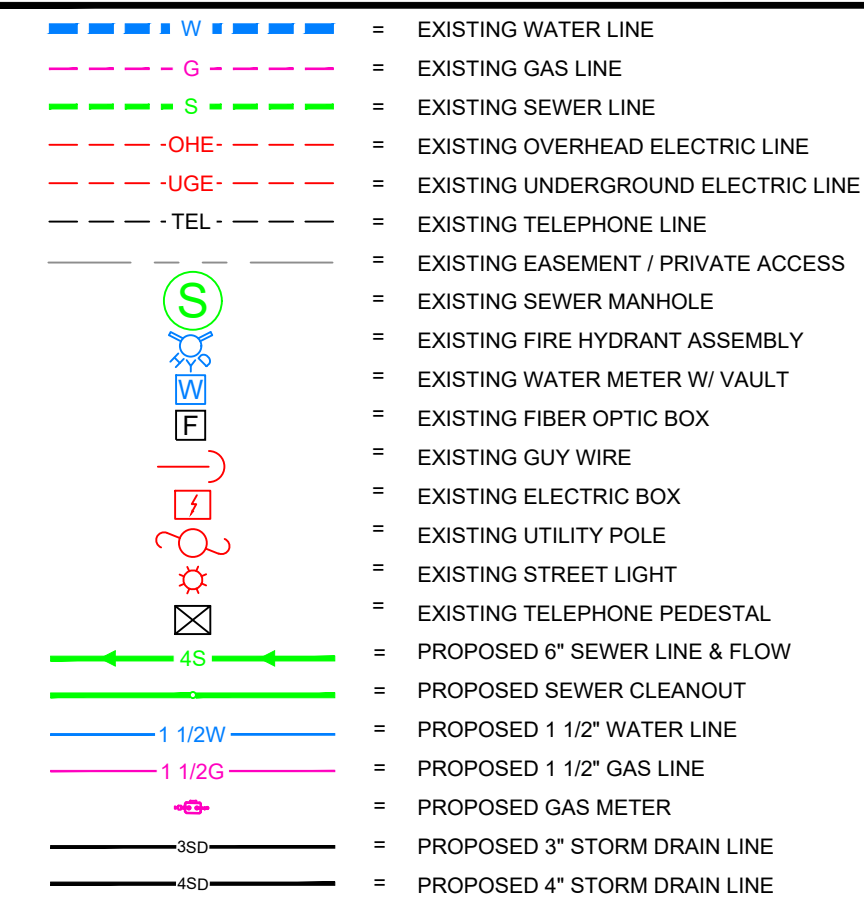
Designed	Drawn	Checked
MJ	DIF	MJ

Date: November 2024
Scale: Horiz: AS SHOWN
Vert: AS SHOWN
Project No: 9432731
Sheet: C300

COMMERCIAL UTILITY NOTES

- THE DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING, RESEARCHING AND CALLING FOR DESIGN LOCATES FOR THE LOCATION OF THE EXISTING MAINS, SERVICE LINE STUBOUTS, AND OTHER FACILITIES AND SHOWING THEM APPROPRIATELY ON THE UTILITY SHEET.
- THE ENGINEER AND THE OWNER ARE NOT RESPONSIBLE FOR JOB SITE SAFETY OR COMPLIANCE TO OSHA REGULATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR JOB SAFETY OR COMPLIANCE TO OSHA REGULATIONS.
- SHOULD CONFLICTING INFORMATION OR INTERFERENCE PROBLEMS APPEAR IN THE CONSTRUCTION DRAWINGS THE CONTRACTOR SHALL BRING THAT INFORMATION TO THE ATTENTION OF THE ENGINEER IMMEDIATELY PRIOR TO INSTALLATION. FAILURE TO DO SO SHALL NOT BE A BASIS OF EXTRA PAYMENT TO THE CONTRACTOR.
- THE ENGINEER AND THE CONTRACTOR SHALL CALL NEW MEXICO ONE CALL (811) FOR UNDERGROUND FACILITIES TO BE MARKED ON THE SURFACE FOR THE USE FOR DESIGN AND CONSTRUCTION PURPOSES.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP DONE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF ALBUQUERQUE UTILITY STANDARDS.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES BEFORE COMMENCING WORK AND SHALL BE RESPONSIBLE FOR COMPLYING WITH NEW MEXICO ONE-CALL PROCEDURES. ANY DAMAGE TO EXISTING UTILITIES MUST BE IMMEDIATELY REPORTED TO THE APPROPRIATE UTILITY COMPANY.
- ROADWAY, RIGHT-OF-WAY AND SUB GRADE TO BE ESTABLISHED WITHIN 6 INCHES (BOTH HORIZONTAL AND VERTICAL) OF FINAL LOCATION PRIOR TO INSTALLATION OF ANY UTILITIES. GAS AND WATER UTILITIES TO BE PLACED WITHIN 6 INCHES OF FINAL REQUIRED DEPTH. LOCATIONS OF ANY UTILITIES WHICH FAIL TO ADHERE TO THIS SPECIFICATION.
- CURB CONTRACTOR TO STAMP FRESH CONCRETE SIDEWALK WITH G, S, AND W, DIRECTLY ABOVE GAS, SEWER, AND WATER STUB OUT LOCATIONS. A UTILITY INSPECTOR SHALL BE PRESENT WHEN MARKING. FAILURE TO APPLY STAMPS SHALL BE CAUSE FOR REJECTION OF THE IMPROVEMENT BY THE CITY.
- THE CONTRACTOR WILL BE REQUIRED TO SUBMIT ACCURATE DETAILED AND COMPLETE "AS-BUILT" DRAWINGS OF ALL UTILITY IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY AND UTILITY EASEMENTS TO THE DEVELOPER PRIOR TO FINAL CONSTRUCTION REVIEW. IT WILL BE THE DEVELOPER'S RESPONSIBILITY TO SUBMIT THE "AS-BUILT" DRAWINGS, AS COMPLETED BY THE CONTRACTOR AND TURNED IN TO THE CITY OF ALBUQUERQUE PROJECT MANAGER, FOR APPROVAL AND ACCEPTANCE. UPON APPROVAL AND ACCEPTANCE BY THE CITY OF ALBUQUERQUE PUBLIC WORKS, THE SUBMITTED "AS-BUILT" BECOME THE PROJECTS "RECORD DRAWINGS".
- THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS OF THE IMPROVEMENTS TO THE GAS SYSTEM BEFORE THOSE IMPROVEMENTS ARE TIED INTO THE EXISTING GAS SYSTEM. THE DRAWINGS SHALL BE SUBMITTED TO THE INSPECTOR FOR REVIEW AND COMMENTS 24 HOURS PRIOR TO THE PROPOSED TIE-IN. THESE DRAWINGS MAY BE MARKED UP CONSTRUCTION DRAWINGS OR AN ACCURATE SKETCH.
- THE INSTALLATION OF MAINS/SERVICE LINES IN CITY OF ALBUQUERQUE AND NMDOT RIGHT-OF-WAY REQUIRE A PERMIT FROM THAT GOVERNMENT ENTITY AND MUST BE INITIATED BY THE PERSON REQUESTING THE SERVICE. THE OWNER IS RESPONSIBLE FOR ANY FEES WITH THE PERMIT PROCESS.
- TREES SHALL HAVE A 10' MINIMUM CLEARANCE FROM ALL CITY OF ALBUQUERQUE UTILITIES SERVICES.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY WORK INCLUDING TRAFFIC CONTROL, PAVEMENT CUTS, EXCAVATION, INSTALLATION AND RESTORATION. THE CONTRACTOR WILL PERFORM ALL THESE TASKS ON THEIR OWN BEHALF UNLESS IT IS SPECIFICALLY STATED ON THE UTILITY PLAN.
- CHANGES REQUIRE A WRITTEN REQUEST FROM THE ENGINEER OR AN AMENDMENT TO THE UTILITY PLAN.
- FINAL ALIGNMENT AND CONNECTION LOCATION OF 3" CONDUIT FOR DATA SERVICE ARE TO BE COORDINATED BY SAGENET WITH THE SERVICE PROVIDER.

UTILITY LEGEND



NOTE:

- SEE MEP PLAN FOR CONTINUATION OF UTILITIES. MINIMUM BURY DEPTH FOR DRY UTILITIES IS 4' BELOW FINISHED GRADE. VERIFY DEPTH REQUIREMENTS WITH UTILITY PROVIDER.
- CONNECTIONS SHALL BE VERIFIED WITH THE MEP PLANS.
- ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY (ABCWUA) SHALL BE NOTIFIED PRIOR TO ANY NEW WATER CONNECTION AND SERVICE INSTALLATION TO THE MAIN LINE OR ANY EXISTING STUBOUT. ANY CONNECTION AFTER THE WATER METER IS THE CONTRACTORS RESPONSIBILITY.
- EXISTING SEWER INVERTS WERE APPROXIMATED. ALL INVERTS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ALL SEWER LINES MUST HAVE A MIN. SLOPE OF 2.0%. NOTIFY PROJECT ENGINEER IF INVERTS OR PIPE SLOPES MUST CHANGE.

CONTRACTS ADMINISTRATION GENERAL NOTES

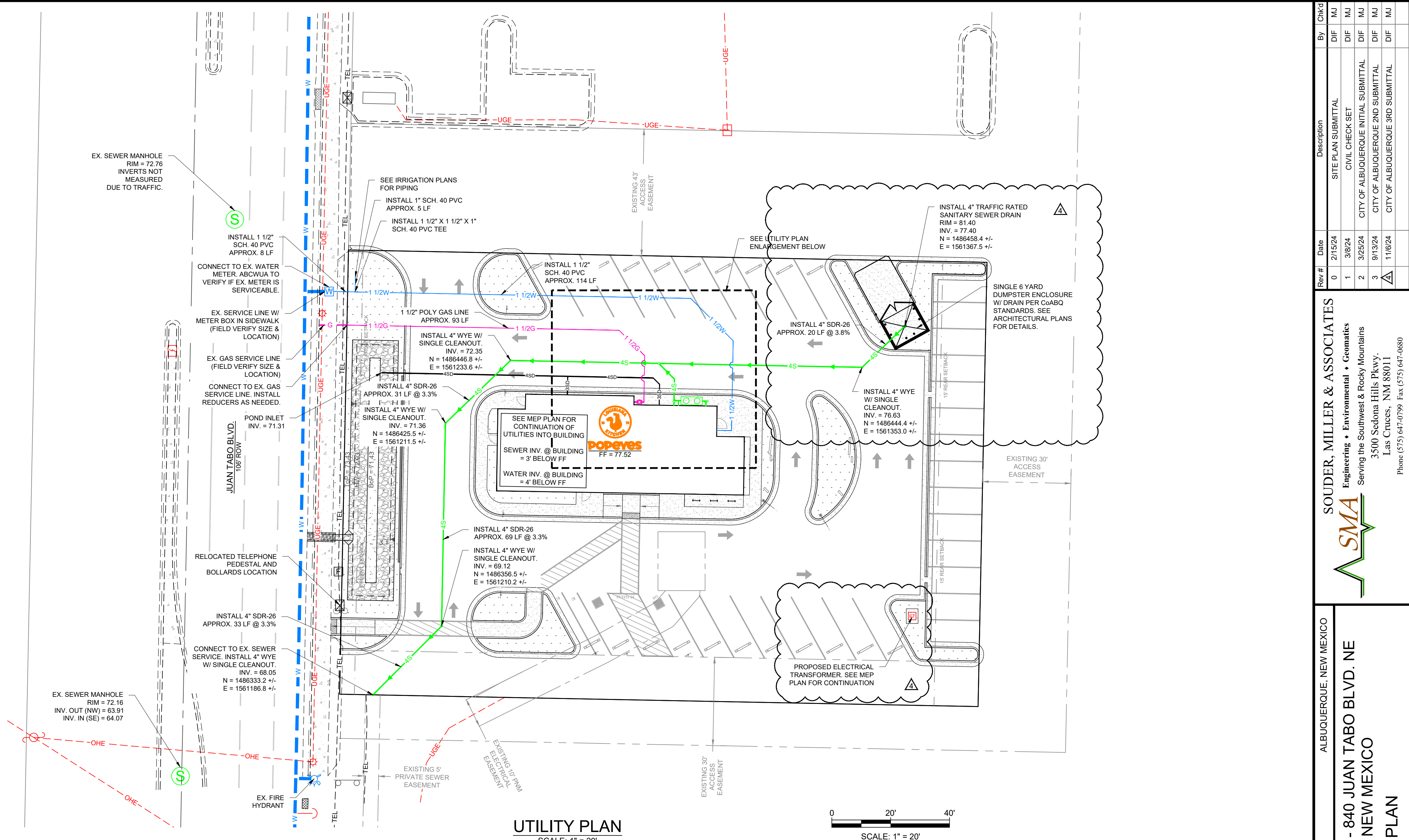
- ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY (ABCWUA) CONTACT NUMBER: (505) 842-9287.
- ABCWUA SHALL BE NOTIFIED 72 HOURS PRIOR TO COMMENCING ANY WORK IN THE PUBLIC RIGHT OF WAY. ALL INSTALLATIONS REQUIRE VISUAL INSPECTION AS WELL AS MATERIALS TESTING.
- TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO ABCWUA TRAFFIC ENGINEER 72 HRS. PRIOR TO ANY SCHEDULED ROAD OR LANE CLOSURES. TRAFFIC CONTROL MUST MEET CURRENT EDITION OF MUTCD.
- CONTRACTOR SHALL CONTACT ABCWUA BEFORE ANY TRAFFIC CONTROL IS IN PLACE OR BEFORE ANY CONSTRUCTION (INCLUDING DEMOLITION) HAS BEGUN.
- ABCWUA ROADWAY INSPECTOR SHALL BE PRESENT AT THE TIME OF POTHOLING.
- ROADWAY SECTION SHALL MEET CURRENT CITY STANDARDS FOR DEPTH OR MATCH EXISTING DEPTH, WHICHEVER IS THICKER. ANY PAVEMENT OR CONCRETE DISRUPTION CAUSED BY THE CONSTRUCTION/DEVELOPMENT SHALL BE REMOVED AND REPLACED PER CITY STANDARDS.
- BLUE STAKE LOCATES SHALL BE FIELD VERIFIED BY THE CONTRACTOR THROUGH POTHOLING AND COORDINATION WITH UTILITY OWNER.
- RECORD DRAWINGS OR WORK COMPLETED SHALL BE SUBMITTED TO ABCWUA PRIOR TO FINAL ACCEPTANCE OF THE INSTALLATIONS.

UTILITY DESIGN FLOWS

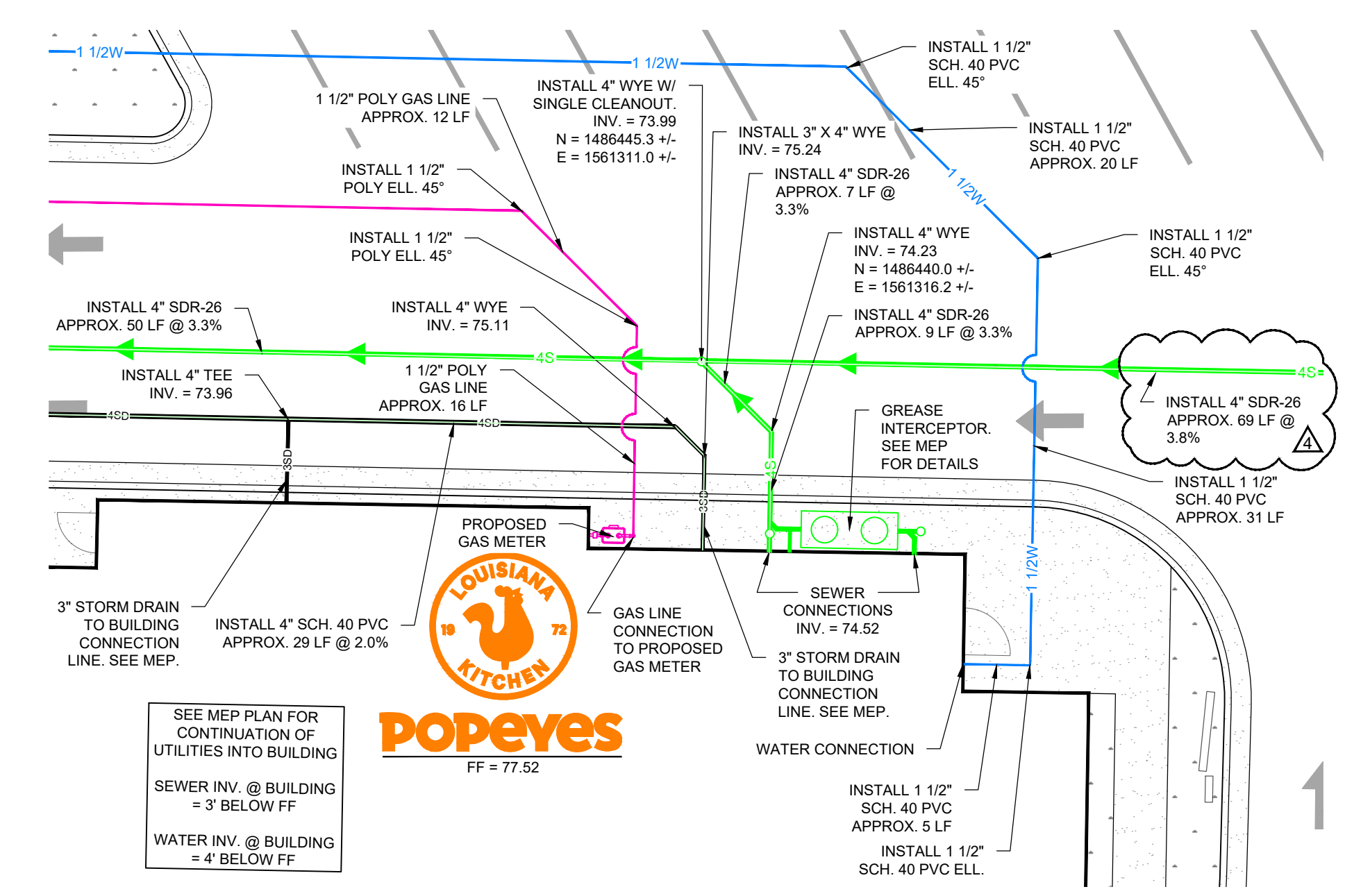
NOTE: DESIGN FLOWS PROVIDED BY OTHERS. REFER TO MEP PLAN FOR UTILITY DESIGN FLOWS.

UTILITY OWNERS

WATER	= ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY (505) 842-9287.
WASTEWATER	= ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY (505) 842-9287.
ELECTRIC	= PNM - (888) 342-5766.
GAS	= NEW MEXICO GAS COMPANY (888) 664-2726.



UTILITY PLAN
SCALE: 1" = 20'



UTILITY PLAN ENLARGEMENT
SCALE: 1" = 10'

Professional Resources for Damage Prevention

To Request a Line Locate Dial 811

New Mexico state law requires everyone involved in any excavation to provide at least two working days' notice to owners of underground facilities when a dig is planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them.

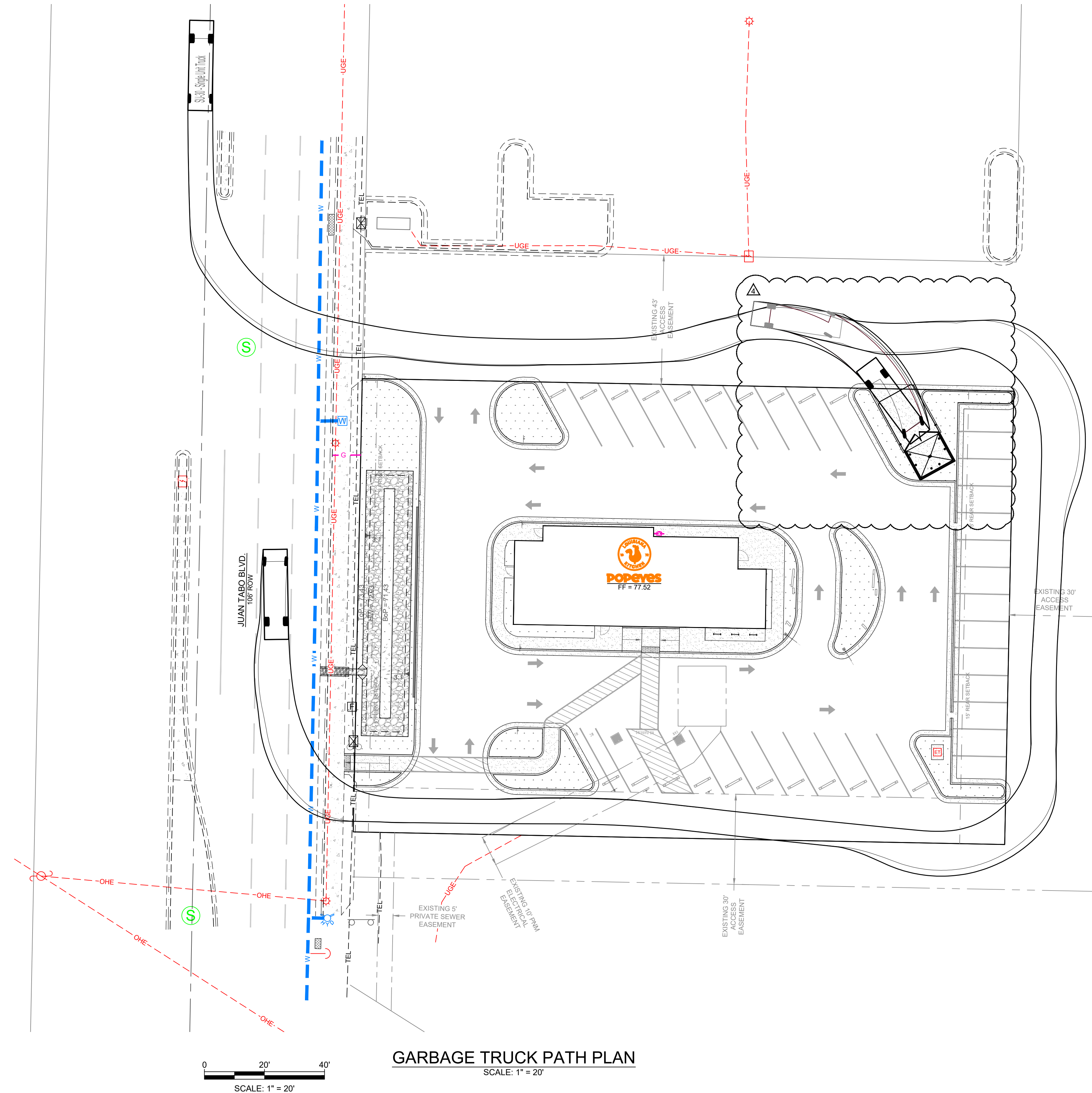
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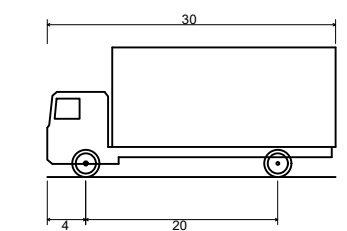
ALBUQUERQUE, NEW MEXICO
POPEYES COMMERCIAL SITE - 840 JUAN TABO BLVD. NE
ALBUQUERQUE, NEW MEXICO
UTILITY PLAN

MECHEL D. JOHNSON
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER

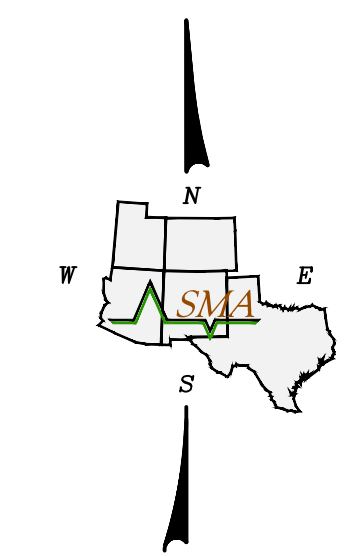
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Date:	November 2024				
Scale:	Horiz: AS SHOWN Vert: AS SHOWN				
Project No:	9432731				
Sheet:	C400				



GARBAGE TRUCK PATH PLAN
SCALE: 1" = 20'



SU-30 - Single Unit Truck
 Overall Length 30.000ft
 Overall Width 8.000ft
 Overall Body Height 13.500ft
 Min Body Ground Clearance 1.357ft
 Track Width 8.000ft
 Lock-to-lock time 5.00s
 Max Steering Angle (Virtual) 31.80°
SINGLE UNIT TRUCK (SU-30)
 SCALE: N.T.S.



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ALBUQUERQUE, NEW MEXICO
POPEYES COMMERCIAL SITE - 840 JUAN TABO BLVD. NE
 ALBUQUERQUE, NEW MEXICO
GARBAGE TRUCK PATH PLAN

MECHEL D. JOHNSON
 NEW MEXICO
 REGISTERED PROFESSIONAL ENGINEER
 11/6/24

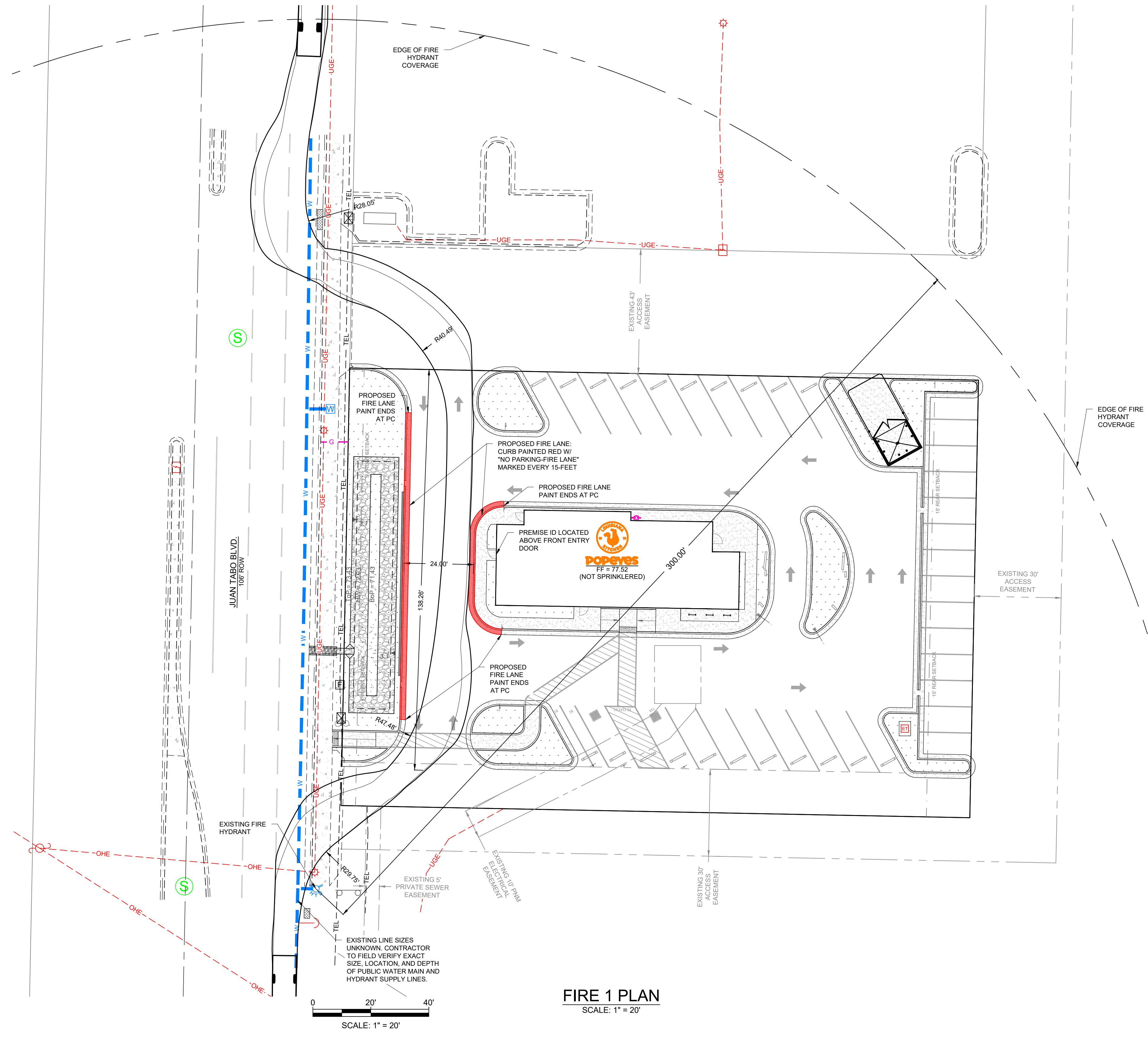
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 Vert:
 Project No: 9432731
 Sheet: **C401**



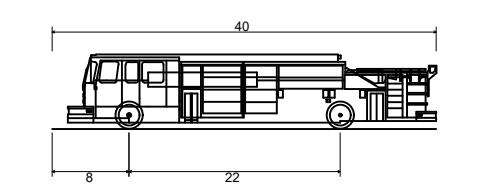
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FIRE 1 PLAN
SCALE: 1" = 20'

FIRE FLOW REQUIREMENTS

CoABQ FIRE DISTRICT:	D12
CONSTRUCTION TYPE:	V-B
SQUARE FOOTAGE:	2,550 SF
FIRE FLOW:	2,000 GPM
NUMBER OF HYDRANTS:	1
HYDRANT SPACING:	N/A
FIRE LANE MAX. GRADE:	8%



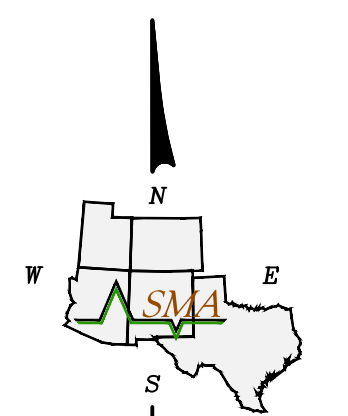
PUMPER FIRE TRUCK
SCALE: N.T.S.

ENGINEERING DATA NOTE:
REFER TO "GEOTECHNICAL ENGINEERING SERVICES REPORT NO. 1-40101 - POPEYES LOUISIANA KITCHEN - 840 JUAN TABO BLVD. - ALBUQUERQUE, NEW MEXICO" PREPARED BY "GEOTEST, INC." DATED FEBRUARY 6, 2024 FOR PAVEMENT SECTION DESIGN LOADS.

Rev #	Date	Description
0	2/15/24	SITE PLAN SUBMITTAL
1	3/8/24	CIVIL CHECK SET
2	3/25/24	CITY OF ALBUQUERQUE INITIAL SUBMITTAL
3	9/15/24	CITY OF ALBUQUERQUE 2ND SUBMITTAL
4	11/6/24	CITY OF ALBUQUERQUE 3RD SUBMITTAL

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ALBUQUERQUE, NEW MEXICO
POPEYES COMMERCIAL SITE - 840 JUAN TABO BLVD. NE
ALBUQUERQUE, NEW MEXICO
FIRE 1 PLAN



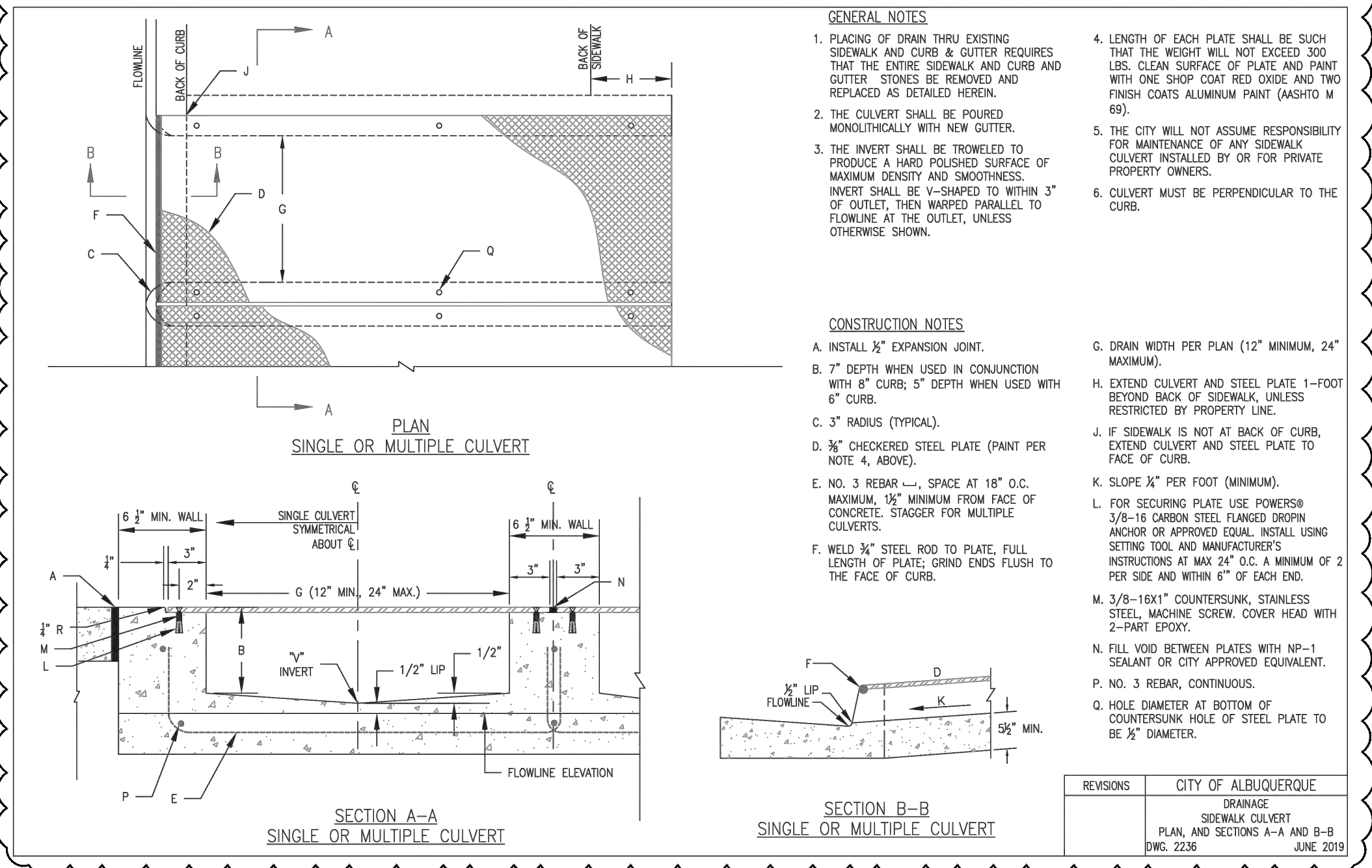
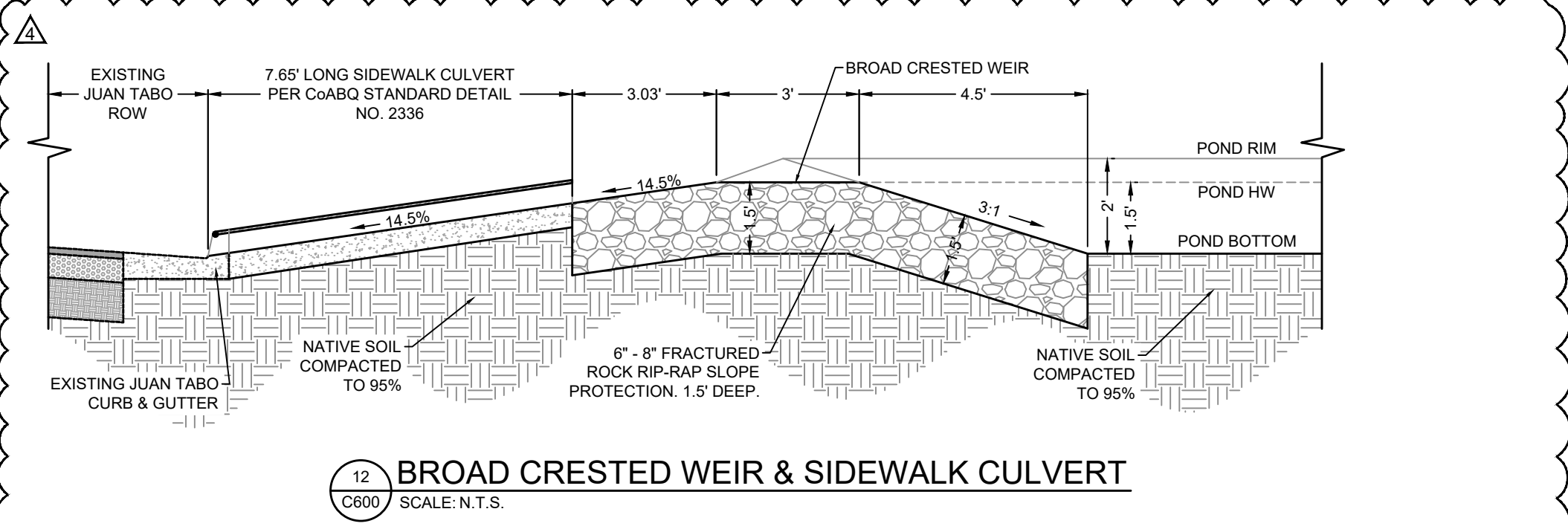
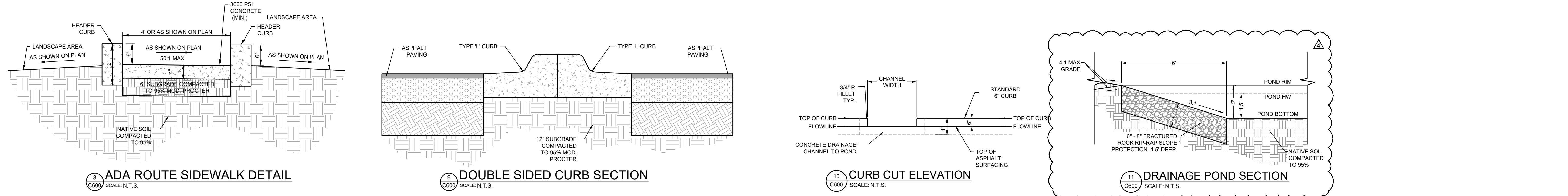
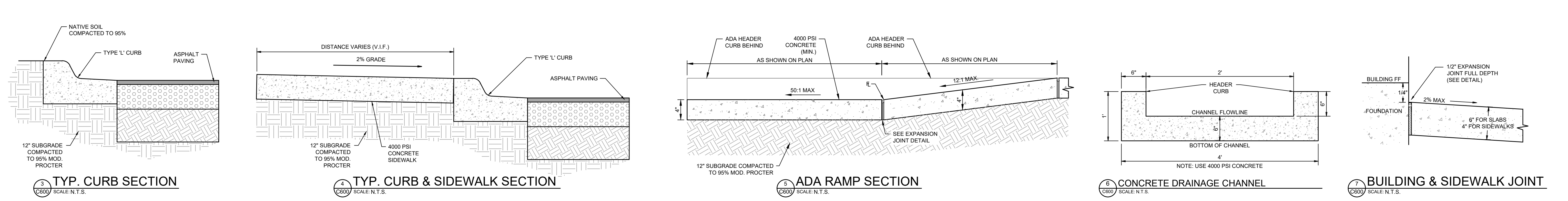
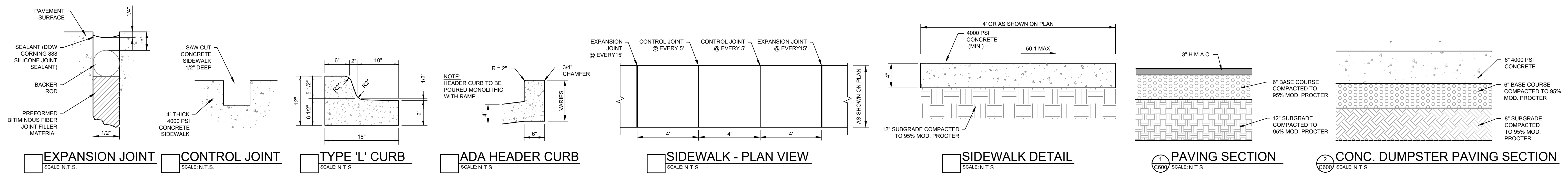
NOTE: THESE DRAWINGS ARE TO BE USED TO ACQUIRE PERMITS FROM JURISDICTIONAL GOVERNMENTAL AGENCIES AND ARE NOT TO BE RELIED UPON FOR PROJECT BIDDING PURPOSES OR FOR CONSTRUCTION UNTIL APPLICABLE CONSTRUCTION PERMITS ARE ISSUED.

11/6/24
MICHAEL D. JOHNSON
REGISTERED PROFESSIONAL ENGINEER

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED		
Designed	Drawn	Checked
MJ	DIF	MJ
Date:	November 2024	
Scale:	Horiz: AS SHOWN	
Vert:		
Project No:	9432731	
Sheet:	FIRE1	



To Request a Line Locate Dial 811
New Mexico state law requires everyone involved in any excavation to provide at least two working days' notice to owners of underground facilities when a dig is planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them.



- RETAINING WALL GENERAL NOTES**
- PERMITTEE SHALL BE RESPONSIBLE FOR LOCATION OF PROPERTY LINES AND SHALL BE RESPONSIBLE FOR PLACEMENT OF FOOTINGS AND WALLS WITHIN THE PROPERTY BOUNDARIES.
 - SUBGRADE AND BACKFILL MATERIALS FOR RETAINING WALLS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR AS DETERMINED BY ASTM STANDARD D1557. ONLY HAND OPERATED COMPACTION EQUIPMENT ALLOWED WITHIN 5' OF RETAINING WALLS.
 - BACKFILL MATERIAL TO BE PLACED ADJACENT TO THE RETAINING WALLS SHALL BE A GRANULAR SOIL. EXPANSIVE TYPE SOILS ARE PROHIBITED AS BACKFILL MATERIALS.
 - ALL CONCRETE SHALL BE PLACED IN A SINGLE CONTINUOUS OPERATION SO AS TO PRODUCE A MONOLITHIC FOUNDATION WHERE APPLICABLE.
 - ALL REINFORCING SHALL CONFORM TO ASTM A617, GRADE 40, AND ACI 318-89. CEMENT SHALL CONFORM TO ASTM C150, TYPE I, II, OR III.
 - CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI. CONCRETE AGGREGATE SHALL CONFORM TO ASTM C33. CONCRETE SHALL BE PROTECTED FROM LOSS OF MOISTURE FOR A MINIMUM OF 7 DAYS. GROUT AND MORTAR FOR UNIT MASONRY SHALL BE PROPORTIONED IN CONFORMANCE WITH THE UNIFORM BUILDING CODE. CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90 AND SHALL BE GRADE N, TYPE I.
 - PORTLAND CEMENT FOR MORTAR SHALL CONFORM TO ASTM STANDARD C150 AND SHALL BE TYPE I OR TYPE II.
 - PERMITTEE SHALL BE RESPONSIBLE FOR CALLING FOR INSPECTIONS OF THE RETAINING WALL DURING CONSTRUCTION AND THE INSPECTIONS SHALL BE AS FOLLOWS:
 - PRIOR TO PLACEMENT OF THE CONCRETE FOOTING, THE PERMITTEE SHALL CALL FOR AN INSPECTION OF THE FOOTING EXCAVATION AND REINFORCING STEEL PLACEMENT.
 - ANY RETAINING WALL REQUIRED TO RETAIN MORE THAN 4 FEET OF FILL, REQUIRED TO SUPPORT A SLOPING FILL, SURCHARGE LOADING, OR DEVIATING FROM THIS PLAN SHALL BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED TO PRACTICE AS SUCH IN THE STATE OF NEW MEXICO.
 - THE PROJECT ENGINEER RESERVES THE RIGHT TO CHANGE THE TYPE OR SIZE OF SPECIFIC RETAINING WALLS AS FIELD CONDITIONS DICTATE WITHIN 48 HOURS WRITTEN NOTICE TO THE PROPER PERMITTING AGENCY.

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11/6/24

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

Designed: MJ Draw: DIF Checked: MJ

Date: November 2024

Scale: Horiz: AS SHOWN Vert: AS SHOWN

Project No: 9432731

Sheet: C600

By: CHKD
 Description: SITE PLAN SUBMITTAL
 Date: 2/15/24
 Rev # 0
 Date: 2/15/24
 Rev # 1
 Date: 3/8/24
 Rev # 2
 Date: 3/25/24
 Rev # 3
 Date: 9/15/24
 Rev # 4
 Date: 11/6/24
 Rev # 5

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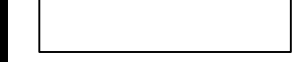

ALBUQUERQUE, NEW MEXICO
 POPEYES COMMERCIAL SITE - 840 JUAN TABO BLVD. NE
 ALBUQUERQUE, NEW MEXICO
 PROJECT DETAILS

POPEYES LOUISIANA KITCHEN

NEW MEXICO
 MICHEL D. JOHNSON
 REGISTERED PROFESSIONAL ENGINEER

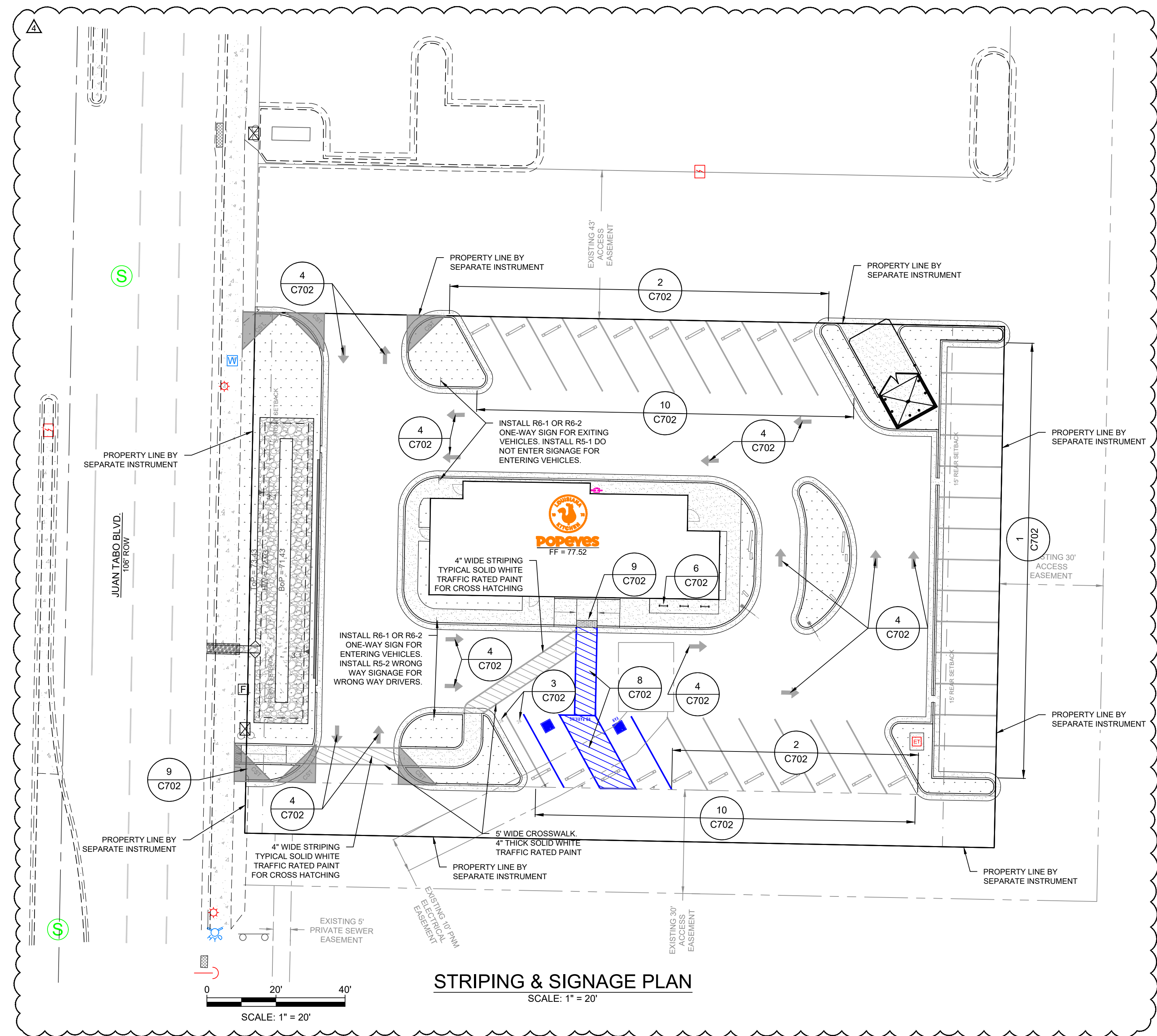
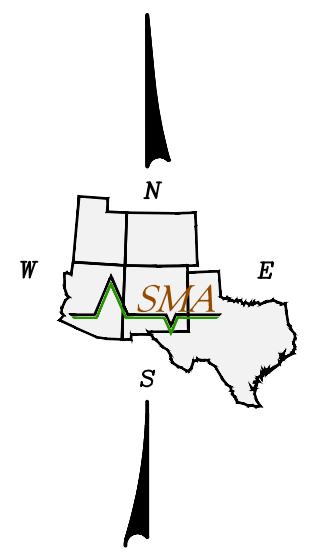
LOUISIANA KITCHEN
 Professional Resources for Damage Prevention

LEGEND

-  PROPERTY LINE
-  EASEMENT LINE
-  PROPOSED 4000 PSI CONCRETE PAVEMENT
-  PROPOSED LANDSCAPE AREA
-  PROPOSED ASPHALT PAVEMENT
-  CLEAR SIGHT TRIANGLE (CST)

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FLOWLINE OR EDGE OF CONCRETE.
2. PERPENDICULAR PARKING STALLS ARE 9'x18'. 14 SPACES ARE PROVIDED.
3. DIAGONAL PARKING STALLS ARE 21' IN DEPTH AND 9' WIDE AT A 60° ANGLE. 17 SPACES ARE PROVIDED.
4. MOTORCYCLE PARKING STALLS ARE 21' IN DEPTH AND 4.5' WIDE AT A 60° ANGLE. 2 SPACES ARE PROVIDED.
5. 1 REGULAR ADA PARKING SPACE AND 1 VAN ADA SPACE IS PROVIDED.
6. BICYCLE PARKING SPACES ARE 4'x6'. 3 SPACES ARE PROVIDED.
7. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.
8. ALL REQUIRED SITE FACILITIES AND AMENITIES SHALL BE ACCESSIBLE TO PEOPLE WITH DISABILITIES.
9. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLE (CST) REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
10. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW SIDEWALK, CURB, AND GUTTER.



STRIPING & SIGNAGE PLAN
SCALE: 1" = 20'

Rev #	Date	Description	By	CHKD
0	2/15/24	SITE PLAN SUBMITTAL	DIF	NJ
1	3/8/24	CIVIL CHECK SET	DIF	NJ
2	3/22/24	CITY OF ALBUQUERQUE INITIAL SUBMITTAL	DIF	NJ
3	9/15/24	CITY OF ALBUQUERQUE 2ND SUBMITTAL	DIF	NJ
4	11/6/24	CITY OF ALBUQUERQUE 3RD SUBMITTAL	DIF	NJ

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ALBUQUERQUE, NEW MEXICO
POPEYES COMMERCIAL SITE - 840 JUAN TABO BLVD. NE
 ALBUQUERQUE, NEW MEXICO
STRIPING & SIGNAGE PLAN



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Designed	Drawn	Checked
MJ	DIF	MJ
Date:	November 2024	
Scale:	Horiz: AS SHOWN	
Project No:	9432731	
Sheet:	C700	



To Request a Line Locate Dial 811
 New Mexico state law requires everyone involved in any excavation to provide at least two working days' notice to owners of underground facilities when a dig is planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them.

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- PROPOSED 4000 PSI CONCRETE PAVEMENT
- PROPOSED LANDSCAPE AREA
- PROPOSED ASPHALT PAVEMENT
- A.D.A. ROUTE - NOT TO EXCEED A RUNNING SLOPE GREATER THAN 5% OR CROSS SLOPE GREATER THAN 2%.
- A.D.A. AREAS - NOT TO EXCEED A SLOPE GREATER THAN 2% IN ANY DIRECTION.
- ADA LANDING (5' x 5' MIN.)
- FLOW LINE LOCATION POINTS (AT PC AND ADA AREAS)
- CLEAR SIGHT TRIANGLE (CST)

SITE DATA

PROPOSED LAND USE:	FAST FOOD RESTAURANT
LOT AREA:	32,745.99 SF
BUILDING AREA:	2,550.37 SF
ASPHALT AREA:	20,996.34 SF
CONCRETE AREA:	4,233.19 SF
LANDSCAPED AREA:	4,966.09 SF
PARKING REQUIRED:	14 SPACES
PARKING PROVIDED:	14 PERPENDICULAR PARKING SPACES 17 DIAGONAL PARKING SPACES
HC PARKING REQUIRED:	2 SPACES
HC PARKING PROVIDED:	1 REGULAR ADA PARKING SPACE, 1 VAN ACCESSIBLE PARKING SPACE
BICYCLE PARKING REQUIRED:	3
BICYCLE PARKING PROVIDED:	3
MOTORCYCLE PARKING REQUIRED:	1
MOTORCYCLE PARKING PROVIDED:	2

LEGAL DESCRIPTION (PER TITLE DOCS.):

TRACT LETTERED "C-1" IN BLOCK NUMBERED ONE HUNDRED TWENTY-FIVE (125) OF PRINCESS JEANNE PARK ADDITION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "A REPLAT OF TRACTS 'A' & 'B', BLOCK 125 OF PRINCESS JEANNE PARK ADDITION, NOW COMPRISING TRACTS 'A-1', 'B-1' & 'C-1' WITHIN SEC. 22, T. 10 N., R. 4 E., N.M.P.M., ALBUQUERQUE, NEW MEXICO," FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 25, 1985 IN PLAT BOOK C27, PAGE 182.

TOGETHER WITH NON-EXCLUSIVE RIGHTS OF EASEMENT FOR INGRESS AND EGRESS FROM THE LAND ACROSS THE THIRTY (30') FOOT ACCESS EASEMENT AND THE FORTY-THREE (43') FOOT ACCESS EASEMENT, AS SET FORTH ON THE PLAT RECORDED JULY 25, 1985 IN PLAT BOOK C27, PAGE 182; RECORDS OF BERNALILLO COUNTY, NEW MEXICO, TO THE EXTENT OF AND ONLY FOR THE DURATION AS PROVIDED FOR THEREIN.

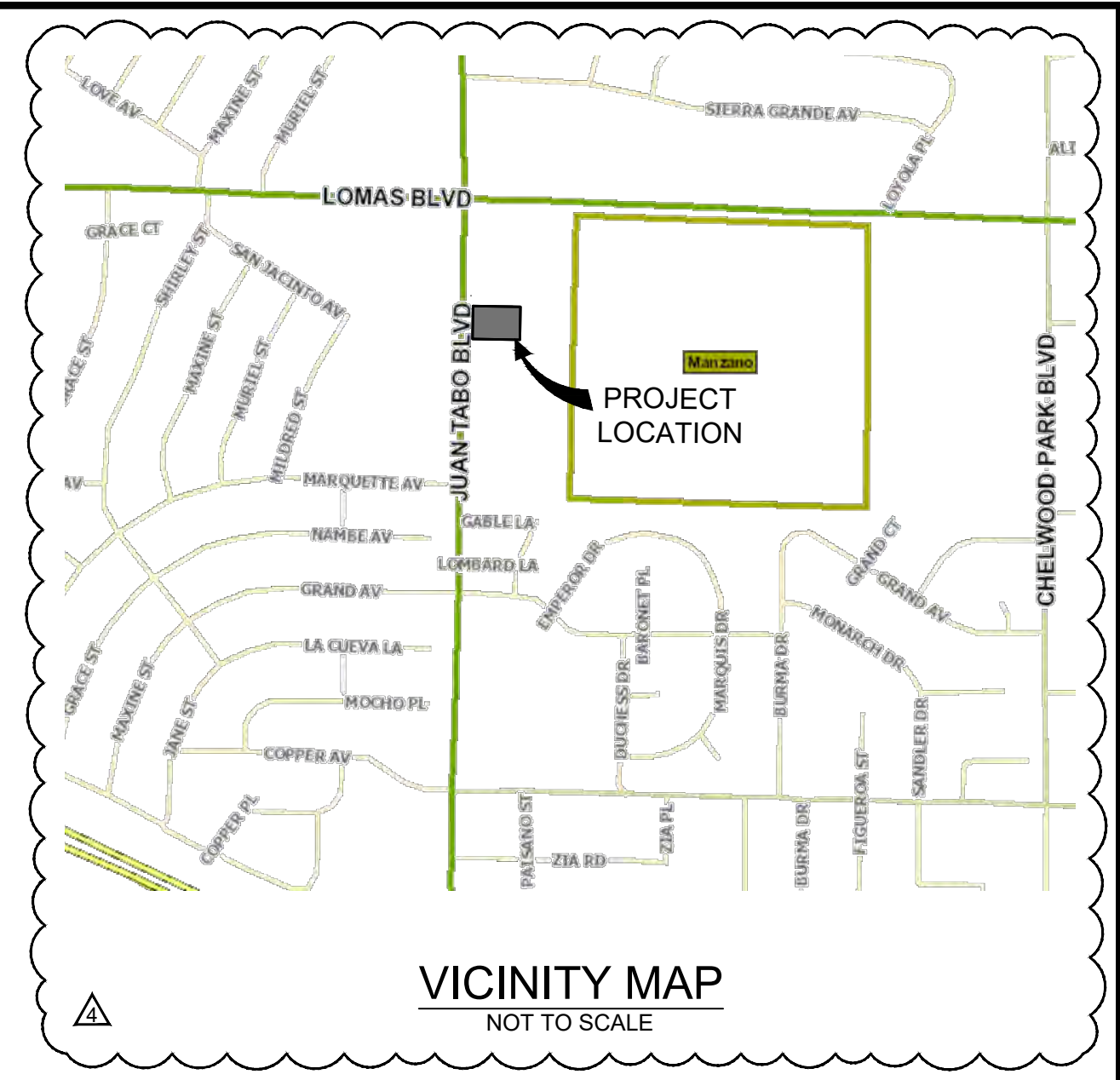
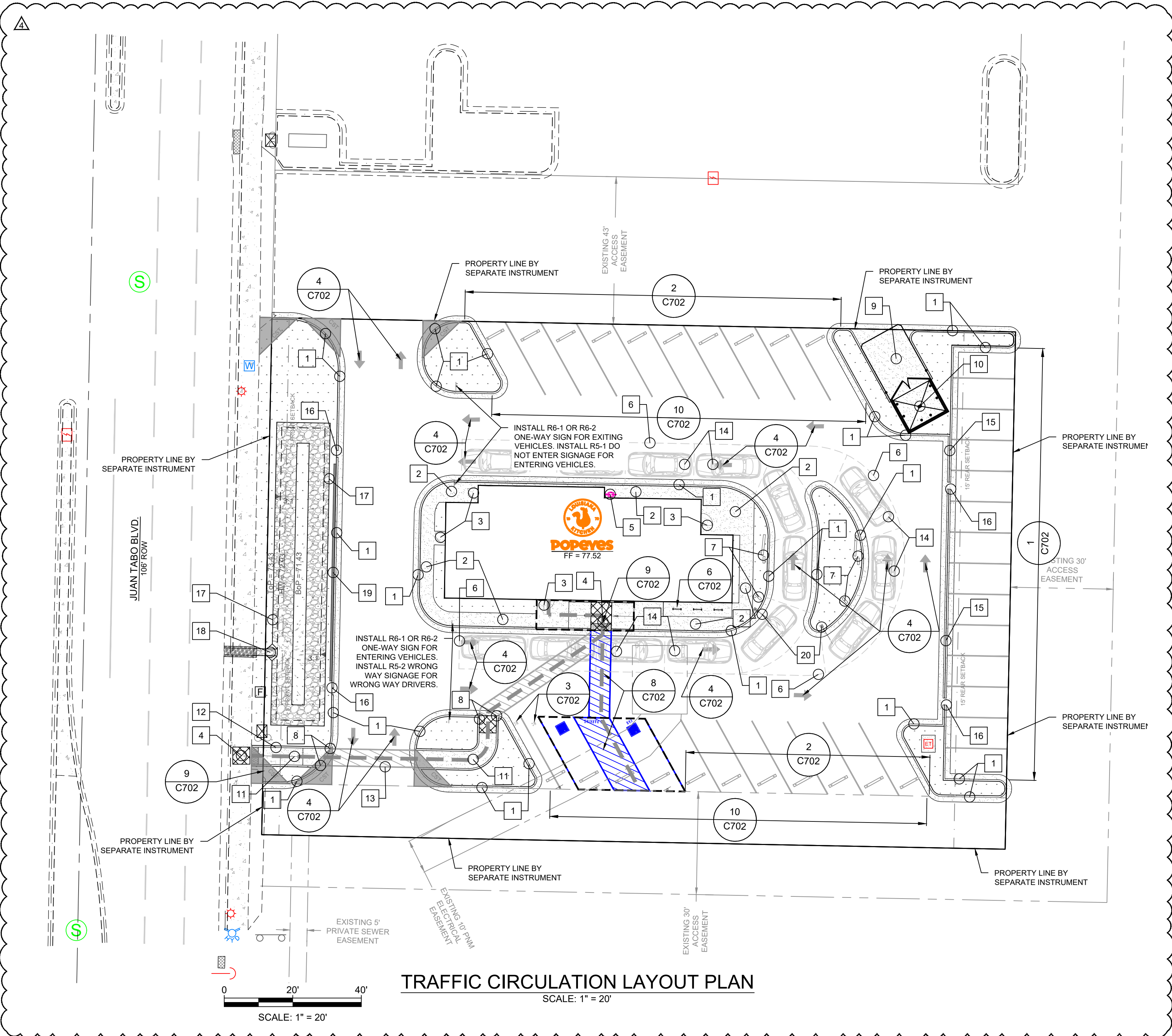
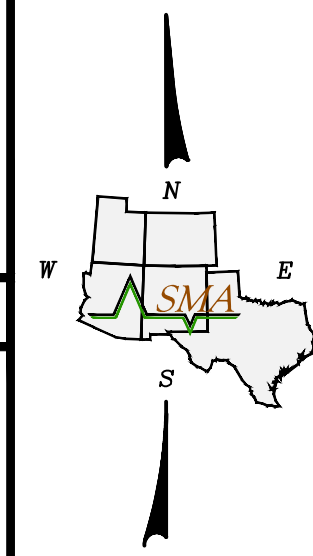
TOGETHER WITH RIGHTS FOR THE PRIVATE SEWER LINE AS SET FORTH IN THE GRANT OF SEWER EASEMENT, EASEMENT FOR SEWER SERVICE EXTENSION RECORDED JANUARY 17, 1986 IN BOOK MISC. 312-A, PAGE 869 AS DOCUMENT NO. 86-5119, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, TO THE EXTENT OR AND ONLY FOR THE DURATION AS PROVIDED FOR THEREIN.

KEYED NOTES

- 1 CURB AND GUTTER (TYP.)
- 2 CONCRETE WALKWAY
- 3 EXTERIOR DOOR
- 4 ADA RAMP W/ TRUNCATED DOMES SEE COA DETAIL 2446, SHEET C702
- 5 GAS METER
- 6 STACKING LANE OUTLINE
- 7 SPEAKERS AND MENU BOARDS (SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS)
- 8 CURB TRANSITION TO 0" CURB HEIGHT AT ALL LOCATIONS WHERE CURBS MEET WALKWAY
- 9 13.33' x 18.75' CONCRETE ACCESS PAD. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 10 SINGLE 6 YARD DUMPSTER ENCLOSURE W/ DRAIN PER CoABO STANDARDS. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 11 5' WIDE SIDEWALK
- 12 5' WIDE SIDEWALK TIED TO EXISTING SIDEWALK
- 13 5' WIDE PAINTED CROSSWALK. SEE SHEET C700
- 14 POTENTIAL STACKED CARS IN STACKING LANES
- 15 DOUBLE SIDED CURB AND GUTTER
- 16 2' WIDE CURB CUT
- 17 PROPOSED STORMWATER QUALITY POND
- 18 BROAD CRESTED WEIR
- 19 RETAINING WALL
- 20 CLEARANCE BARS (SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS)

GENERAL NOTES:

1. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLE (CST) REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
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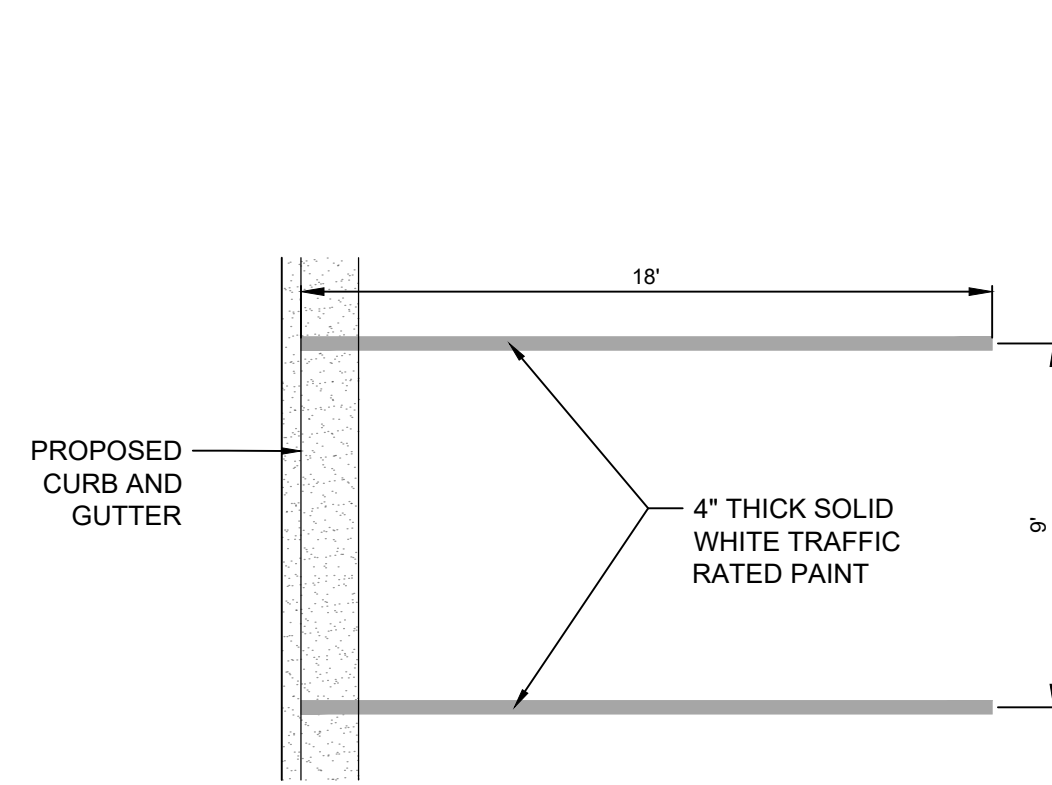
ALBUQUERQUE, NEW MEXICO
POPEYES COMMERCIAL SITE - 840 JUAN TABO BLVD. NE
 ALBUQUERQUE, NEW MEXICO
TRAFFIC CIRCULATION LAYOUT PLAN

MECHEL D. JOHNSON
 NEW MEXICO
 REGISTERED PROFESSIONAL ENGINEER

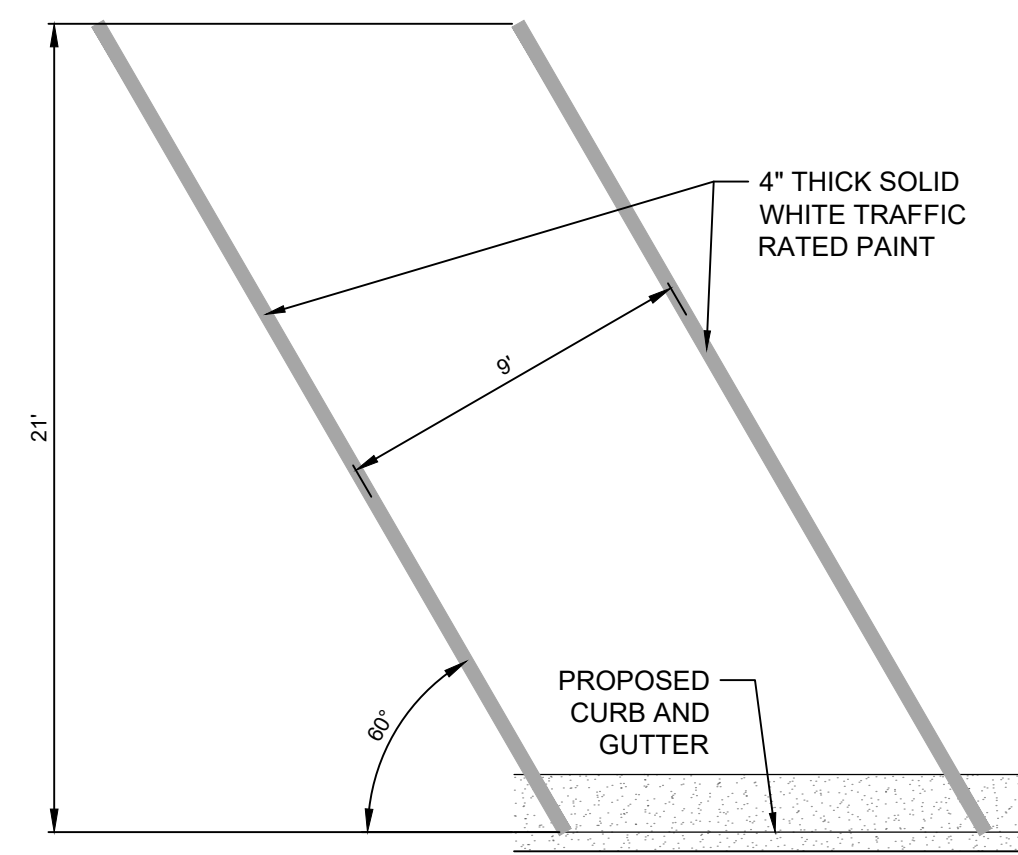
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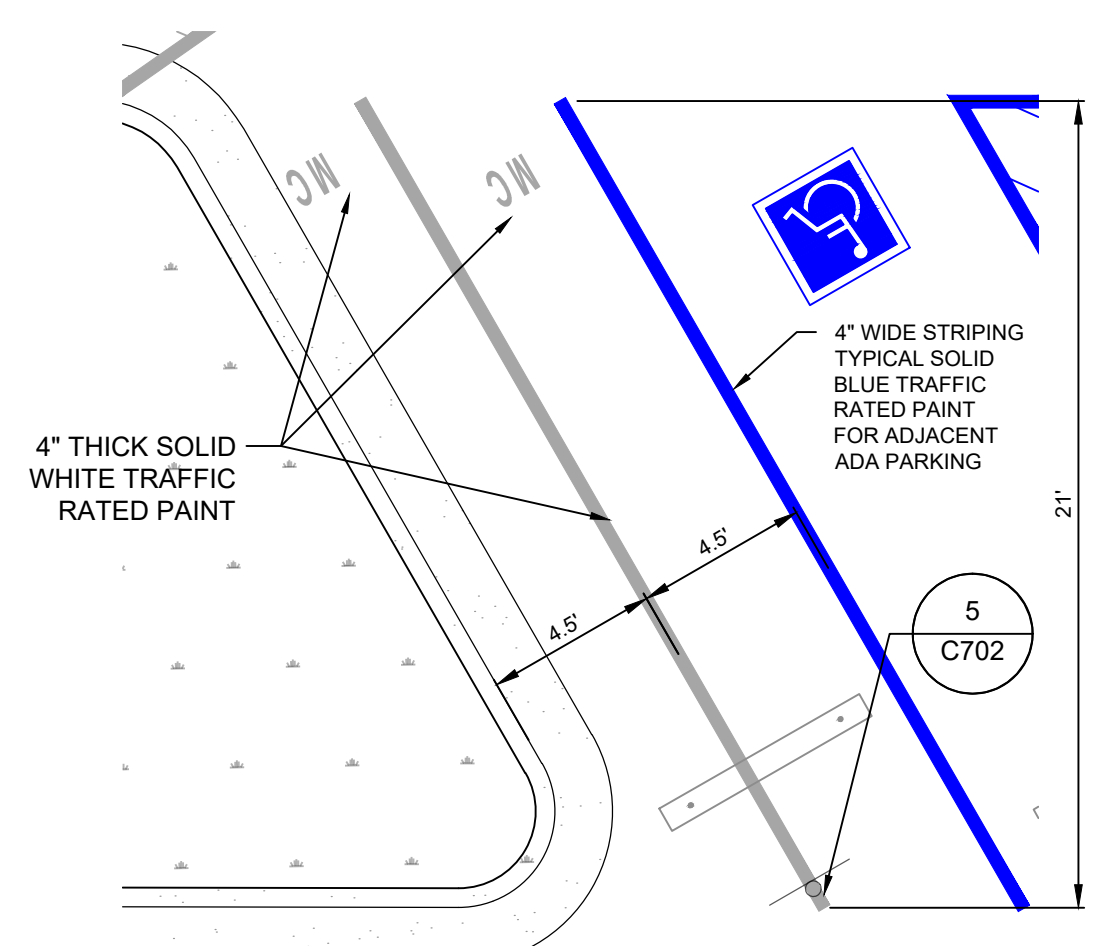
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MJ	DIF	MJ
Date:	November 2024	
Scale:	Horiz: AS SHOWN	
Project No:	9432731	
Sheet:	C701	



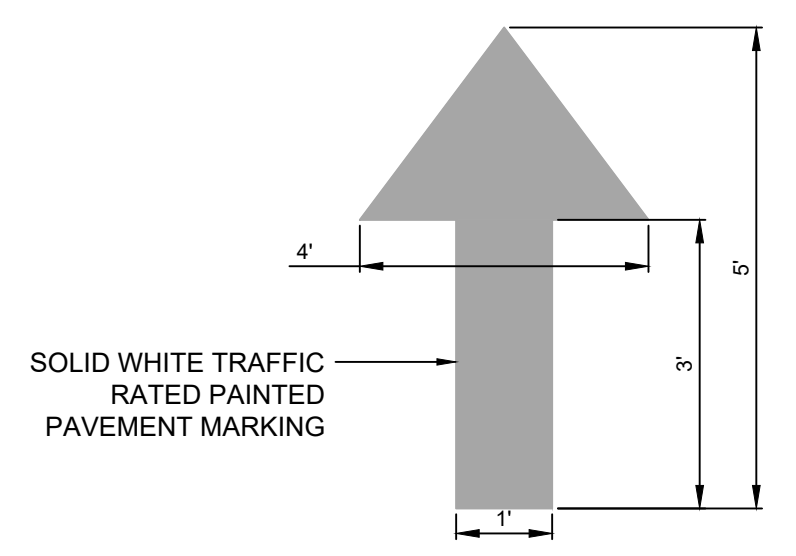
1 TYPICAL PARKING SPACE
C702 SCALE: N.T.S.



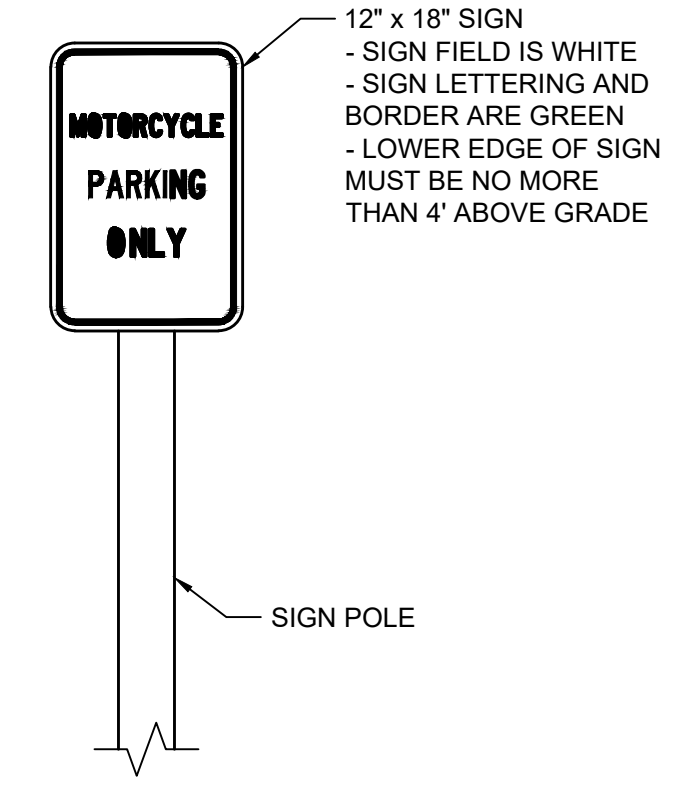
2 DIAGONAL PARKING SPACE
C702 SCALE: N.T.S.



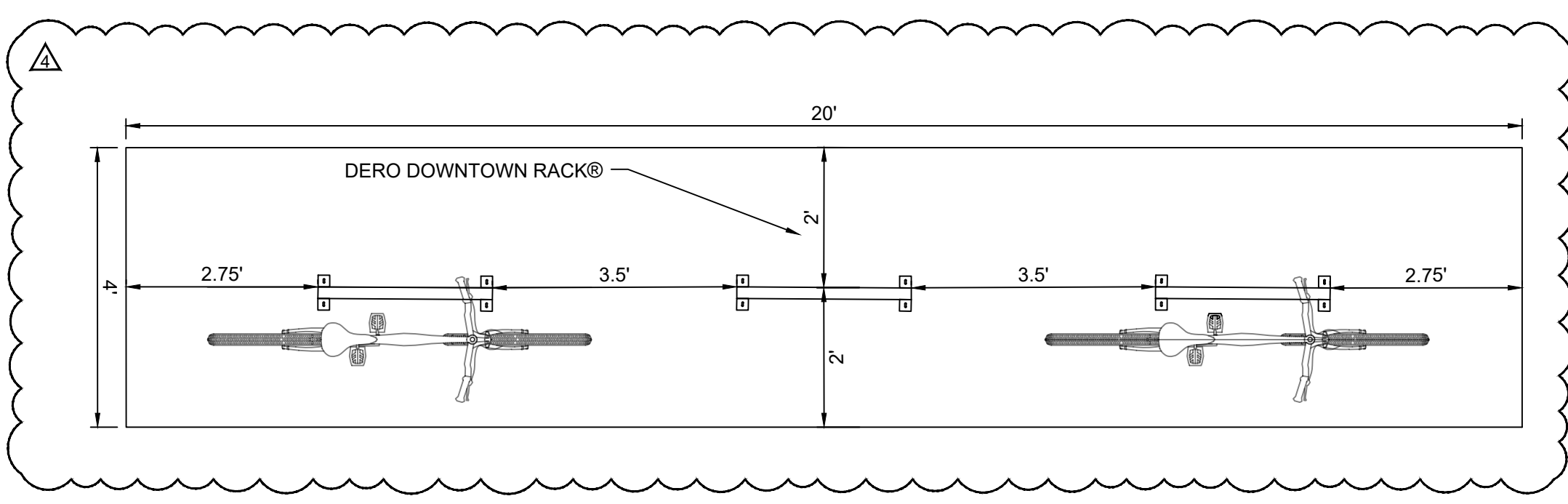
3 MOTORCYCLE PARKING SPACE
C702 SCALE: N.T.S.



4 PAVEMENT ARROW MARKING
C702 SCALE: N.T.S.

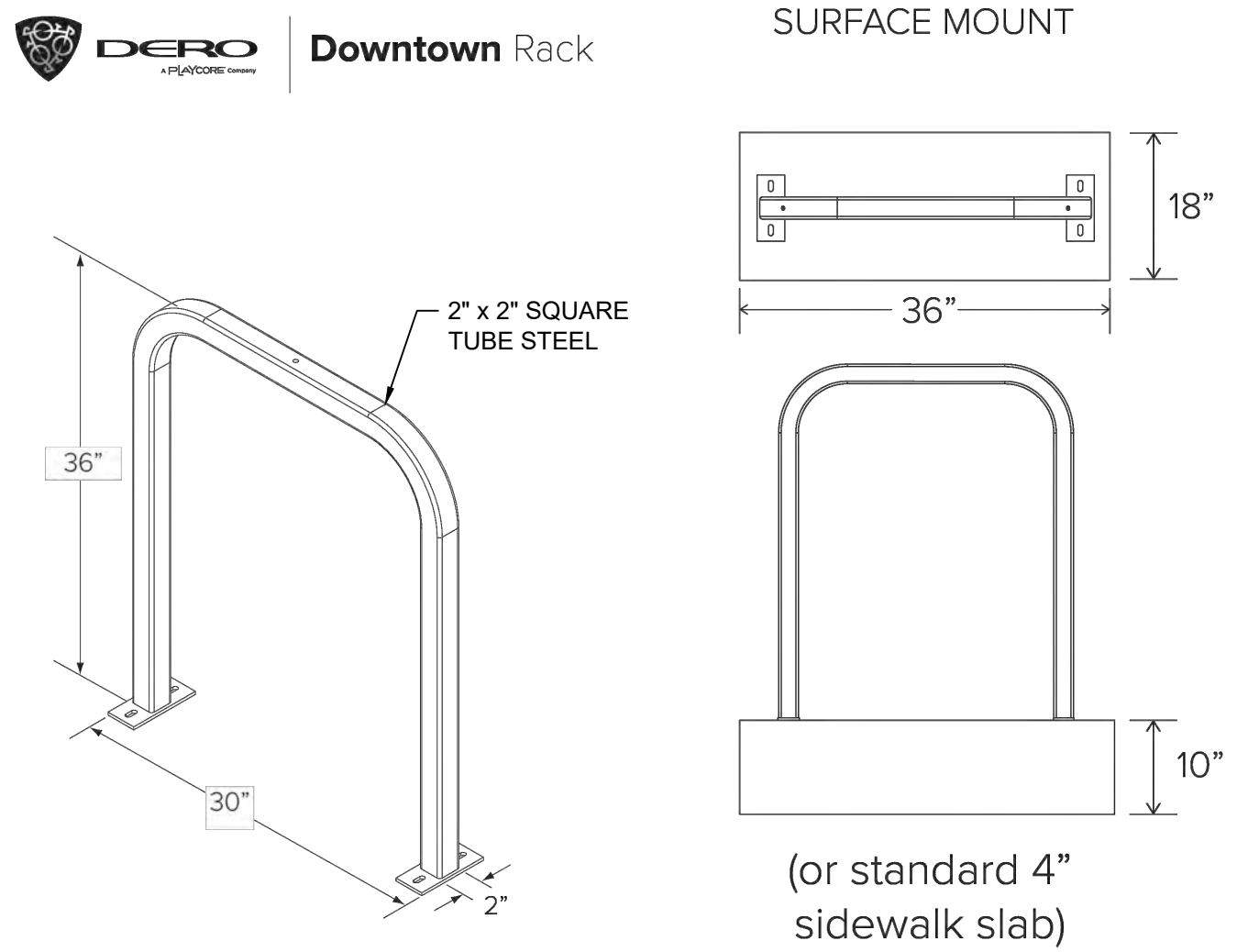


5 MOTORCYCLE PARKING SIGN
C702 SCALE: N.T.S.

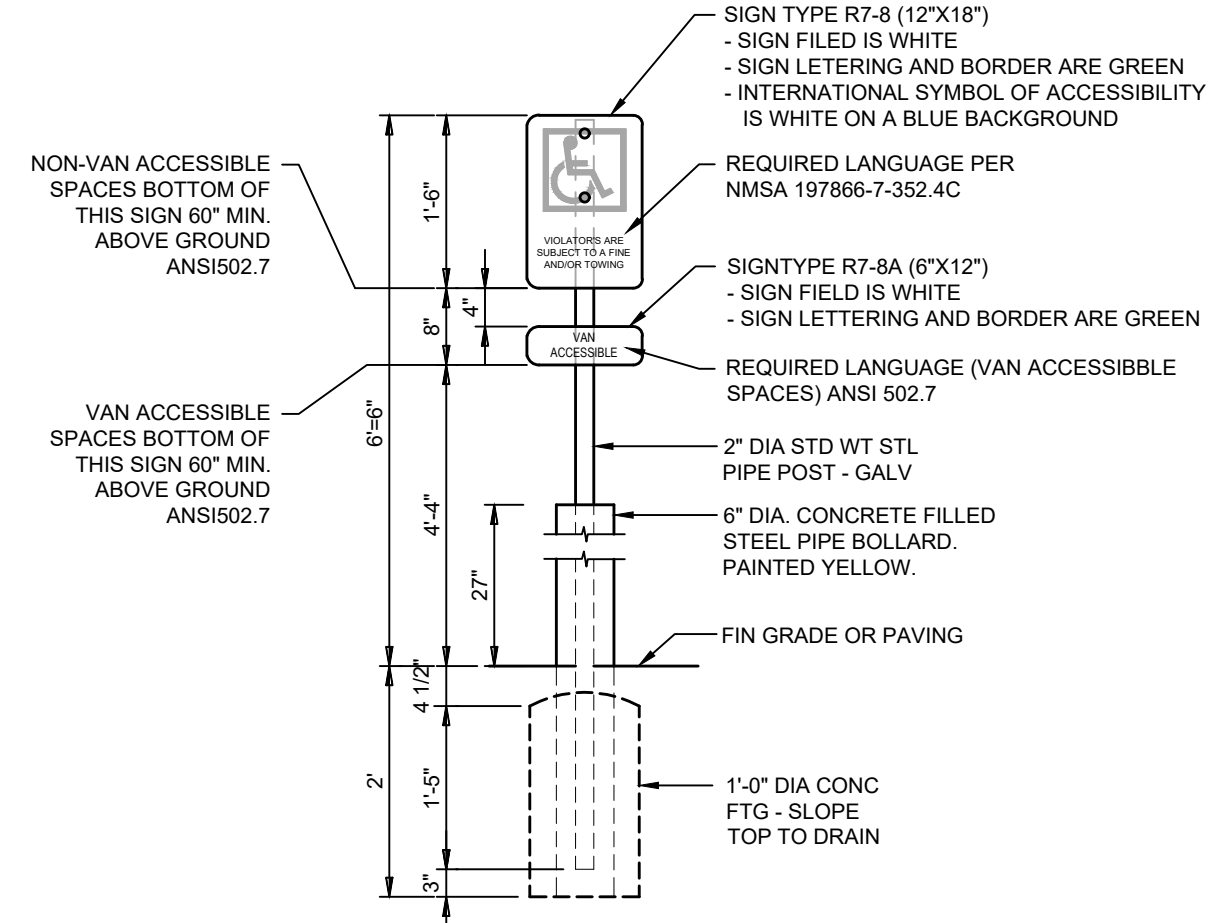


BICYCLE PARKING SPACES DETAIL
SCALE: 1" = 2'

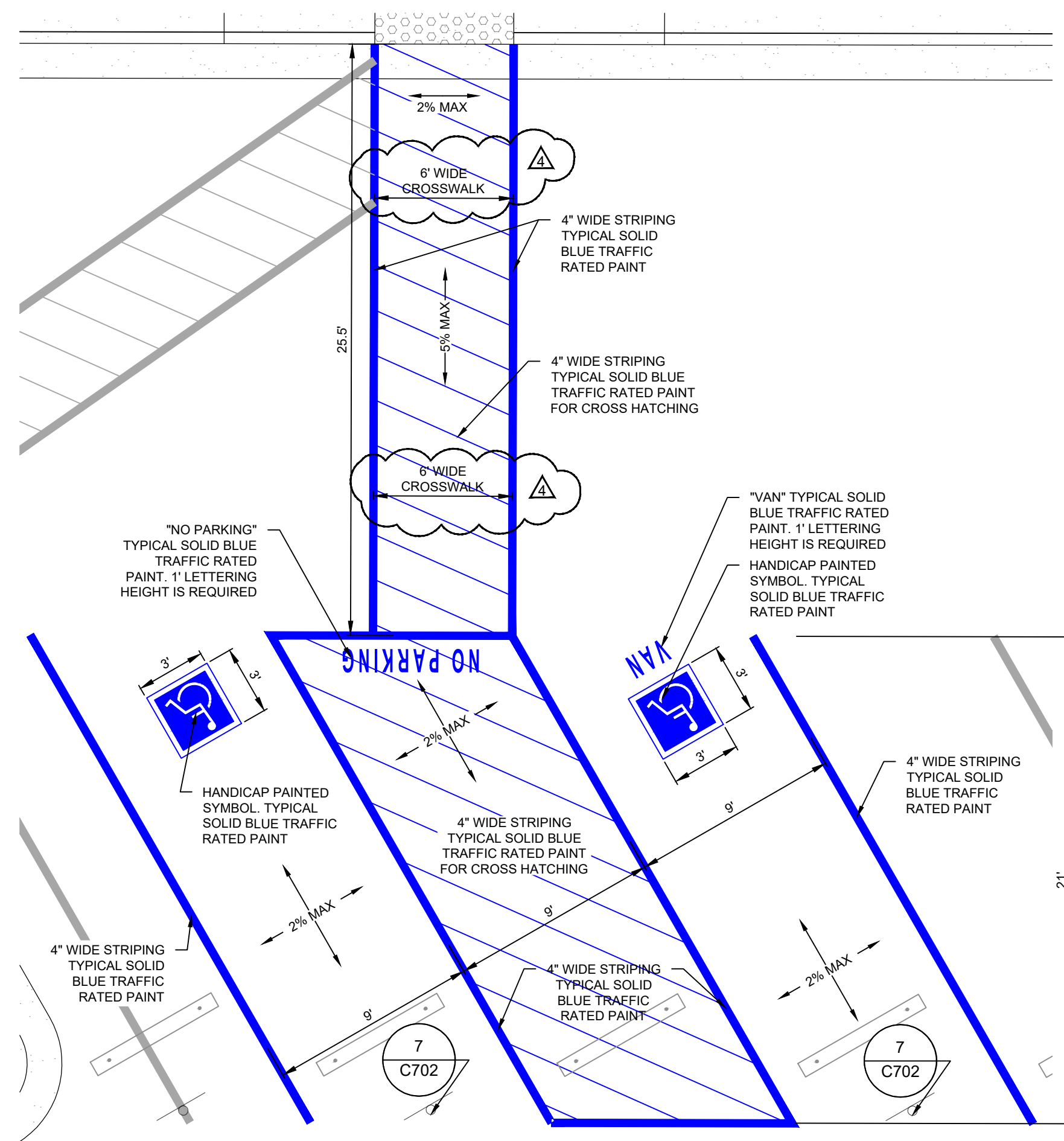
6 BICYCLE PARKING
C702 SCALE: N.T.S.



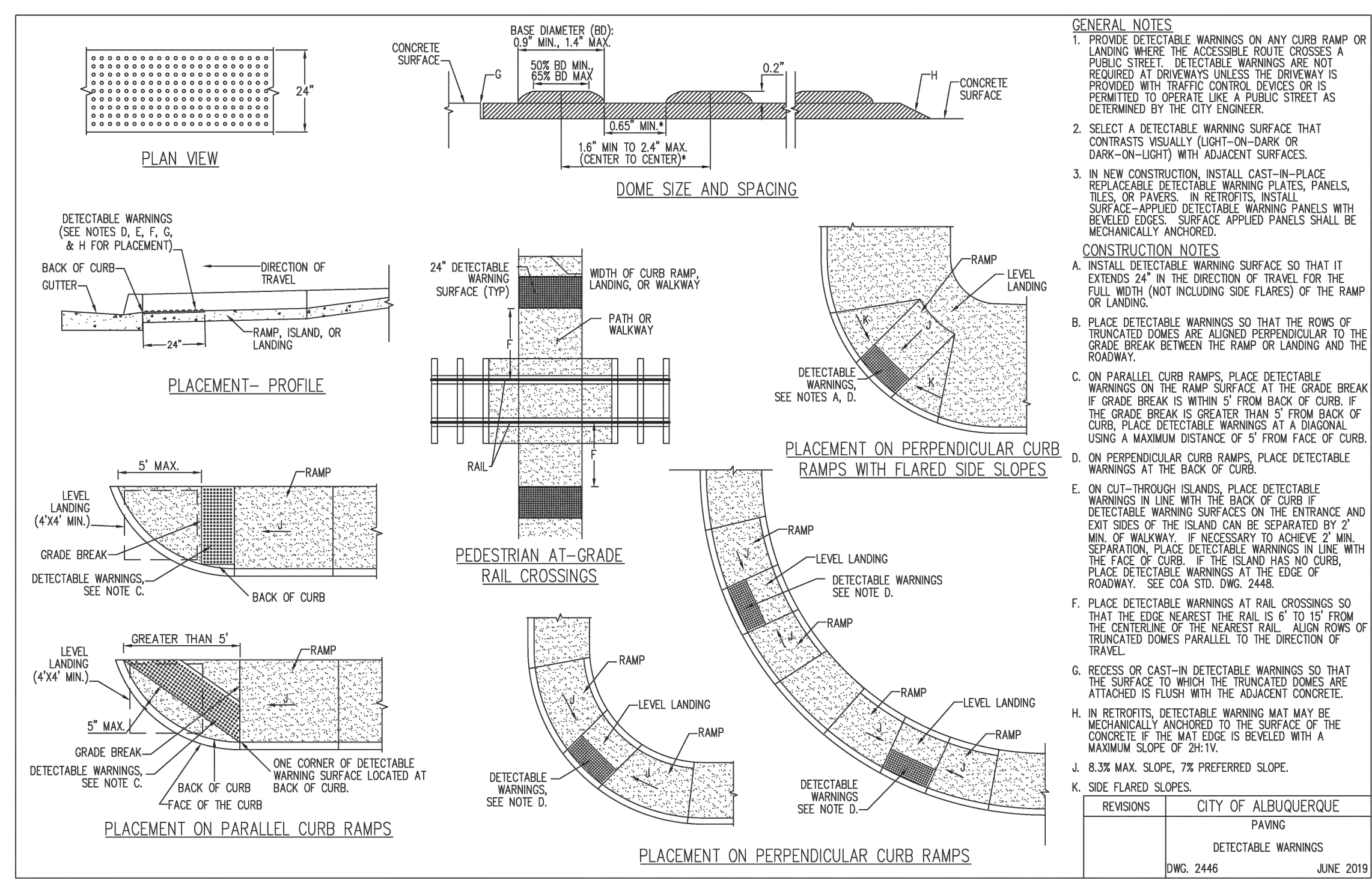
DERO DOWNTOWN RACK® DETAIL
SCALE: N.T.S.



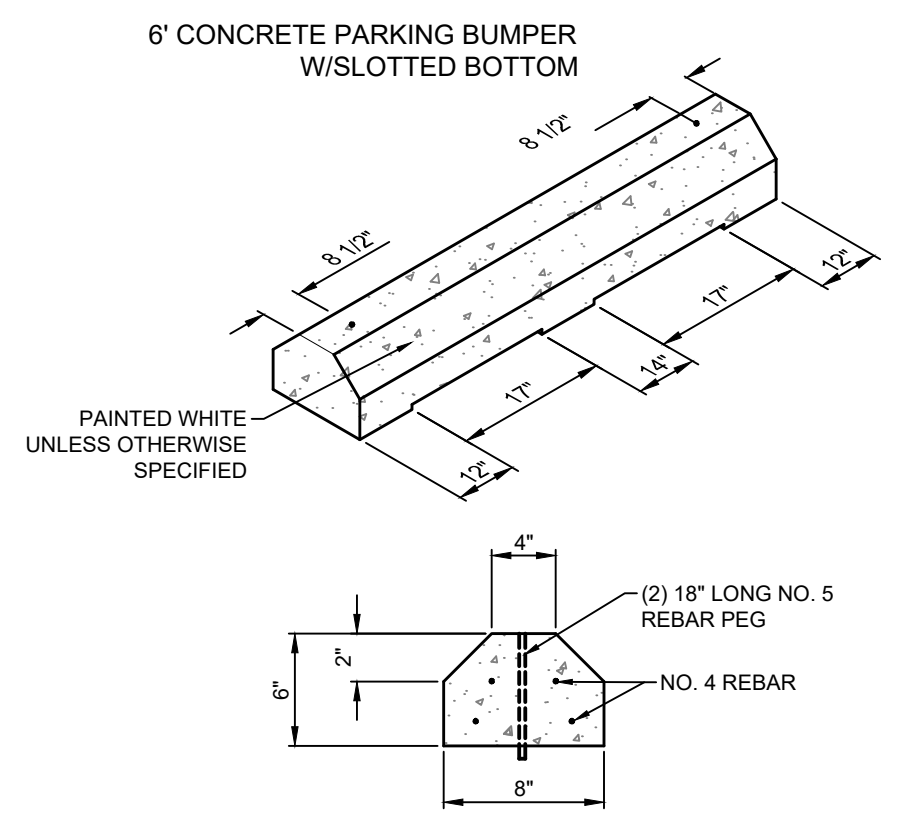
8 ADA PARKING SIGN
C702 SCALE: N.T.S.



9 ADA PARKING & PEDESTRIAN ACCESS
C702 SCALE: N.T.S.



10 ADA RAMP
C702 SCALE: N.T.S.



11 CONCRETE WHEEL STOP
C702 SCALE: N.T.S.

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ALBUQUERQUE, NEW MEXICO
POPEYES COMMERCIAL SITE - 840 JUAN TABO BLVD. NE
ALBUQUERQUE, NEW MEXICO
STRIPING, SIGNAGE, & TRAFFIC CIRCULATION DETAILS

POPEYES LOUISIANA KITCHEN
MICHEL D. JOHNSON
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER

Designed	Drawn	Checked
MJ	DIF	MJ

Date: November 2024
Scale: Horiz: AS SHOWN
Vert: AS SHOWN
Project No: 9432731
Sheet: C702

GENERAL EROSION NOTES:

- 1. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE NPDES/EPA GENERAL PERMIT AND BECOME FAMILIAR WITH THEIR CONTENTS.
2. GENERAL CONTRACTOR SHALL IMPLEMENT STORM WATER CONTROLS AS REQUIRED BY NPDES. ADDITIONAL STORM WATER CONTROLS SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER, THROUGHOUT CONSTRUCTION.
3. STORM WATER CONTROLS SHALL CONFORM TO FEDERAL, STATE AND LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. GENERAL CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
4. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
5. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, AND PAINTING-PLASTER TOOLS CLEANING) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
6. SUFFICIENT OIL AND GREASE ABSORBENT MATERIALS AND FLOATING BLOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS OR LEAKS.
7. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
8. RUBBISH, TRASH, GARBAGE, LITTER OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE.
9. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS SITE MAP SHALL BE INITIATED AS SOON AS PRACTICABLE.
10. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED FOLLOWING LANDSCAPING SPECIFICATIONS OUTLINED IN LANDSCAPING PLAN. THESE AREAS SHALL BE STABILIZED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURS IN THESE AREAS. AREAS OF PERMANENT STABILIZATION THAT ARE NOT COVERED BY THE LANDSCAPE PLAN ARE TO USE MULCH AND/OR COMPOST BLANKETS AND/OR SIMILAR TO PREVENT THE TRANSPORTATION OF SOIL.
11. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY STOPPED SHALL BE TEMPORARILY STABILIZED USING SWCS SUCH AS MULCH AND/OR EROSION CONTROL BLANKETS AND/OR SIMILAR. THESE AREAS SHALL BE STABILIZED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURS IN THOSE AREAS. INSTALLATION AND MAINTENANCE SCHEDULE SHALL BE IMPLEMENTED ON AN AS-NEED BASIS DETERMINED BY THE CONTRACTOR/OWNER.
12. IF THE ACTION OF VEHICLE TRAVELING OVER THE CONSTRUCTION ENTRANCE/EXIT IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF-SITE.
13. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND OVER EXCAVATION FOR BUILDING FOOTINGS.
14. DUE TO THE CHANGE IN GRADING AND THE REQUIREMENTS OF CONSTRUCTION OPERATIONS THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ADJUSTING THE STORM WATER CONTROLS (STRAW WADDELS, EARTH BERMS, ETC.) TO PREVENT EROSION ON A DAILY BASIS AS PER CONSTRUCTION SCHEDULE.

GOOD HOUSE KEEPING PRACTICES:

- 1. THE CONTRACTOR SHALL ESTABLISH A CONCRETE WASHOUT PIT BEFORE THE START OF CONSTRUCTION AND MARK ITS LOCATION ON THE SITE MAP.
2. A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED AT THE SITE ENTRANCE AS DETERMINED BY THE CONTRACTOR.
3. THE CONTRACTOR SHALL ESTABLISH A COMPREHENSIVE DUST CONTROL PLAN TO LIMIT OFF-SITE SEDIMENTATION BY CONTROLLING THE SITES POTENTIAL FOR PRODUCING AIRBORNE FUGITIVE DUST AND TRACK-OUT OF SEDIMENTS.
4. SANITARY FACILITIES ARE REQUIRED FOR ALL WORK SITES OR CONSTRUCTION AREAS.
5. SOLID WASTE MATERIALS SHALL BE STORED AND COLLECTED BY A PRIVATE WASTE DISPOSAL CONTRACTOR. NO CONSTRUCTION WASTE MATERIALS SHALL BE DISPOSED OF OR BURIED ON-SITE.
6. THE CONTRACTOR SHALL ESTABLISH AN EQUIPMENT MAINTENANCE PLAN TO REDUCE CONTAMINATION OF ON-SITE SOILS.
7. CONSTRUCTION MATERIALS AND CHEMICALS SHALL BE STORED IN COVERED STORAGE AREAS THAT HAVE A SPILL PROOF PERIMETER AROUND IT. LOCATE CHEMICAL STORAGE AREAS AWAY FROM LOW LYING AREAS AND DRAINAGE PATHS.
8. THE CONTRACTOR SHALL ESTABLISH A SPILL PREVENTION PLAN THAT INCLUDES MEASURES TO LIMIT THE SCOPE OF A SPILL AND MINIMIZE ENVIRONMENTAL DAMAGE. IN THE EVENT OF A SPILL OF A HAZARDOUS SUBSTANCE, THE RESPONSIBLE PARTY SHALL IMMEDIATELY NOTIFY THE NATIONAL RESPONSE CENTER (800-94-8802 OR 202-426-8775), THE NEW MEXICO DEPARTMENT OF ENVIRONMENT AND ORGANIZATION (505-827-9329, NON-EMERGENCY LINE: 866-428-8535), AND THE LOCAL FIRE DEPARTMENT (575-439-4298).

MAINTENANCE:

ALL STORM WATER CONTROLS STATED ON THIS SITE MAP SHALL BE MAINTAINED IN FULL FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL STORM WATER CONTROLS SHALL BE CHECKED AND REPAIRED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE NPDES/EPA PERMIT REQUIREMENTS.

- 1. BUILT UP SEDIMENT SHALL BE REMOVED FROM SILT FENCES AND WADDELS WHEN IT REACHES 1/2 THE HEIGHT, OR AS NECESSARY FOR MAINTENANCE. IF FABRIC BECOMES CLOGGED, IT SHOULD BE CLEANED OR REPLACED, IF NECESSARY.
2. HARDENED CONCRETE SHALL BE REMOVED FROM CONCRETE WASHOUT AREA ON A REGULAR BASIS.
3. THE CONSTRUCTION ENTRANCE/EXIT SHALL BE PERIODICALLY RE-GRADED AND/OR TOP DRESSED WITH ADDITIONAL STONE TO KEEP THE EFFICIENCY OF THE ENTRANCE FROM DIMINISHING. WHEN SEDIMENT HAS SUBSTANTIALLY CLOGGED THE VOID AREA BETWEEN THE ROCKS, THE AGGREGATE MUST BE WASHED DOWN AND/OR REPLACED.
4. CONSTRUCTION ENTRANCE/EXIT AREA SHALL BE INSPECTED FOR OFF-SITE TRACKING AND SWEEP AS NECESSARY.
5. SANITARY WASTES SHALL BE COLLECTED FROM PORTABLE SANITARY FACILITIES NOT LESS THAN ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR OR AS REQUIRED BY STATE AND LOCAL REGULATIONS.
6. SOLID WASTE COLLECTION SHALL NOT BE LESS THAN BI-WEEKLY OR MORE OFTEN IF NECESSARY.
7. THE STORAGE/STAGING AND MASON'S AREAS SHALL BE CLEARED OF DEBRIS, ANY DEBRIS AND/OR SEDIMENT REACHING THE PUBLIC STREET SHALL BE CLEARED IMMEDIATELY BY A LICENSED STREET-CLEANING CONTRACTOR.

SEQUENCE OF CONSTRUCTION:

DESCRIBED BELOW ARE THE MAJOR CONSTRUCTION ACTIVITIES THAT ARE THE SUBJECT TO THIS PLAN. ALSO INCLUDED IN THE SEQUENCE ARE STORM WATER CONTROLS INSTALLATION ACTIVITIES THAT MUST TAKE PLACE PRIOR TO CONSTRUCTION ACTIVITIES. NOTE: DOWN SLOPE PROTECTIVE MEASURES MUST ALWAYS BE IN PLACE BEFORE SOIL IS DISTURBED. ACTIVITIES ARE PRESENTED IN THE SEQUENCE THEY ARE EXPECTED TO BE COMPLETED. CONTRACTOR TO IMMEDIATELY DENOTE ON THIS PLAN ANY CHANGES IN STORM WATER CONTROLS LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS. THE SEQUENCE OF CONSTRUCTION IS AS FOLLOWS:

PHASE 1

- 1. INSTALL SWPPP INFORMATION SIGN.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE/EXIT.
3. PREPARE STORAGE/STAGING AND MASON'S AREAS. UPON IMPLEMENTATION AND INSTALLATION, DENOTE THE FOLLOWING AREAS ON THIS PLAN: TRAILER PARKING, PORTABLE SANITARY FACILITIES, WASHOUT MATERIAL STORAGE CONTAINERS, AND SOLID WASTE CONTAINERS.
4. INSTALL SILT FENCE - A STRIP OF PAVEMENT WILL NEED TO BE REMOVED PRIOR TO INSTALLATION.
5. REMOVE AND DEMOLISH EXISTING STRUCTURES.
6. REMOVE AND DEMOLISH EXISTING ASPHALT.
7. REMOVE AND DEMOLISH EXISTING BUILDING.
8. CLEAR AND GRUB THE SITE.
9. BEGIN GRADING THE SITE.
10. TEMPORARY STABILIZE STOCKPILE AREAS.

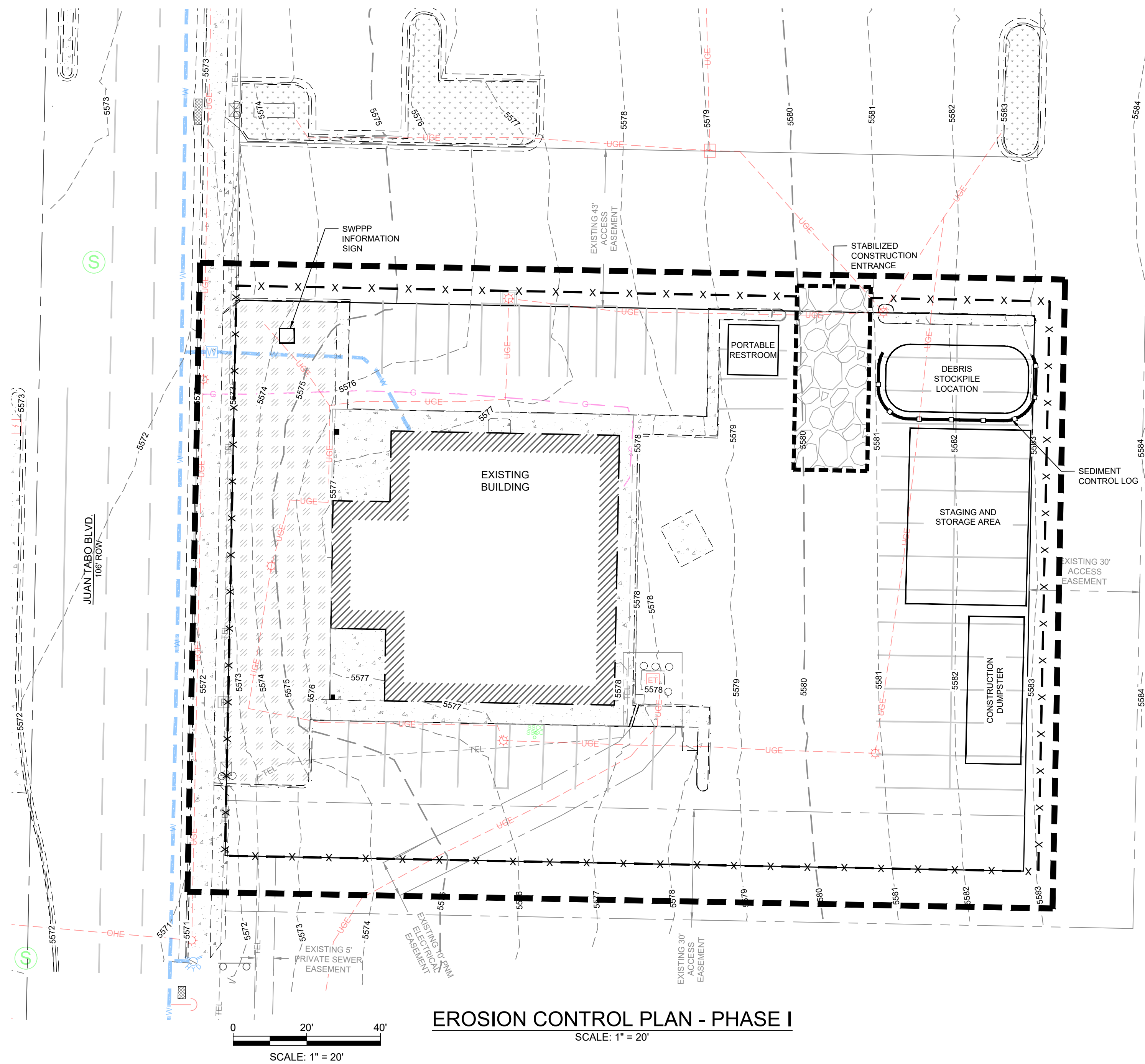
PHASE 2

- 1. BUILDING CONSTRUCTION.
2. INSTALL UTILITIES.
3. INSTALL CONCRETE CURB AND GUTTERS.
4. INSTALL CONCRETE SIDEWALKS AND PADS.
5. INSTALL POND.
6. INSTALL TRASH ENCLOSURE.
7. INSTALL LANDSCAPING.

PHASE 3

- 1. BEGIN PAVING OPERATIONS.
2. INSTALL SIGNING AND STRIPING.
3. INSPECT AND CLEAN UP SITE.
4. REMOVE TEMPORARY STORM WATER CONTROLS (ONLY IF SITE IS "FINAL STABILIZED" AS PER 2017 CGP).
5. FILE OWNER AND OPERATION NOTICE OF TERMINATION (NOT).

THE ACTUAL SCHEDULE FOR IMPLEMENTING STORM WATER CONTROLS WILL BE DETERMINED BY PROJECT CONSTRUCTION PROGRESS AND RECORDED BY THE CONTRACTOR ON THE SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE ON THIS PLAN.



EROSION CONTROL PLAN - PHASE I

SCALE: 1" = 20'

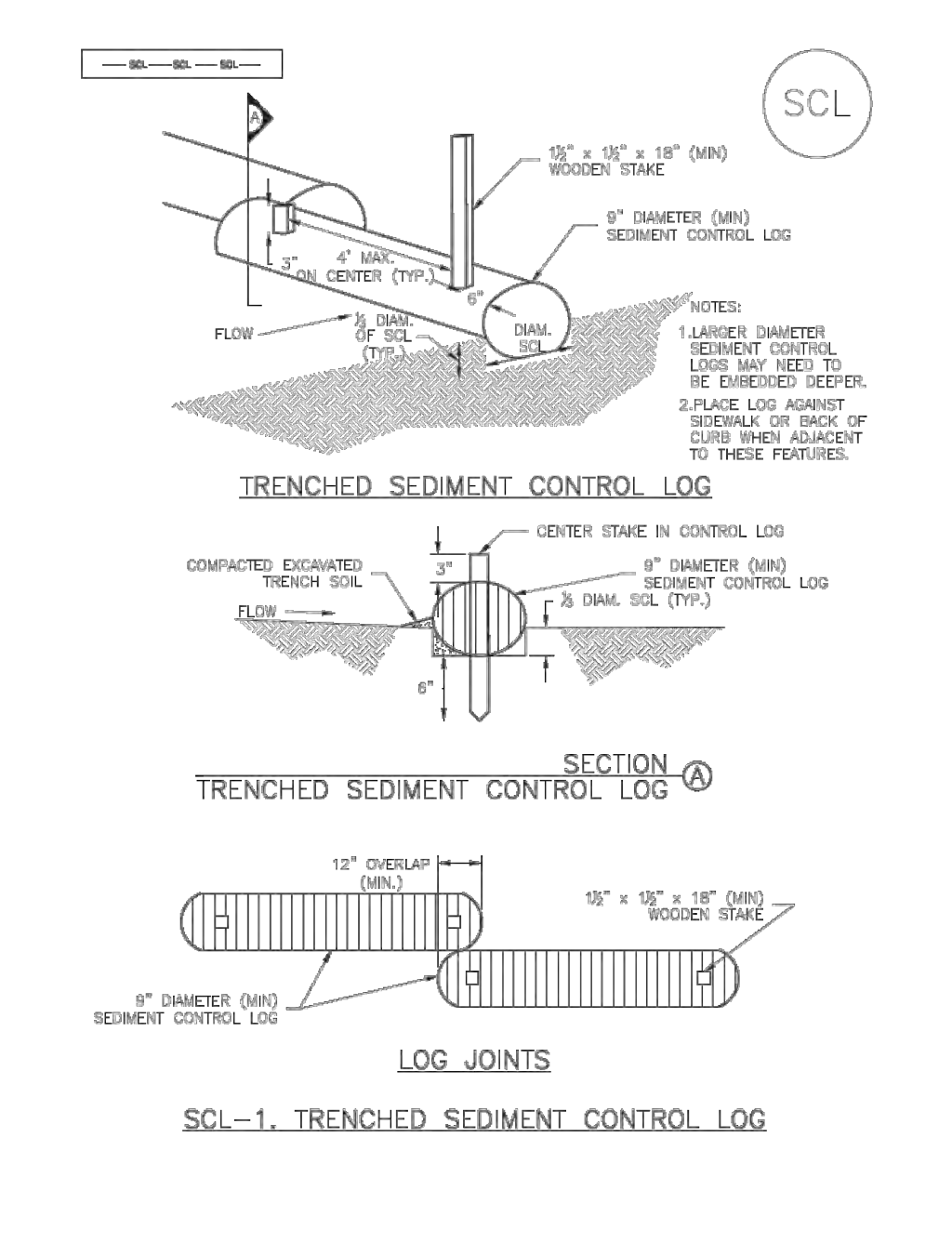
LEGEND

- 4005 = EXISTING MAJOR CONTOUR
4002 = EXISTING MINOR CONTOUR
--- = PROPERTY LINE
--- = PROJECT LIMITS
[Symbol] = STABILIZED CONSTRUCTION ENTRANCE
[X-X-X] = PROPOSED SILT FENCE
[Symbol] = PROPOSED SEDIMENT CONTROL LOGS

PROJECT AREA:

TOTAL SITE AREA = 0.752 AC.
TOTAL DISTURBED AREA = 0.752 AC.

Sediment Control Log (SCL) SC-2

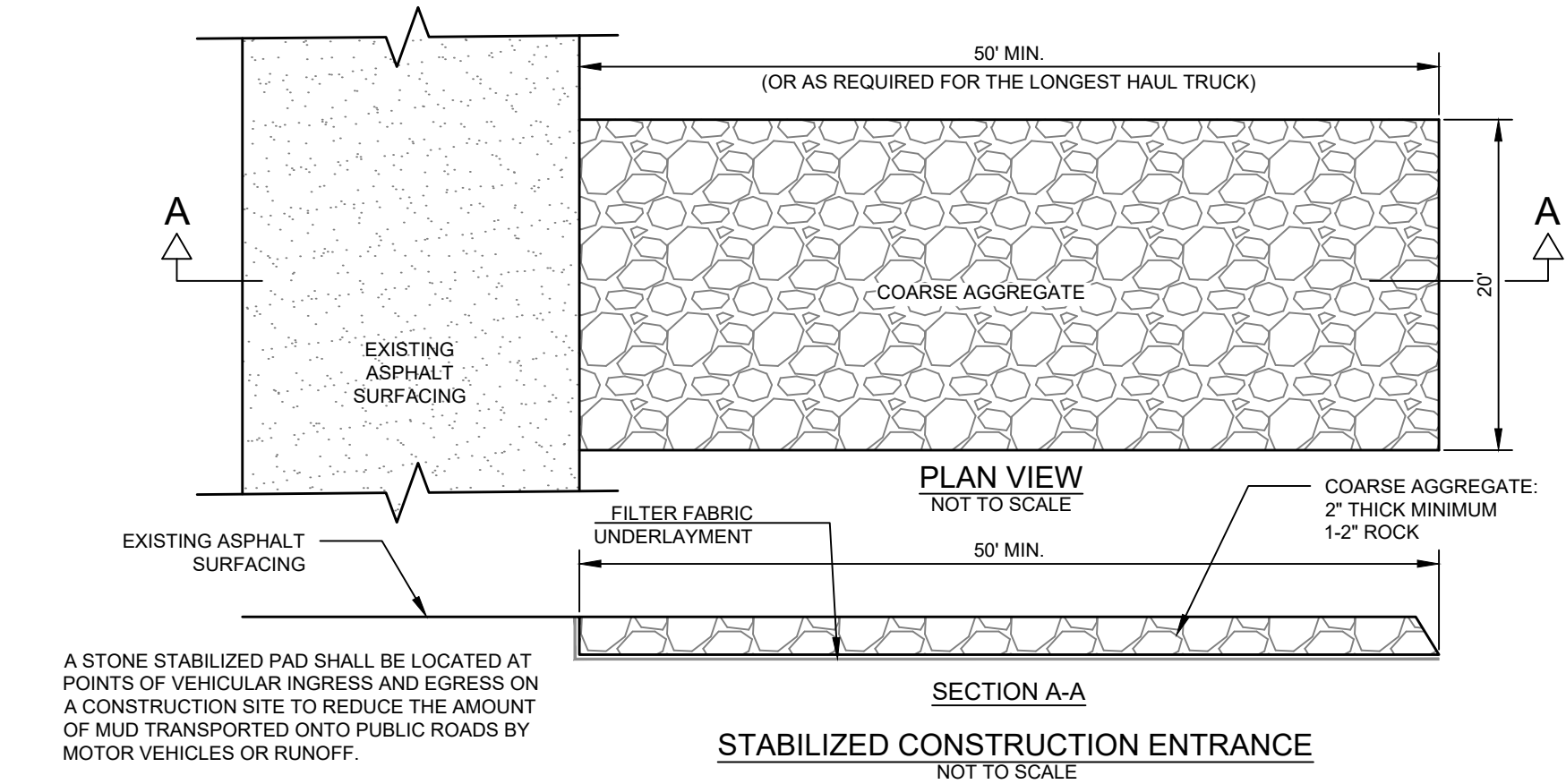


November 2015 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 SCL-3

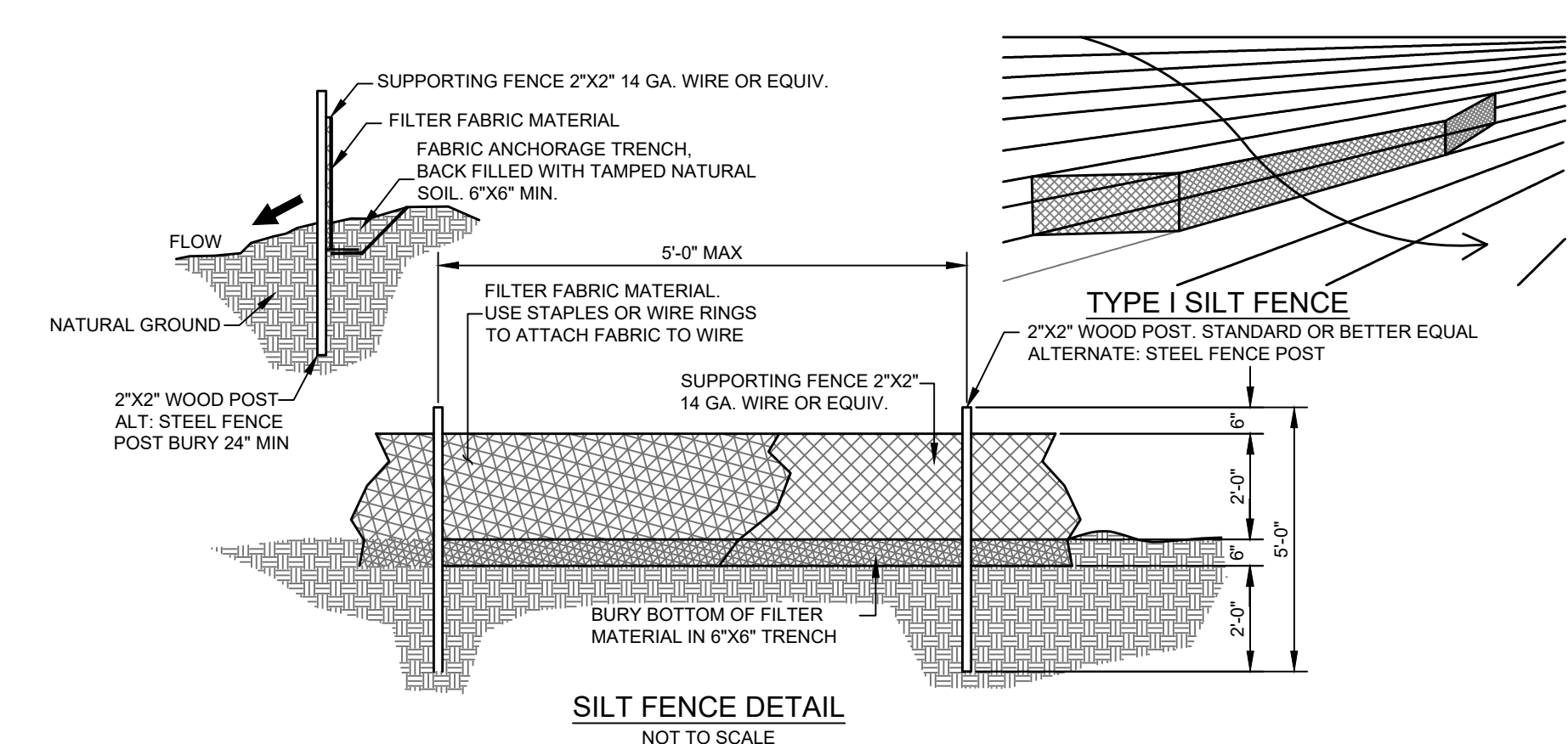
ESC PLAN STANDARD NOTES (2023-06-16)

- 1. ALL EROSION AND SEDIMENT CONTROL (ESC) WORK ON THESE PLANS, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON SHALL BE PERMITTED, CONSTRUCTED, INSPECTED, AND MAINTAINED IN ACCORDANCE WITH:
1.1. THE CITY ORDINANCE 5-14-5-2-11, THE ESC ORDINANCE.
1.2. THE EPA'S 2022 CONSTRUCTION GENERAL PERMIT (CGP), AND
1.3. THE CITY OF ALBUQUERQUE CONSTRUCTION BMP MANUAL.
2. ALL BMP'S MUST BE INSTALLED PRIOR TO BEGINNING ANY EARTH MOVING ACTIVITIES EXCEPT AS SPECIFIED HEREON IN THE PHASING PLAN. CONSTRUCTION OF EARTHEN BMP'S SUCH AS SEDIMENT TRAPS, SEDIMENT BASINS, AND DIVERSION BERMS SHALL BE COMPLETED AND INSPECTED PRIOR TO ANY OTHER CONSTRUCTION OR EARTHWORK. SELF-INSPECTION IS REQUIRED AFTER INSTALLATION OF THE BMP'S AND PRIOR TO BEGINNING CONSTRUCTION.
3. SELF-INSPECTIONS - IN ACCORDANCE WITH CITY ORDINANCE 5-14-5-2-11(C)(1), "AT A MINIMUM A ROUTINE SELF-INSPECTION IS REQUIRED TO REVIEW THE PROJECT FOR COMPLIANCE WITH THE CONSTRUCTION GENERAL PERMIT ONCE EVERY 14 DAYS AND AFTER ANY PRECIPITATION EVENT OF 1/4 INCH OR GREATER UNTIL THE SITE CONSTRUCTION HAS BEEN COMPLETED AND THE SITE DETERMINED AS STABILIZED BY THE CITY. REPORTS OF THESE INSPECTIONS SHALL BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST. CORRECTIVE ACTION REPORTS MUST BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST.
5. FINAL STABILIZATION AND NOTICE OF TERMINATION (NOT) - IN ACCORDANCE WITH CITY ORDINANCE 5-14-5-2-11(C)(1), SELF-INSPECTIONS MUST CONTINUE UNTIL THE SITE IS "DETERMINED AS STABILIZED BY THE CITY." THE PROPERTY OWNER/OPERATOR IS RESPONSIBLE FOR DETERMINING WHEN THE "CONDITIONS FOR TERMINATING CGP COVERAGE" PER CGP PART 8.2 ARE SATISFIED AND THEN FOR FILING THEIR NOTICE OF TERMINATION (NOT) WITH THE EPA. EACH OPERATOR MAY TERMINATE CGP COVERAGE ONLY IF ONE OR MORE OF THE CONDITIONS IN PART 8.2.1, 8.2.2, OR 8.2.3 HAS OCCURRED. AFTER FILING THE NOT WITH THE EPA, THE PROPERTY OWNER IS RESPONSIBLE FOR REQUESTING A DETERMINATION OF STABILIZATION FROM THE CITY. WHEN DOING WORK IN THE CITY RIGHT-OF-WAY (E.G. SIDEWALK, DRIVE PADS, UTILITIES, ETC.) PREVENT DIRT FROM GETTING INTO THE STREET. IF DIRT IS PRESENT IN THE STREET, THE STREET SHOULD BE SWEEPED DAILY OR PRIOR TO A RAIN EVENT OR CONSTRUCTION RELATED WATER EVENT (E.G. CURB CUT OR WATER TEST). WHEN INSTALLING UTILITIES BEHIND THE CURB, THE EXCAVATED DIRT SHOULD NOT BE PLACED IN THE STREET. WHEN CUTTING THE STREET FOR UTILITIES THE DIRT SHALL BE PLACED ON THE UPHILL SIDE OF THE STREET CUT AND THE AREA SWEEPED AFTER THE WORK IS COMPLETE. A WATTLE OR MULCH SOCK MAY BE PLACED AT THE TOE OF THE EXCAVATED DIRT PILE IF SITE CONSTRAINTS DO NOT ALLOW PLACING THE EXCAVATED DIRT ON THE UPHILL SIDE OF THE STREET CUT. ESC PLANS MUST SHOW LONGITUDINAL STREET SLOPE AND STREET NAMES. ON STREETS WHERE THE LONGITUDINAL SLOPE IS STEEPER THAN 2.5%, WATTLE/MULCH SOCKS OR J-HOOK SILT FENCE SHALL BE SHOWN IN THE FRONT YARD SWALE OR ON THE SIDE OF THE STREET.

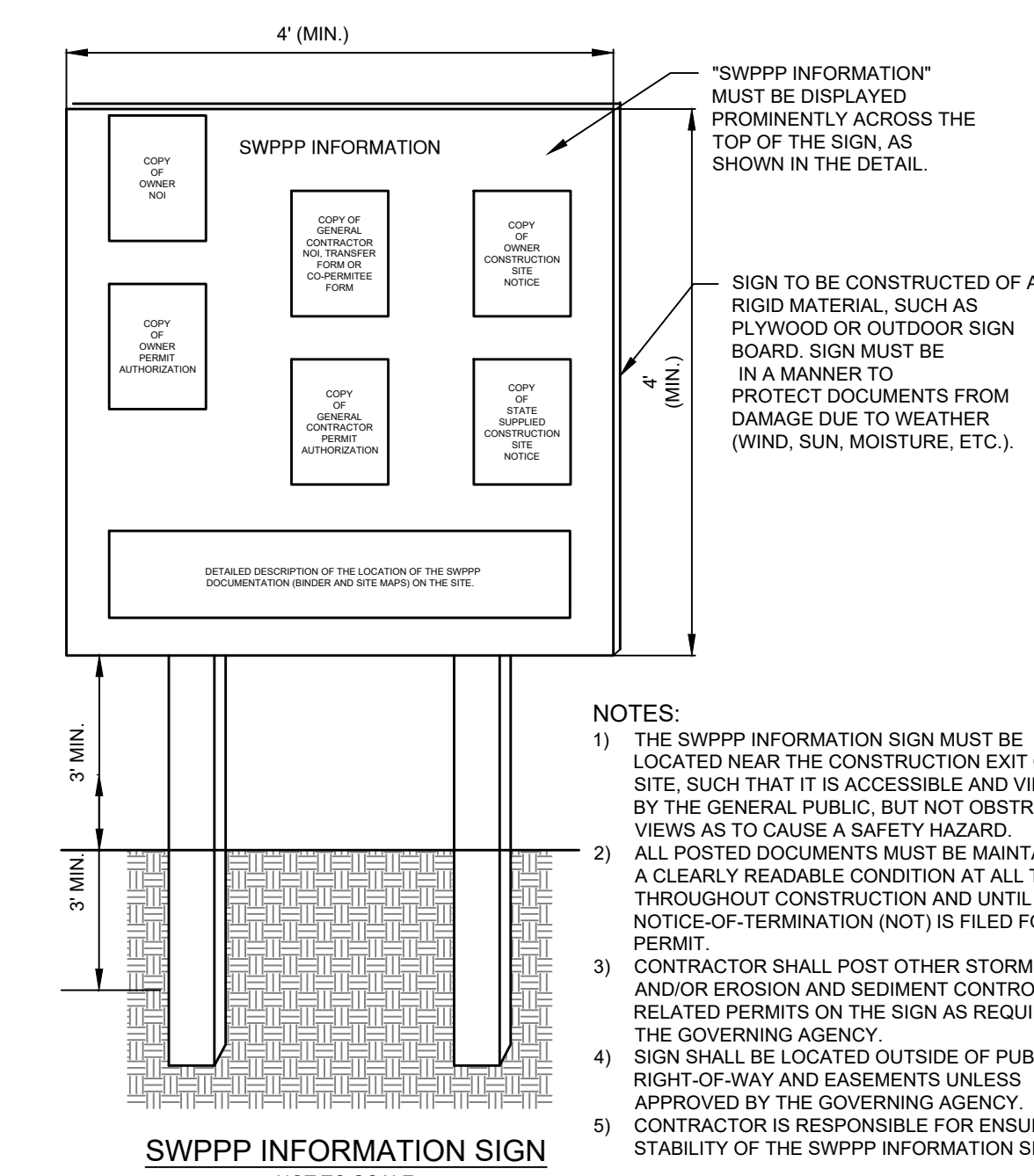
NOTE: THESE DRAWINGS ARE TO BE USED TO ACQUIRE PERMITS FROM JURISDICTIONAL GOVERNMENTAL AGENCIES AND ARE NOT TO BE RELIED UPON FOR PROJECT BIDDING PURPOSES OR FOR CONSTRUCTION UNLESS STAMPED, SIGNED AND DATED APPLICABLE CONSTRUCTION PERMITS ARE ISSUED.



STABILIZED CONSTRUCTION ENTRANCE



SILT FENCE DETAIL



SWPPP INFORMATION SIGN

- NOTES:
1) THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE CONSTRUCTION EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE AND VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
2) ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF-TERMINATION (NOT) IS FILED FOR THE PERMIT.
3) CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCY.
4) SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND ELEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
5) CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THE SWPPP INFORMATION SIGN.

Revision table with columns for Date, Description, and By/CHKD.

SOUDEUR, MILLER & ASSOCIATES Engineering • Environmental • Geomatics Serving the Southwest & Rocky Mountains 3500 Sedona Hills Pkwy. Las Cruces, NM 88011 Phone: (575) 647-0799 Fax: (575) 647-0680 www.soudermiller.com

ALBUQUERQUE, NEW MEXICO POPEYES COMMERCIAL SITE - 840 JUAN TABO BLVD. NE ALBUQUERQUE, NEW MEXICO

EROSION CONTROL PLAN - PHASE I

Professional Engineer seal for Michael D. Johnson, New Mexico, License No. 1162/24.

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS STAMPED, SIGNED AND DATED. Designated MJ, Draw DJF, Checked MJ. Date: November 2024. Scale: Horiz: AS SHOWN, Vert: AS SHOWN. Project No: 9432731. Sheet: C900.

GENERAL EROSION NOTES:

- 1. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE NPDES/EPA GENERAL PERMIT AND BECOME FAMILIAR WITH THEIR CONTENTS.
2. GENERAL CONTRACTOR SHALL IMPLEMENT STORM WATER CONTROLS AS REQUIRED BY NPDES. ADDITIONAL STORM WATER CONTROLS SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER, THROUGHOUT CONSTRUCTION.
3. STORM WATER CONTROLS SHALL CONFORM TO FEDERAL, STATE AND LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. GENERAL CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
4. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
5. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, AND PAINTING-PLASTER TOOLS CLEANING) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
6. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOATING BLOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS OR LEAKS.
7. THE USE OF MOTOR OILS AND OTHER HYDROCARBON BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
8. RUBBISH, TRASH, GARBAGE, LITTER OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE.
9. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS SITE MAP SHALL BE INITIATED AS SOON AS PRACTICABLE.
10. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED FOLLOWING LANDSCAPING SPECIFICATIONS OUTLINED IN LANDSCAPING PLAN. THESE AREAS SHALL BE STABILIZED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURS IN THESE AREAS. AREAS OF PERMANENT STABILIZATION THAT ARE NOT COVERED BY THE LANDSCAPE PLAN ARE TO USE MULCH AND/OR COMPOST BLANKETS AND/OR SIMILAR TO PREVENT THE TRANSPORTATION OF SOIL.
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12. IF THE ACTION OF VEHICLE TRAVELING OVER THE CONSTRUCTION ENTRANCE/EXIT IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF SITE.
13. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND OVER EXCAVATION FOR BUILDING FOOTINGS.
14. DUE TO THE CHANGE IN GRADING AND THE REQUIREMENTS OF CONSTRUCTION OPERATIONS THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ADJUSTING THE STORM WATER CONTROLS (STRAW WADDLES, EARTH BERMS, ETC.) TO PREVENT EROSION ON A DAILY BASIS AS PER CONSTRUCTION SCHEDULE.

GOOD HOUSE KEEPING PRACTICES:

- 1. THE CONTRACTOR SHALL ESTABLISH A CONCRETE WASHOUT PIT BEFORE THE START OF CONSTRUCTION AND MARK ITS LOCATION ON THE SITE MAP.
2. A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED AT THE SITE ENTRANCE AS DETERMINED BY THE CONTRACTOR.
3. THE CONTRACTOR SHALL ESTABLISH A COMPREHENSIVE DUST CONTROL PLAN TO LIMIT OFF-SITE SEDIMENTATION BY CONTROLLING THE SITES POTENTIAL FOR PRODUCING AIRBORNE FUGITIVE DUST AND TRACK-OUT OF SEDIMENTS.
4. SANITARY FACILITIES ARE REQUIRED FOR ALL WORK SITES OR CONSTRUCTION AREAS.
5. SOLID WASTE MATERIALS SHALL BE STORED AND COLLECTED BY A PRIVATE WASTE DISPOSAL CONTRACTOR. NO CONSTRUCTION WASTE MATERIALS SHALL BE DISPOSED OF OR BURIED ON-SITE.
6. THE CONTRACTOR SHALL ESTABLISH AN EQUIPMENT MAINTENANCE PLAN TO REDUCE CONTAMINATION OF ON-SITE SOILS.
7. CONSTRUCTION MATERIALS AND CHEMICALS SHALL BE STORED IN COVERED STORAGE AREAS THAT HAVE A SPILL PROOF PERIMETER AROUND IT. LOCATE CHEMICAL STORAGE AREAS AWAY FROM LOW LYING AREAS AND DRAINAGE PATHS.
8. THE CONTRACTOR SHALL ESTABLISH A SPILL PREVENTION PLAN THAT INCLUDES MEASURES TO LIMIT THE SCOPE OF A SPILL AND MINIMIZE ENVIRONMENTAL DAMAGE. IN THE EVENT OF A SPILL OF A HAZARDOUS SUBSTANCE, THE RESPONSIBLE PARTY SHALL IMMEDIATELY NOTIFY THE NATIONAL RESPONSE CENTER (800-948-6802 OR 202-426-8775), THE NEW MEXICO DEPARTMENT OF ENVIRONMENT AND LOCAL REGULATIONS, AND THE LOCAL FIRE DEPARTMENT (761-429-4298).

MAINTENANCE:

- 1. ALL STORM WATER CONTROLS STATED ON THIS SITE MAP SHALL BE MAINTAINED IN FULL FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL STORM WATER CONTROLS SHALL BE CHECKED AND REPAIRED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE NPDES/EPA PERMIT REQUIREMENTS.
2. BUILT UP SEDIMENT SHALL BE REMOVED FROM SILT FENCES AND WADDLES WHEN IT REACHES 1/2 THE HEIGHT, OR AS NECESSARY FOR MAINTENANCE. IF FABRIC BECOMES CLOGGED, IT SHOULD BE CLEANED OR REPLACED, IF NECESSARY.
3. HARDENED CONCRETE SHALL BE REMOVED FROM CONCRETE WASHOUT AREA ON A REGULAR BASIS.
4. THE CONSTRUCTION ENTRANCE/EXIT SHALL BE PERIODICALLY RE-GRADED AND/OR TOP DRESSED WITH ADDITIONAL STONE TO KEEP THE EFFICIENCY OF THE ENTRANCE FROM DIMINISHING. WHEN SEDIMENT HAS SUBSTANTIALLY CLOGGED THE VOID AREA BETWEEN THE ROCKS, THE AGGREGATE MUST BE WASHED DOWN AND/OR REPLACED.
5. CONSTRUCTION ENTRANCE/EXIT AREA SHALL BE INSPECTED FOR OFF-SITE TRACKING AND SWEEP AS NECESSARY.
6. SANITARY WASTES SHALL BE COLLECTED FROM PORTABLE SANITARY FACILITIES NOT LESS THAN ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR OR AS REQUIRED BY STATE AND LOCAL REGULATIONS.
7. SOLID WASTE COLLECTION SHALL NOT BE LESS THAN BI-WEEKLY OR MORE OFTEN IF NECESSARY.
8. THE STORAGE/STAGING AND MASON'S AREAS SHALL BE CLEARED OF DEBRIS, ANY DEBRIS AND/OR SEDIMENT REACHING THE PUBLIC STREET SHALL BE CLEARED IMMEDIATELY FROM THE STREET ADJACENT TO THESE FEATURES.

SEQUENCE OF CONSTRUCTION:

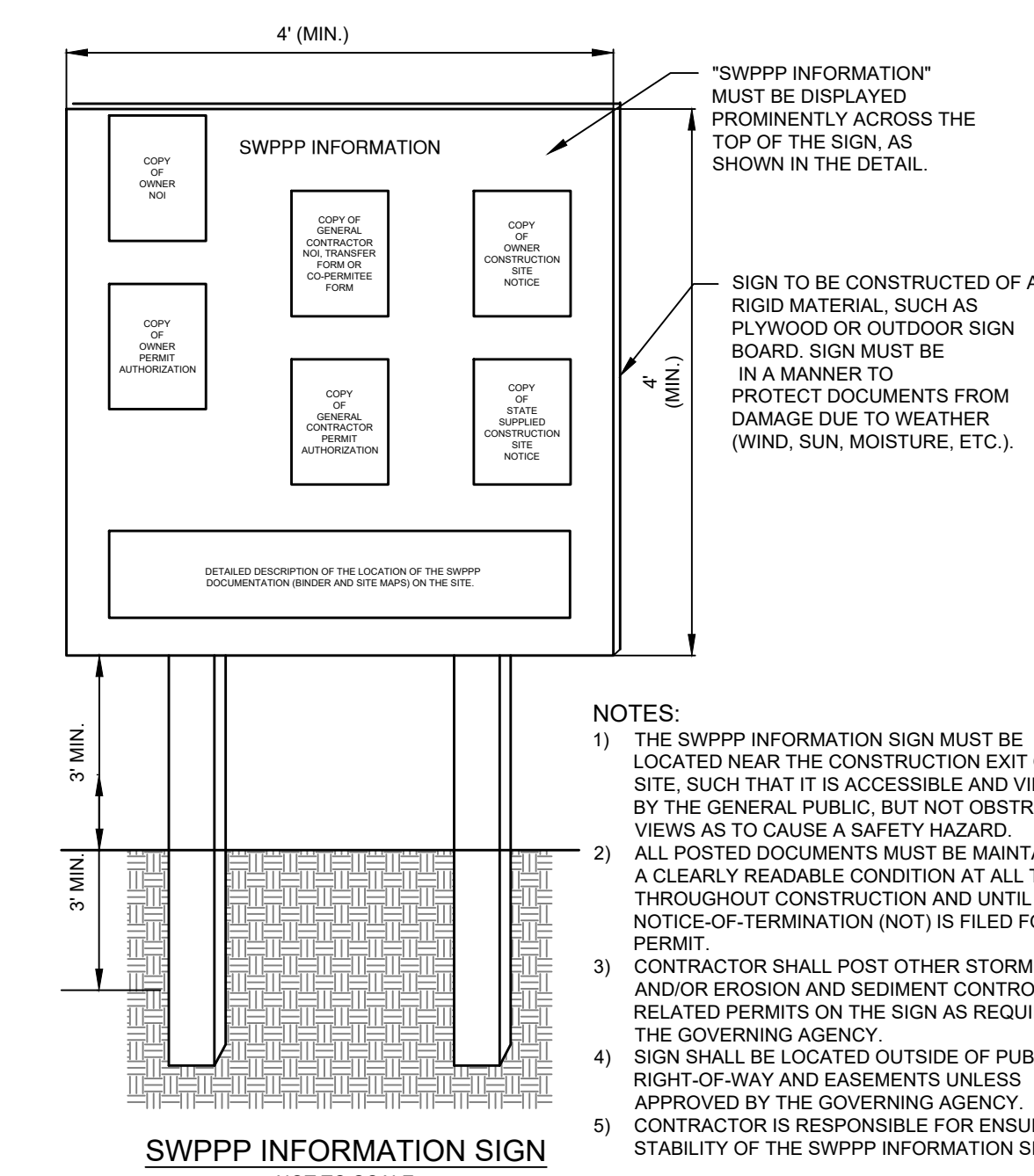
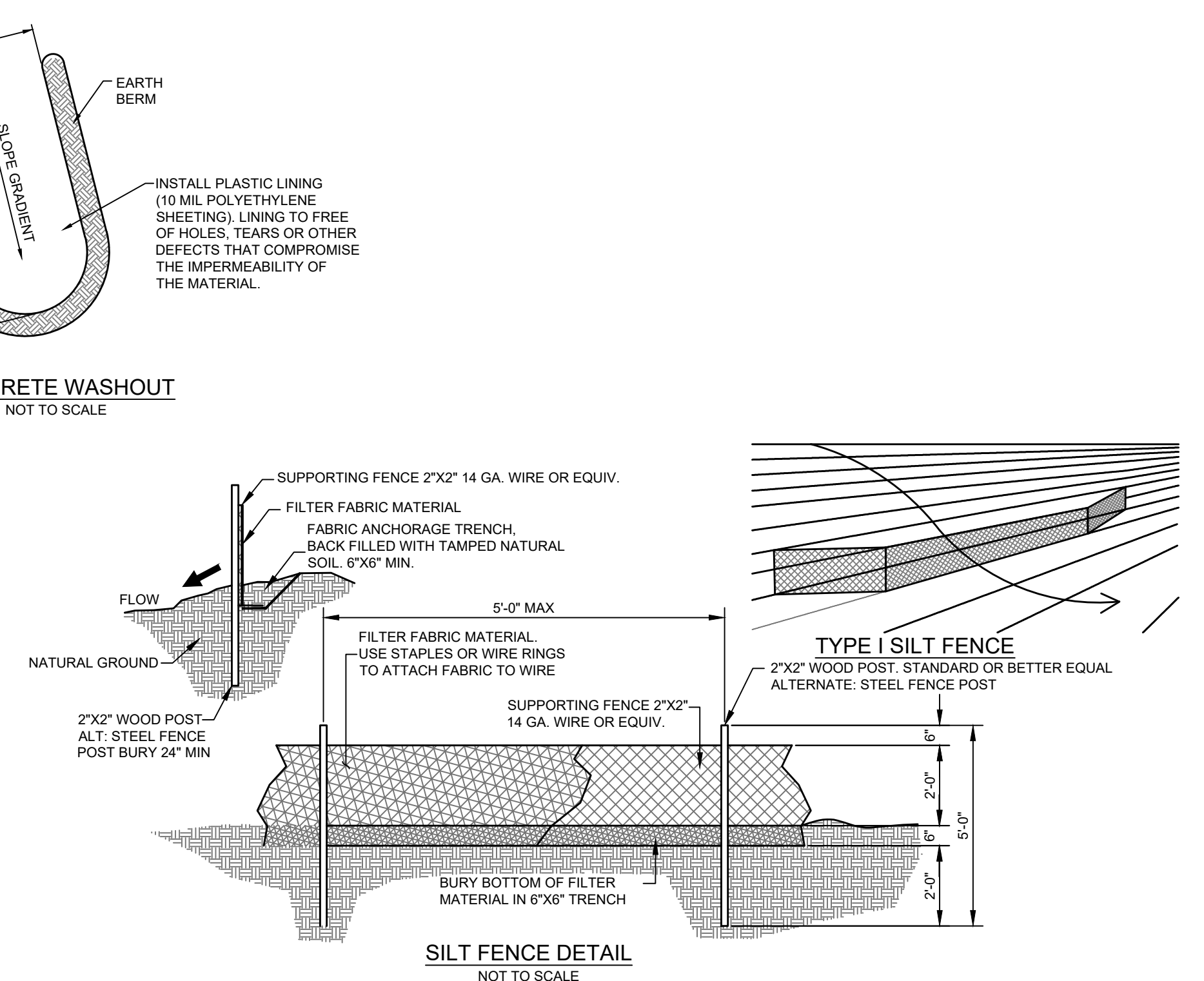
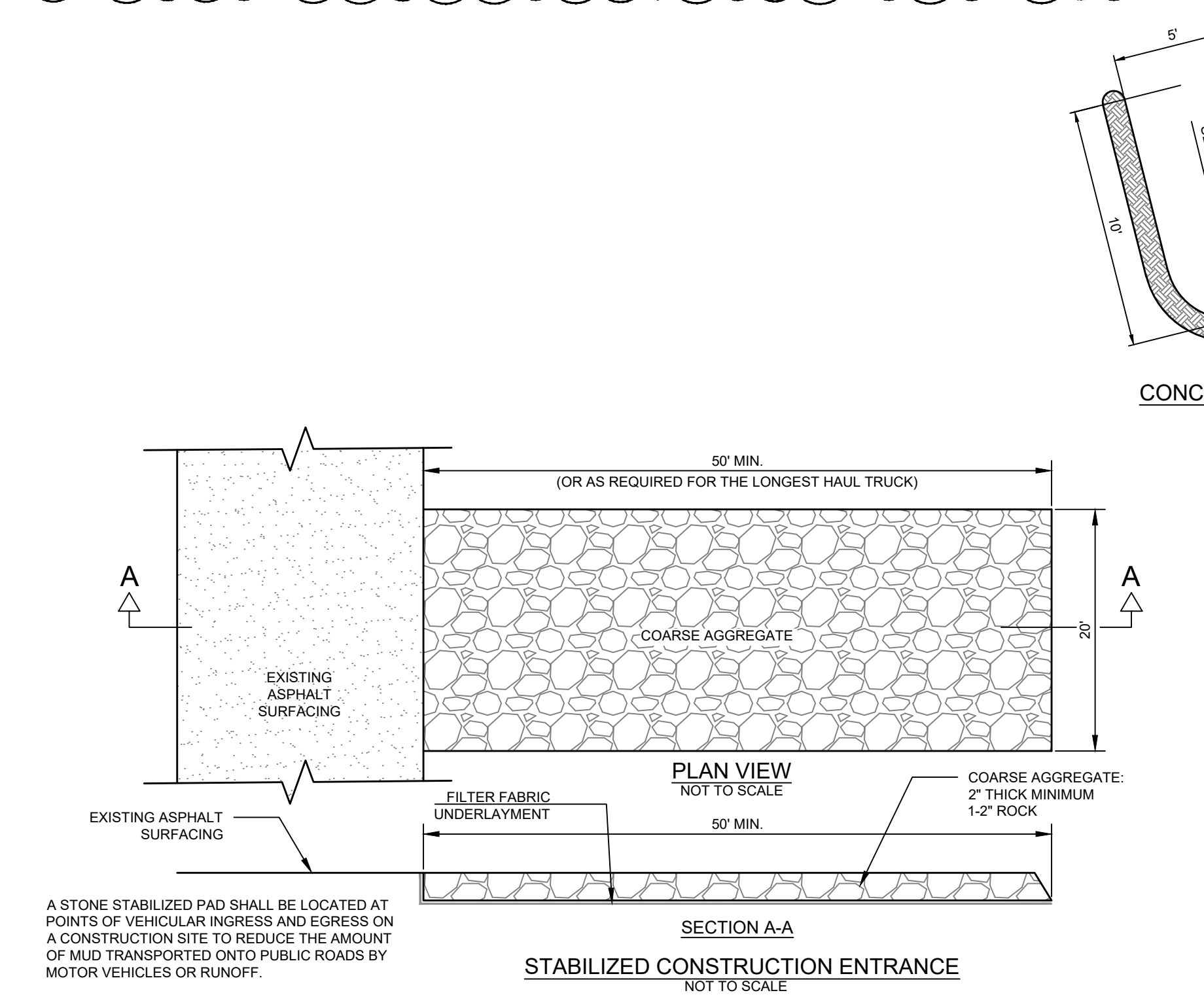
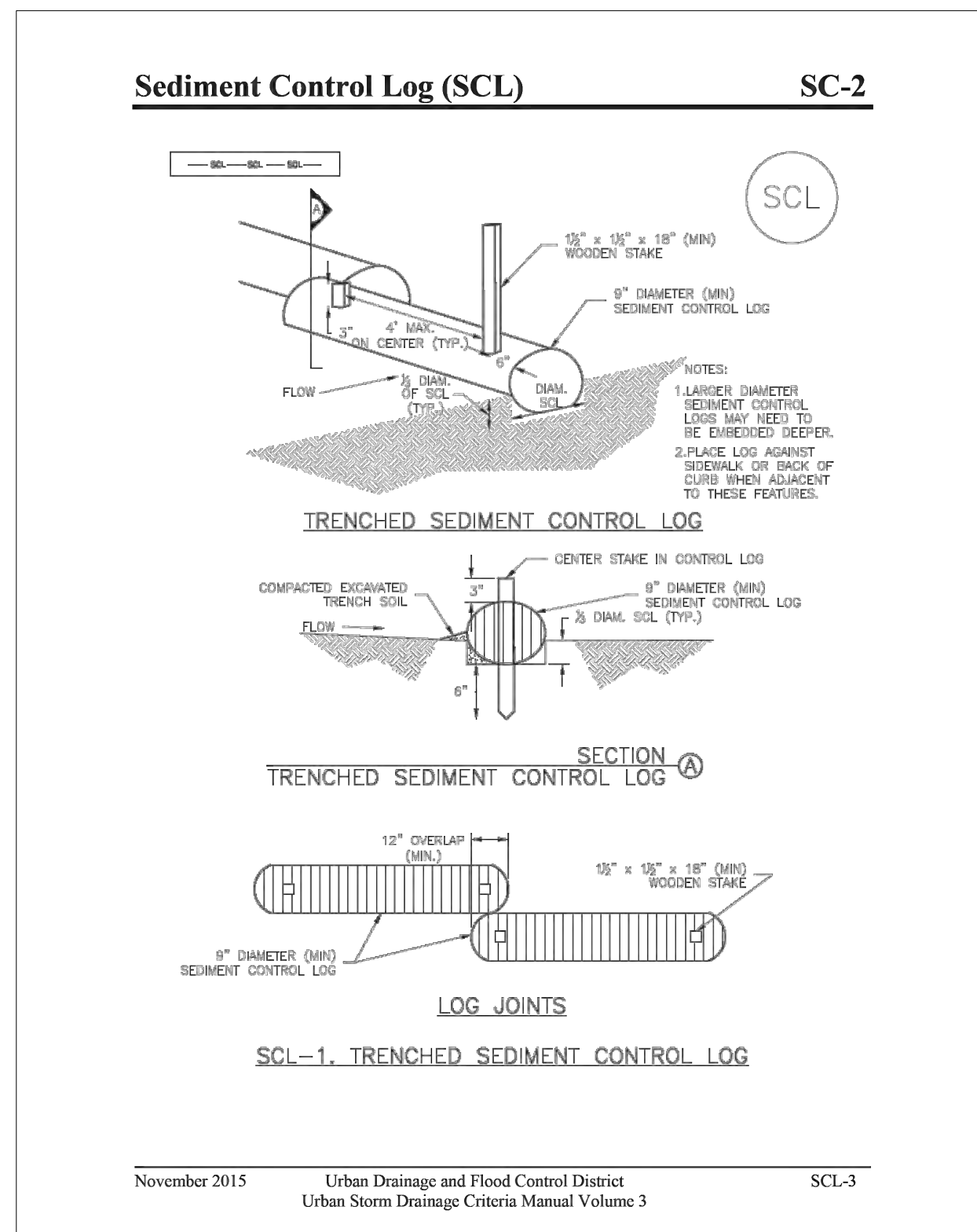
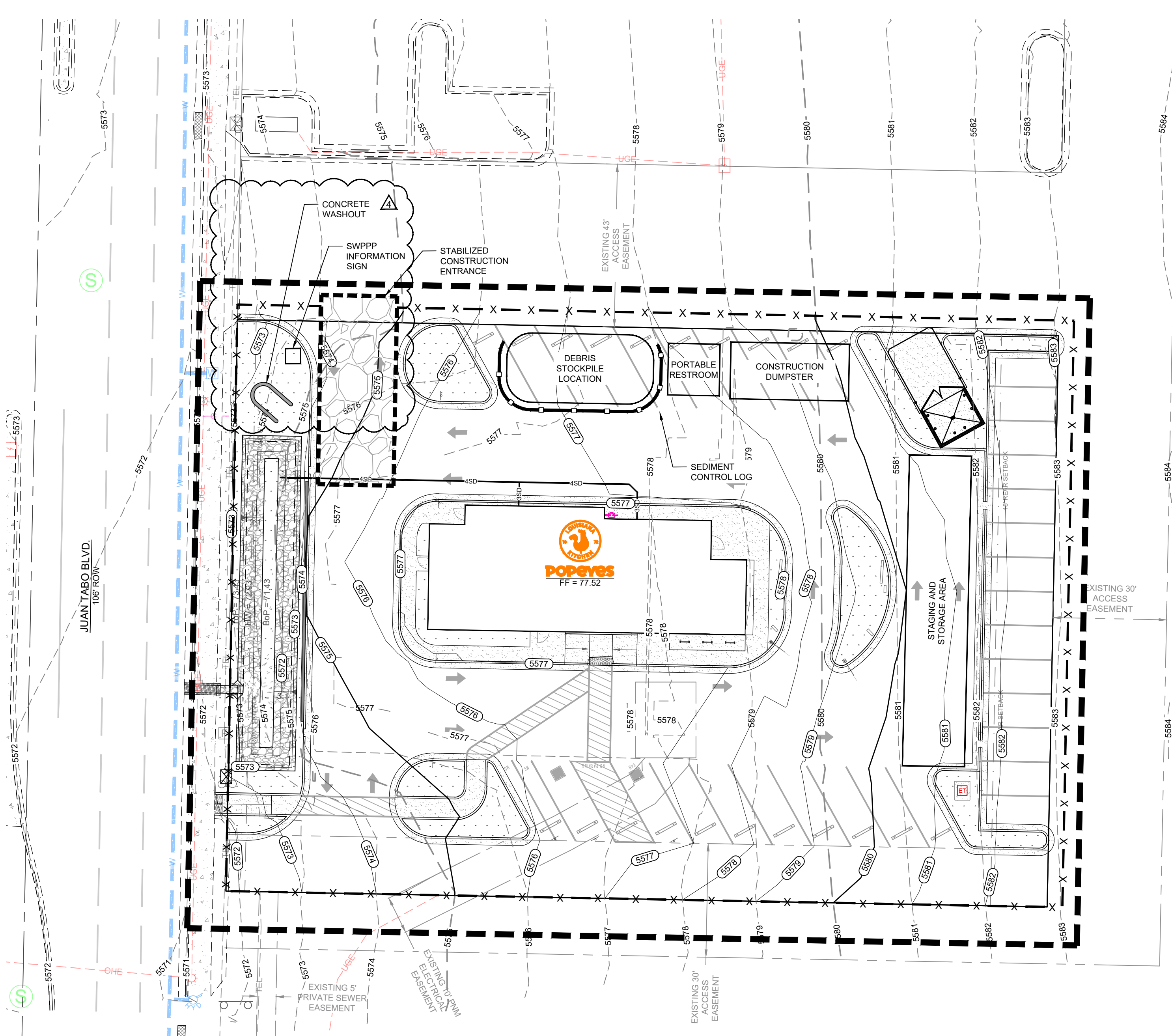
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- PHASE 1
1. INSTALL SWPPP INFORMATION SIGN.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE/EXIT.
3. PREPARE STORAGE/STAGING AND MASON'S AREAS. UPON IMPLEMENTATION AND INSTALLATION, DENOTE THE FOLLOWING AREAS ON THIS PLAN: TRAILER PARKING, PORTABLE SANITARY FACILITIES, WASHOUT MATERIAL STORAGE CONTAINERS, AND SOLID WASTE CONTAINERS.
4. INSTALL SILT FENCE - A STRIP OF PAVEMENT WILL NEED TO BE REMOVED PRIOR TO INSTALLATION.
5. REMOVE AND DEMOLISH EXISTING STRUCTURES.
6. REMOVE AND DEMOLISH EXISTING ASPHALT.
7. REMOVE AND DEMOLISH EXISTING BUILDING.
8. CLEAR AND GRUB THE SITE.
9. BEGIN GRADING THE SITE.
10. TEMPORARY STABILIZE STOCKPILE AREAS.
PHASE 2
1. BUILDING CONSTRUCTION
2. INSTALL UTILITIES.
3. INSTALL CONCRETE CURB AND GUTTERS.
4. INSTALL CONCRETE SIDEWALKS AND PADS.
5. INSTALL POND.
6. INSTALL TRASH ENCLOSURE.
7. INSTALL LANDSCAPING.
PHASE 3
1. BEGIN PAVING OPERATIONS.
2. INSTALL SIGNING AND STRIPING.
3. INSPECT AND CLEAN UP SITE.
4. REMOVE TEMPORARY STORM WATER CONTROLS (ONLY IF SITE IS "FINAL STABILIZED" AS PER 2017 CGP).
5. FILE OWNER AND OPERATION NOTICE OF TERMINATION (NOT).

THE ACTUAL SCHEDULE FOR IMPLEMENTING STORM WATER CONTROLS WILL BE DETERMINED BY PROJECT CONSTRUCTION PROGRESS AND RECORDED BY THE CONTRACTOR ON THE SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE ON THIS PLAN.

LEGEND
4005 = EXISTING MAJOR CONTOUR
4002 = EXISTING MINOR CONTOUR
= PROPERTY LINE
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= STABILIZED CONSTRUCTION ENTRANCE
X X X X X = PROPOSED SILT FENCE
X X X X X = PROPOSED SEDIMENT CONTROL LOGS

PROJECT AREA:
TOTAL SITE AREA = 0.752 AC.
TOTAL DISTURBED AREA = 0.752 AC.



- ESC PLAN STANDARD NOTES (2023-06-16)
1. ALL EROSION AND SEDIMENT CONTROL (ESC) WORK ON THESE PLANS, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON SHALL BE PERMITTED, CONSTRUCTED, INSPECTED, AND MAINTAINED IN ACCORDANCE WITH:
1.1. THE CITY ORDINANCE § 14-5-2-11, THE ESC ORDINANCE.
1.2. THE EPA'S 2022 CONSTRUCTION GENERAL PERMIT (CGP), AND
1.3. THE CITY OF ALBUQUERQUE CONSTRUCTION BMP MANUAL.
2. ALL BMP'S MUST BE INSTALLED PRIOR TO BEGINNING ANY EARTH MOVING ACTIVITIES EXCEPT AS SPECIFIED HEREON IN THE PHASING PLAN. CONSTRUCTION OF EARTHEN BMP'S SUCH AS SEDIMENT TRAPS, SEDIMENT BASINS, CONSTRUCTION OF EARTHEN BMP'S MUST BE COMPLETED AND INSPECTED PRIOR TO ANY OTHER CONSTRUCTION OR EARTHWORK. SELF-INSPECTION IS REQUIRED AFTER INSTALLATION OF THE BMP'S AND PRIOR TO BEGINNING CONSTRUCTION.
3. SELF-INSPECTIONS - IN ACCORDANCE WITH CITY ORDINANCE § 14-5-2-11(C)(1), "AT A MINIMUM A ROUTINE SELF-INSPECTION IS REQUIRED TO REVIEW THE PROJECT FOR COMPLIANCE WITH THE CONSTRUCTION GENERAL PERMIT ONCE EVERY 14 DAYS AND AFTER ANY PRECIPITATION EVENT OF 1/4 INCH OR GREATER UNTIL THE SITE CONSTRUCTION HAS BEEN COMPLETED AND THE SITE DETERMINED AS STABILIZED BY THE CITY. REPORTS OF THESE INSPECTIONS SHALL BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST. CORRECTIVE ACTION REPORTS MUST BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST.
5. FINAL STABILIZATION AND NOTICE OF TERMINATION (NOT) - IN ACCORDANCE WITH CITY ORDINANCE § 14-5-2-11(C)(1), SELF-INSPECTIONS MUST CONTINUE UNTIL THE SITE IS "DETERMINED AS STABILIZED BY THE CITY." THE PROPERTY OWNER/OPERATOR IS RESPONSIBLE FOR DETERMINING WHEN THE "CONDITIONS FOR TERMINATING CGP COVERAGE" PER CGP PART 8.2 ARE SATISFIED AND THEN FOR FILING THEIR NOTICE OF TERMINATION (NOT) WITH THE EPA. EACH OPERATOR MAY TERMINATE CGP COVERAGE ONLY IF ONE OR MORE OF THE CONDITIONS IN PART 8.2.1, 8.2.2, OR 8.2.3 HAS OCCURRED. AFTER FILING THE NOT WITH THE EPA, THE PROPERTY OWNER IS RESPONSIBLE FOR DETERMINING A DETERMINATION OF STABILIZATION FROM THE CITY. WHEN DOING WORK IN THE CITY RIGHT-OF-WAY (E.G. SIDEWALK, DRIVE PADS, UTILITIES, ETC.) PREVENT DIRT FROM GETTING INTO THE STREET. IF DIRT IS PRESENT IN THE STREET, THE STREET SHOULD BE SWEEPED DAILY OR PRIOR TO A RAIN EVENT OR OTHER CONSTRUCTION RELATED WATER EVENT (E.G. CURB CUT OR WATER TEST). WHEN INSTALLING UTILITIES BEHIND THE CURB, THE EXCAVATED DIRT SHOULD NOT BE PLACED IN THE STREET.
8. WHEN CUTTING THE STREET FOR UTILITIES THE DIRT SHALL BE PLACED ON THE UPHILL SIDE OF THE STREET CUT AND THE AREA SWEEPED AFTER THE WORK IS COMPLETE. A WATTLE OR MULCH SOCK MAY BE PLACED AT THE TOE OF THE EXCAVATED DIRT PILE IF SITE CONSTRAINTS DO NOT ALLOW PLACING THE EXCAVATED DIRT ON THE UPHILL SIDE OF THE STREET CUT.
9. ESC PLANS MUST SHOW LONGITUDINAL STREET SLOPE AND STREET NAMES. ON STREETS WHERE THE LONGITUDINAL SLOPE IS STEEPER THAN 2.5%, WATTLES/MULCH SOCKS OR J-HOOK SILT FENCE SHALL BE SHOWN IN THE FRONT YARD SWALE OR ON THE SIDE OF THE STREET.

NOTE: THESE DRAWINGS ARE TO BE USED TO ACQUIRE PERMITS FROM JURISDICTIONAL GOVERNMENTAL AGENCIES AND ARE NOT TO BE RELIED UPON FOR PROJECT BIDDING PURPOSES OR FOR CONSTRUCTION UNLESS STAMPED, SIGNED AND DATED APPLICABLE CONSTRUCTION PERMITS ARE ISSUED.

Logos for Louisiana Kitchen, nm811 Professional Resources for Prevention, and Popeyes. Includes a note about line locate and a date stamp for 11/6/24.

Project information table with columns for Description, Date, and Rev. Includes project name: POPEYES COMMERCIAL SITE - 840 JUAN TABO BLVD. NE, ALBUQUERQUE, NEW MEXICO. EROSION CONTROL PLAN - PHASE II. Also includes a professional seal for Michael D. Johnson, P.E., License No. 116824.

GENERAL EROSION NOTES:

- 1. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE NPDES/EPA GENERAL PERMIT AND BECOME FAMILIAR WITH THEIR CONTENTS.
2. GENERAL CONTRACTOR SHALL IMPLEMENT STORM WATER CONTROLS AS REQUIRED BY NPDES. ADDITIONAL STORM WATER CONTROLS SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER, THROUGHOUT CONSTRUCTION.
3. STORM WATER CONTROLS SHALL CONFORM TO FEDERAL, STATE AND LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE, GENERAL CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
4. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
5. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, AND PAINTING-PLASTER TOOLS CLEANING) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
6. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOATING BLOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS OR LEAKS.
7. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
8. RUBBISH, TRASH, GARBAGE, LITTER OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE.
9. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS SITE MAP SHALL BE INITIATED AS SOON AS PRACTICABLE.
10. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED FOLLOWING LANDSCAPING SPECIFICATIONS OUTLINED IN LANDSCAPING PLAN. THESE AREAS SHALL BE STABILIZED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURS IN THESE AREAS. AREAS OF PERMANENT STABILIZATION THAT ARE NOT COVERED BY THE LANDSCAPE PLAN ARE TO USE MULCH AND/OR COMPOST BLANKETS AND/OR SIMILAR TO PREVENT THE TRANSPORTATION OF SOIL.
11. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY STOPPED SHALL BE TEMPORARILY STABILIZED USING SWCS SUCH AS MULCH AND/OR EROSION CONTROL BLANKETS AND/OR SIMILAR. THESE AREAS SHALL BE STABILIZED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURS IN THOSE AREAS. INSTALLATION AND MAINTENANCE SCHEDULE SHALL BE IMPLEMENTED ON AN AS-NEED BASIS DETERMINED BY THE CONTRACTOR/OWNER.
12. IF THE ACTION OF VEHICLE TRAVELING OVER THE CONSTRUCTION ENTRANCE/EXIT IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF SITE.
13. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND OVER EXCAVATION FOR BUILDING FOOTINGS.
14. DUE TO THE CHANGE IN GRADING AND THE REQUIREMENTS OF CONSTRUCTION OPERATIONS THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ADJUSTING THE STORM WATER CONTROLS (STRAW WADDELS, EARTH BERMS, ETC.) TO PREVENT EROSION ON A DAILY BASIS AS PER CONSTRUCTION SCHEDULE.

GOOD HOUSE KEEPING PRACTICES:

- 1. THE CONTRACTOR SHALL ESTABLISH A CONCRETE WASHOUT PIT BEFORE THE START OF CONSTRUCTION AND MARK ITS LOCATION ON THE SITE MAP.
2. A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED AT THE SITE ENTRANCE AS DETERMINED BY THE CONTRACTOR.
3. THE CONTRACTOR SHALL ESTABLISH A COMPREHENSIVE DUST CONTROL PLAN TO LIMIT OFF-SITE SEDIMENTATION BY CONTROLLING THE SITES POTENTIAL FOR PRODUCING AIRBORNE FUGITIVE DUST AND TRACK-OUT OF SEDIMENTS.
4. SANITARY FACILITIES ARE REQUIRED FOR ALL WORK SITES OR CONSTRUCTION AREAS.
5. SOLID WASTE MATERIALS AND DISPOSED OF WITHIN DUMPSTER RENTED FROM AND COLLECTED BY A PRIVATE WASTE DISPOSAL CONTRACTOR. NO CONSTRUCTION WASTE MATERIALS SHALL BE DISPOSED OF OR BURIED ON-SITE.
6. THE CONTRACTOR SHALL ESTABLISH AN EQUIPMENT MAINTENANCE PLAN TO REDUCE CONTAMINATION OF ON-SITE SOILS.
7. CONSTRUCTION MATERIALS AND CHEMICALS SHALL BE STORED IN COVERED STORAGE AREAS THAT HAVE A SPILL PROOF PERIMETER AROUND IT. LOCATE CHEMICAL STORAGE AREAS AWAY FROM LOW LYING AREAS AND DRAINAGE PATHS.
8. THE CONTRACTOR SHALL ESTABLISH A SPILL PREVENTION PLAN THAT INCLUDES MEASURES TO LIMIT THE SCOPE OF A SPILL AND MINIMIZE ENVIRONMENTAL DAMAGE. IN THE EVENT OF A SPILL OF A HAZARDOUS SUBSTANCE, THE RESPONSIBLE PARTY SHALL IMMEDIATELY NOTIFY THE NATIONAL RESPONSE CENTER (800-424-9302 OR 202-426-8775), THE NEW MEXICO ENVIRONMENT DEPARTMENT (EMERGENCY LINE: 505-827-9329, NON-EMERGENCY LINE: 866-428-6535), AND THE LOCAL FIRE DEPARTMENT (575-439-4298).

MAINTENANCE:

- 1. ALL STORM WATER CONTROLS STATED ON THIS SITE MAP SHALL BE MAINTAINED IN FULL FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL STORM WATER CONTROLS SHALL BE CHECKED AND REPAIRED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE NPDES/EPA PERMIT REQUIREMENTS.

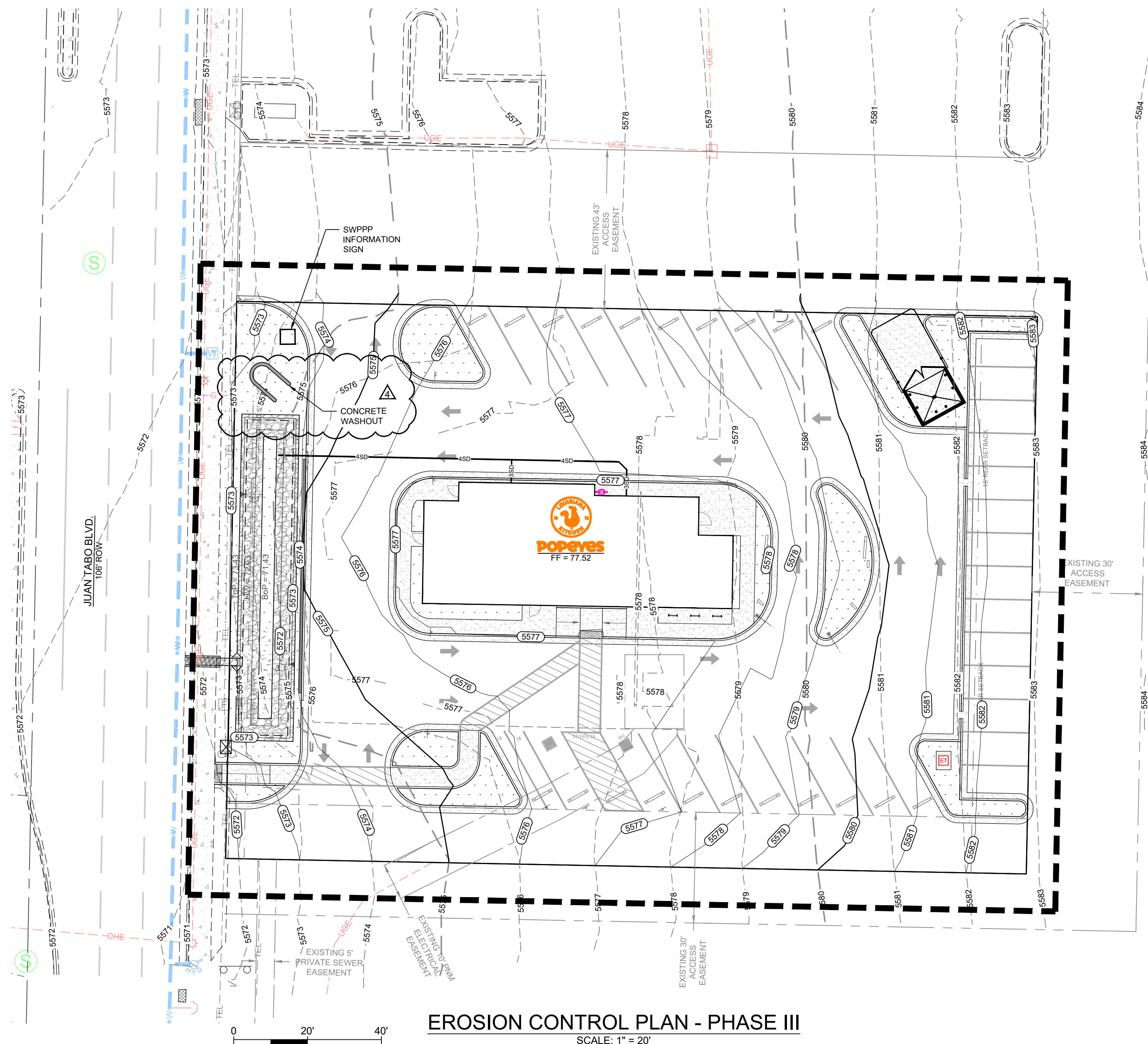
- 1. BUILT UP SEDIMENT SHALL BE REMOVED FROM SILT FENCES AND WADDELS WHEN IT REACHES 1/2 THE HEIGHT, OR AS NECESSARY FOR MAINTENANCE. IF FABRIC BECOMES CLOGGED, IT SHOULD BE CLEANED OR REPLACED, IF NECESSARY.
2. HARDENED CONCRETE SHALL BE REMOVED FROM CONCRETE WASHOUT AREA ON A REGULAR BASIS.
3. THE CONSTRUCTION ENTRANCE/EXIT SHALL BE PERIODICALLY RE-GRADED AND/OR TOP DRESSED WITH ADDITIONAL STONE TO KEEP THE EFFICIENCY OF THE ENTRANCE FROM DIMINISHING. WHEN SEDIMENT HAS SUBSTANTIALLY CLOGGED THE VOID AREA BETWEEN THE ROCKS, THE AGGREGATE MUST BE WASHED DOWN AND/OR REPLACED.
4. CONSTRUCTION ENTRANCE/EXIT AREA SHALL BE INSPECTED FOR OFF-SITE TRACKING AND SWEEP AS NECESSARY.
5. SANITARY WASTES SHALL BE COLLECTED FROM PORTABLE SANITARY FACILITIES NOT LESS THAN ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR OR AS REQUIRED BY STATE AND LOCAL REGULATIONS.
6. SOLID WASTE COLLECTION SHALL NOT BE LESS THAN BI-WEEKLY OR MORE OFTEN IF NECESSARY.
7. THE STORAGE/STAGING AND MASON'S AREAS SHALL BE CLEARED OF DEBRIS. ANY DEBRIS AND/OR SEDIMENT REACHING THE PUBLIC STREET SHALL BE CLEARED IMMEDIATELY BY A LICENSED STREET-CLEANING CONTRACTOR.

SEQUENCE OF CONSTRUCTION:

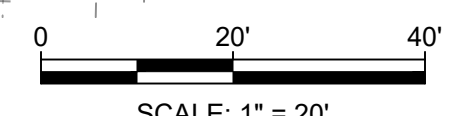
DESCRIBED BELOW ARE THE MAJOR CONSTRUCTION ACTIVITIES THAT ARE THE SUBJECT TO THIS PLAN. ALSO INCLUDED IN THE SEQUENCE ARE STORM WATER CONTROLS INSTALLATION ACTIVITIES THAT MUST TAKE PLACE PRIOR TO CONSTRUCTION ACTIVITIES. NOTE: DOWN SLOPE PROTECTIVE MEASURES MUST ALWAYS BE IN PLACE BEFORE SOIL IS DISTURBED. ACTIVITIES ARE PRESENTED IN THE SEQUENCE THEY ARE EXPECTED TO BE COMPLETED. CONTRACTOR TO IMMEDIATELY DENOTE ON THIS PLAN ANY CHANGES IN STORM WATER CONTROLS LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS. THE SEQUENCE OF CONSTRUCTION IS AS FOLLOWS:

- PHASE 1
1. INSTALL SWPPP INFORMATION SIGN.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE/EXIT.
3. PREPARE STORAGE/STAGING AND MASON'S AREAS. UPON IMPLEMENTATION AND INSTALLATION, DENOTE THE FOLLOWING AREAS ON THIS PLAN: TRAILER PARKING, PORTABLE SANITARY FACILITIES, WASHOUT MATERIAL STORAGE CONTAINERS, AND SOLID WASTE CONTAINERS.
4. INSTALL SILT FENCE - A STRIP OF PAVEMENT WILL NEED TO BE REMOVED PRIOR TO INSTALLATION.
5. REMOVE AND DEMOLISH EXISTING STRUCTURES.
6. REMOVE AND DEMOLISH EXISTING ASPHALT.
7. REMOVE AND DEMOLISH EXISTING BUILDINGS.
8. CLEAR AND GRUB THE SITE.
9. BEGIN GRADING THE SITE.
10. TEMPORARY STABILIZE STOCKPILE AREAS.
PHASE 2
1. BUILDING CONSTRUCTION
2. INSTALL UTILITIES.
3. INSTALL CONCRETE CURB AND GUTTERS.
4. INSTALL CONCRETE SIDEWALKS AND PADS.
5. INSTALL POND.
6. INSTALL TRASH ENCLOSURE.
7. INSTALL LANDSCAPING.
PHASE 3
1. BEGIN PAVING OPERATIONS.
2. INSTALL SIGNING AND STRIPING.
3. INSPECT AND CLEAN UP SITE.
4. REMOVE TEMPORARY STORM WATER CONTROLS (ONLY IF SITE IS "FINAL STABILIZED" AS PER 2017 CGP).
5. FILE OWNER AND OPERATION NOTICE OF TERMINATION (NOT).

THE ACTUAL SCHEDULE FOR IMPLEMENTING STORM WATER CONTROLS WILL BE DETERMINED BY PROJECT CONSTRUCTION PROGRESS AND RECORDED BY THE CONTRACTOR ON THE SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE ON THIS PLAN.

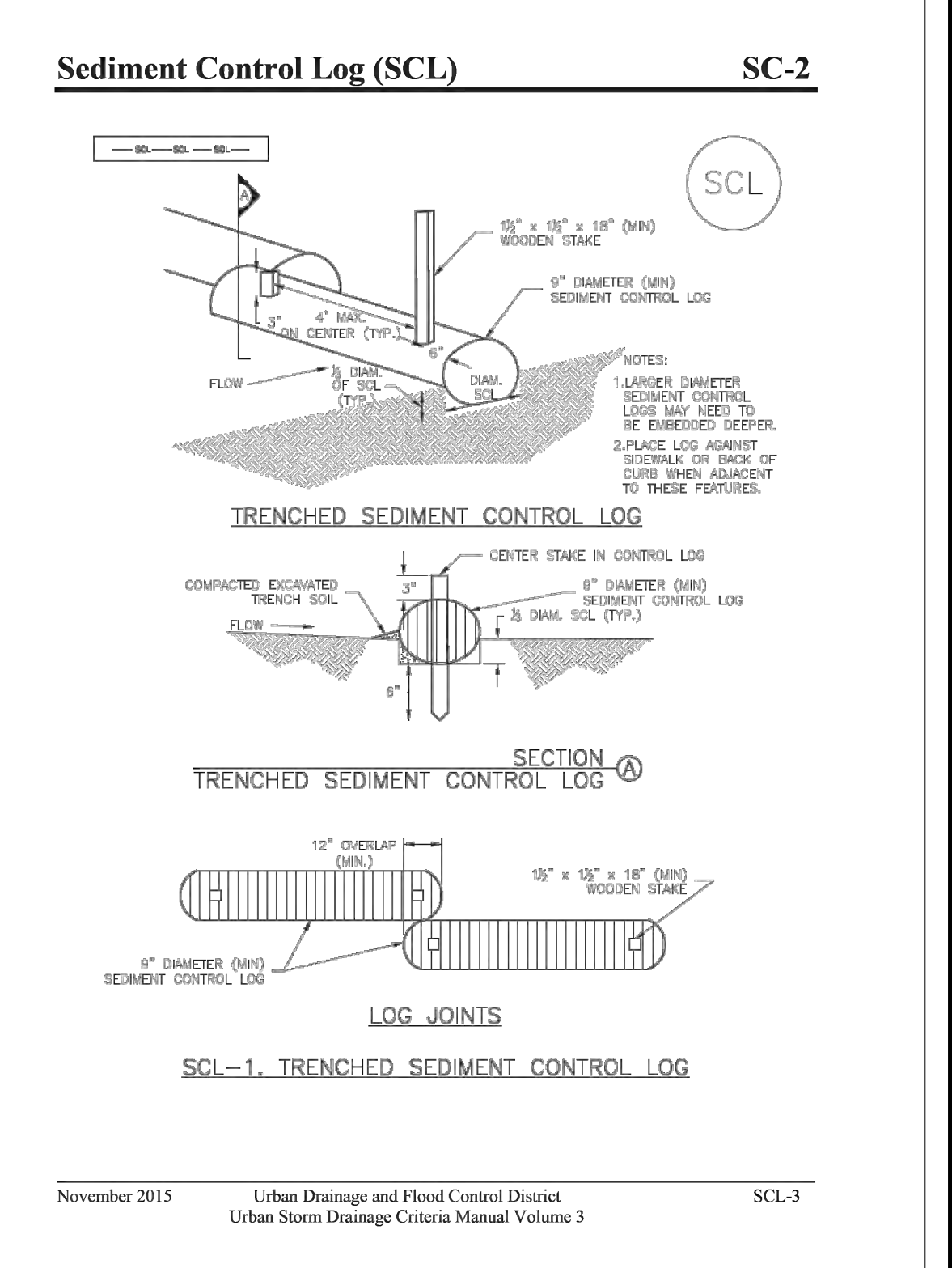


EROSION CONTROL PLAN - PHASE III

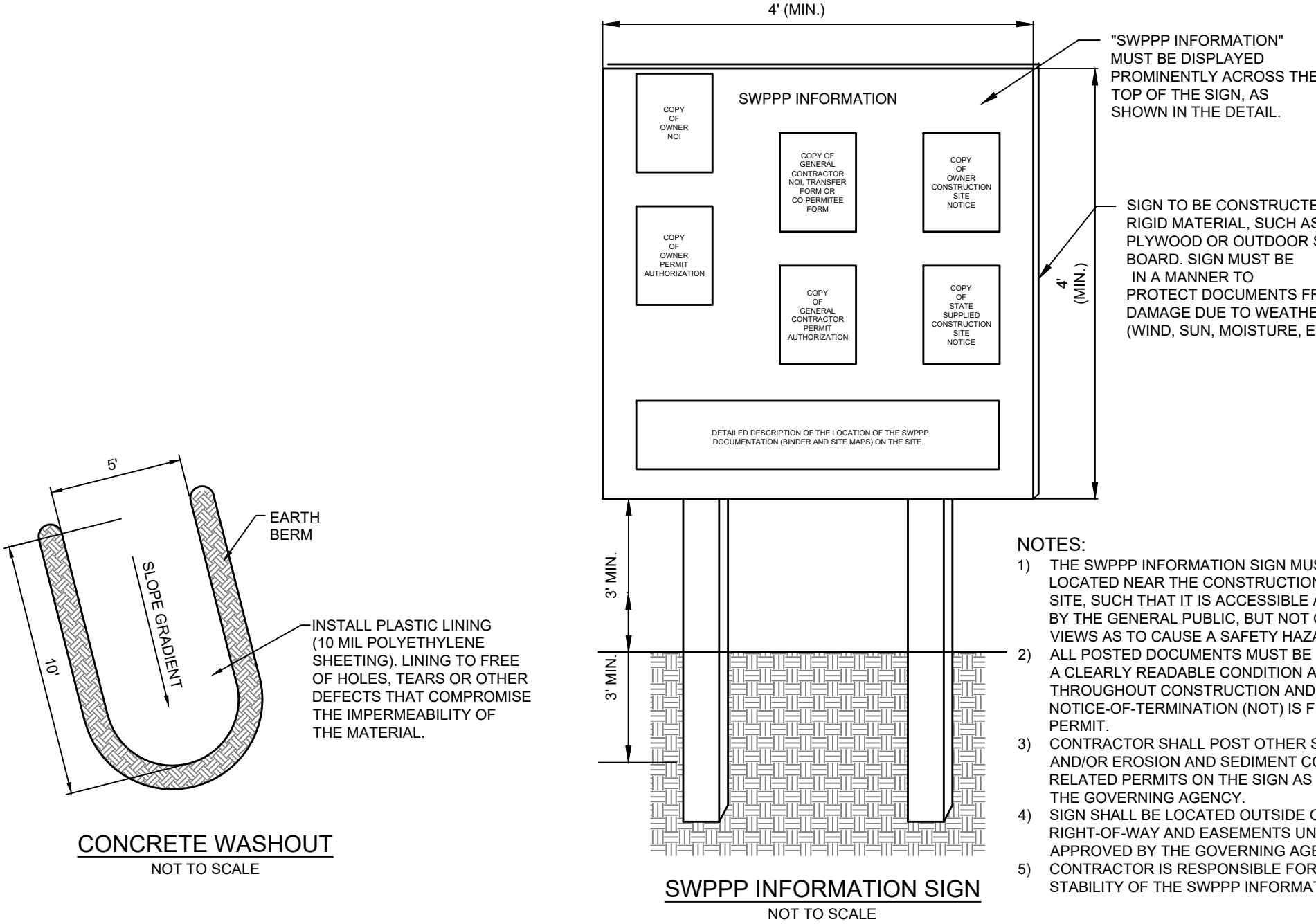


LEGEND table with symbols for 4005 and 4002 contours, property lines, project limits, stabilized construction entrance, proposed silt fence, and proposed sediment control logs.

PROJECT AREA table showing total site area (0.752 AC) and total disturbed area (0.752 AC).



- ESC PLAN STANDARD NOTES (2023-06-16)
1. ALL EROSION AND SEDIMENT CONTROL (ESC) WORK ON THESE PLANS, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON SHALL BE PERMITTED, CONSTRUCTED, INSPECTED, AND MAINTAINED IN ACCORDANCE WITH:
1.1. THE CITY ORDINANCE § 14-5-2-11, THE ESC ORDINANCE.
1.2. THE EPA'S 2022 CONSTRUCTION GENERAL PERMIT (CGP), AND
1.3. THE CITY OF ALBUQUERQUE CONSTRUCTION BMP MANUAL.
2. ALL BMP'S MUST BE INSTALLED PRIOR TO BEGINNING ANY EARTH MOVING ACTIVITIES EXCEPT AS SPECIFIED HEREON IN THE PHASING PLAN. CONSTRUCTION OF EARTHEN BMP'S SUCH AS SEDIMENT TRAPS, SEDIMENT BASINS, AND DIVERSION BERMS SHALL BE COMPLETED AND INSPECTED PRIOR TO ANY OTHER CONSTRUCTION OR EARTHWORK. SELF-INSPECTION IS REQUIRED AFTER INSTALLATION OF THE BMP'S AND PRIOR TO BEGINNING CONSTRUCTION.
3. SELF-INSPECTIONS - IN ACCORDANCE WITH CITY ORDINANCE § 14-5-2-11(C)(1), "AT A MINIMUM A ROUTINE SELF-INSPECTION IS REQUIRED TO REVIEW THE PROJECT FOR COMPLIANCE WITH THE CONSTRUCTION GENERAL PERMIT ONCE EVERY 14 DAYS AND AFTER ANY PRECIPITATION EVENT OF 1/4 INCH OR GREATER UNTIL THE SITE CONSTRUCTION HAS BEEN COMPLETED AND THE SITE DETERMINED AS STABILIZED BY THE CITY. REPORTS OF THESE INSPECTIONS SHALL BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST. CORRECTIVE ACTION REPORTS MUST BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST.
5. FINAL STABILIZATION AND NOTICE OF TERMINATION (NOT) - IN ACCORDANCE WITH CITY ORDINANCE § 14-5-2-11(C)(1), SELF-INSPECTIONS MUST CONTINUE UNTIL THE SITE IS "DETERMINED AS STABILIZED BY THE CITY." THE PROPERTY OWNER/OPERATOR IS RESPONSIBLE FOR DETERMINING WHEN THE "CONDITIONS FOR TERMINATING CGP COVERAGE" PER CGP PART 8.2 ARE SATISFIED AND THEN FOR FILING THEIR NOTICE OF TERMINATION (NOT) WITH THE EPA. EACH OPERATOR MAY TERMINATE CGP COVERAGE ONLY IF ONE OR MORE OF THE CONDITIONS IN PART 8.2.1, 8.2.2, OR 8.2.3 HAS OCCURRED. AFTER FILING THE NOT WITH THE EPA, THE PROPERTY OWNER IS RESPONSIBLE FOR REQUESTING A DETERMINATION OF STABILIZATION FROM THE CITY. WHEN DOING WORK IN THE CITY RIGHT-OF-WAY (E.G. SIDEWALK, DRIVE PADS, UTILITIES, ETC.) PREVENT DIRT FROM GETTING INTO THE STREET. IF DIRT IS PRESENT IN THE STREET, THE STREET SHOULD BE SWEEP DAILY OR PRIOR TO A RAIN EVENT OR CONTRACTOR INDUCED WATER EVENT (E.G. CURB CUT OR WATER TEST).
7. WHEN INSTALLING UTILITIES BEHIND THE CURB, THE EXCAVATED DIRT SHOULD NOT BE PLACED IN THE STREET.
8. WHEN CUTTING THE STREET FOR UTILITIES THE DIRT SHALL BE PLACED ON THE UPHILL SIDE OF THE STREET CUT AND THE AREA SWEEP AFTER THE WORK IS COMPLETE. A WATTLE OR MULCH SOCK MAY BE PLACED AT THE TOE OF THE EXCAVATED DIRT PILE IF SITE CONSTRAINTS DO NOT ALLOW PLACING THE EXCAVATED DIRT ON THE UPHILL SIDE OF THE STREET CUT.
9. ESC PLANS MUST SHOW LONGITUDINAL STREET SLOPE AND STREET NAMES. ON STREETS WHERE THE LONGITUDINAL SLOPE IS STEEPER THAN 2.5% WATTLES/MULCH SOCKS OR J-HOOD SILT FENCE SHALL BE SHOWN IN THE FRONT YARD SWALE OR ON THE SIDE OF THE STREET.



CONCRETE WASHOUT NOT TO SCALE

SWPPP INFORMATION SIGN NOT TO SCALE

- NOTES:
1) THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE CONSTRUCTION EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE AND VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
2) ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF-TERMINATION (NOT) IS FILED FOR THE PERMIT.
3) CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCY.
4) SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
5) CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THE SWPPP INFORMATION SIGN.

NOTE: THESE DRAWINGS ARE TO BE USED TO ACQUIRE PERMITS FROM JURISDICTIONAL GOVERNMENTAL AGENCIES AND ARE NOT TO BE RELIED UPON FOR PROJECT BIDDING PURPOSES OR FOR CONSTRUCTION UNTIL APPLICABLE CONSTRUCTION PERMITS ARE ISSUED.

Logos for Louisiana Kitchen, Professional Resources for Damage Prevention, and Popeyes. Includes a note about Louisiana state law regarding excavation and underground utilities.

Project metadata including revision table, description (SMA Engineering & Associates), date (11/6/24), sheet number (C902), and project name (POPEYES COMMERCIAL SITE - 840 JUAN TABO BLVD. NE ALBUQUERQUE, NEW MEXICO EROSION CONTROL PLAN - PHASE III).

LANDSCAPE GENERAL NOTES

GENERAL NOTES

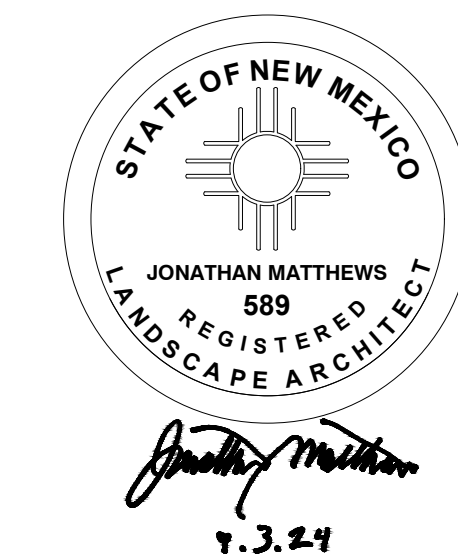
1. THE CONTRACTOR SHALL VISIT AND FAMILIARIZE THEMSELVES WITH THE PROJECT SITE PRIOR TO SUBMITTING THEIR BID. CONTRACTOR SHALL RECEIVE THE SITE IN EXISTING CONDITION.
2. WARNING! BEFORE EXCAVATING, CONTRACTOR SHALL LOCATE AND PROTECT ALL UNDERGROUND UTILITIES LINES INCLUDING SERVICE CONNECTIONS. CONTRACTOR SHALL REPLACE ANY UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES DURING CONSTRUCTION AT NO ADDITIONAL COST TO OWNER. ALL EXCAVATION SHALL BE BACKFILLED.
3. EXISTING UTILITY LINES ARE TO BE BLUE STAKED PRIOR TO EXCAVATION, CHECK AND FIELD VERIFY ALL SITE CONDITIONS, UTILITIES AND SERVICES PRIOR TO EXCAVATION. CONSTRUCTION WORK IN CLOSE PROXIMITY TO UNDERGROUND UTILITIES SHALL BE COORDINATED WITH APPROPRIATE AGENCY. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IF ANY CONFLICTS EXIST PRIOR TO THE COMMENCEMENT OF WORK.
4. PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO VERIFY LOCATION OF EXISTING UTILITIES & CONTRACTOR SHALL CALL THE RESPECTIVE "1-CALL" NUMBER AT LEAST THREE WEEKS IN ADVANCE FOR SUCH UTILITIES.
5. THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH OWNER, ALL AFFECTED UTILITY COMPANIES, AND ALL OTHER ENTITIES HAVING JURISDICTION OVER THE PROJECT.
6. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXCESS PLANTING SOIL, SUBSOIL, MULCH, PLANTS, PACKAGING, AND OTHER EXCESS MATERIAL, TRASH OR DEBRIS, WHICH WAS EITHER BROUGHT TO THE SITE BY THE CONTRACTOR OR EXCAVATED OR DEMOLISHED FROM THE SITE. THIS SHALL HAPPEN DAILY.
7. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES PRIOR TO COMMENCING WITH THE WORK. ANY DISCREPANCY NOTED SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE. FAILURE OF THE CONTRACTOR TO REPORT ANY FIELD AND PLAN DISCREPANCIES SHALL MAKE THE CONTRACTOR RESPONSIBLE FOR WORK THAT IS PERFORMED.
8. VIBRATORY ROLLERS SHALL NOT BE PERMITTED ON ANY PHASE OF THIS PROJECT, UNLESS APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
9. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN STRICT CONFORMANCE WITH ALL CURRENT SAFETY CODES AND STANDARDS, INCLUDING BUT NOT LIMITED TO OSHA REQUIREMENTS.
10. CONTRACTOR SHALL WATER THE SITE TWICE DAILY, IN THE MORNING AND IN THE AFTERNOON, IN ORDER TO KEEP DOWN DUST. THIS SHALL INCLUDE WATERING ON WEEKENDS AND HOLIDAYS, NO EXCEPTIONS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING IMPROVEMENTS IN THE PROJECT AREA AND ITS VICINITY. ANY DAMAGE RESULTING FROM CONTRACTOR'S WORK SHALL BE RESTORED AT NO COST TO OWNER.
12. CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL ENVIRONMENTAL REGULATIONS DURING CONSTRUCTION ACTIVITY.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ENVIRONMENTAL FINES RESULTING FROM THEIR WORK AND HOLD THE OWNER HARMLESS IN SUCH CASES.
14. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD-VERIFYING THE LOCATION (AND ELEVATION, WHERE RELEVANT) OF THE EXISTING SITE FEATURES. IF CONFLICTS ARE DISCOVERED BETWEEN WHAT IS SHOWN ON THE DRAWINGS AND WHAT IS PRESENT IN THE FIELD, THE CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THE AFFECTED AREA, REPORT THE DISCREPANCY TO THE OWNER'S REPRESENTATIVE, AND NOT PROCEED WITHOUT SPECIFIC WRITTEN DIRECTION.

PLANTING NOTES

1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PREVENT PLANTS FROM FALLING OR BEING BLOWN OVER AND TO STRAIGHTEN OR REPLANT ALL PLANTS WHICH ARE DAMAGED DUE TO WIND. PLANTS BLOWN OVER BY HIGH WINDS SHALL NOT BE A CAUSE FOR ADDITIONAL EXPENSE TO THE OWNER, BUT SHALL BE THE FINANCIAL RESPONSIBILITY OF CONTRACTOR.
2. TOPSOIL MATERIAL FOR PLANTING, SHALL BE FREE FROM HARD CLODS, STIFF CLAY, HARD PAN, STONES LARGER THAN 1" IN DIAMETER, NOXIOUS WEEDS AND PLANTS, SOD, PARTIALLY DISINTEGRATED DEBRIS, INSECTS OR ANY OTHER UNDESIRABLE MATERIAL INCLUDING PLANTS OR SEEDS THAT WOULD BE TOXIC OR HARMFUL TO GROWTH.
3. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF MATERIAL AND PLANT AND TREE QUANTITIES.
4. IN THE EVENT OF VARIATION BETWEEN THE PLANT QUANTITIES SHOWN ON THE PLANT LEGEND AND THE QUANTITIES SHOWN ON THE PLANS, THE PLANS SHALL CONTROL IMPROPER PLANT COUNT LISTED ON THE PLANT LEGEND MADE BY THE LANDSCAPE ARCHITECT SHALL BE NO CAUSE FOR ADDITIONAL COSTS TO THE OWNER.
5. THE CONTRACTOR SHALL MEET BOTH THE CONTAINER SIZE AND CALIPER SIZE, AS WELL AS HEIGHT AND SPREAD SPECIFICATIONS SPECIFIED.
6. EXCAVATE TWO TIMES GREATER THAN THE ROOT BALL-DIAMETER OF THE SHRUB, TWO TIMES GREATER THAN THE ROOT BALL FOR TREES. SCARIFY BOTTOM OF PLANTING PIT BEFORE PLACING PLANT. PLACEMENT OF PLANT SHALL BE PERPENDICULAR TO GROUND
7. CONTRACTOR WILL NOT PLANT MATERIAL SHOWN ON PLANS WHEN IT IS EVIDENT THAT FIELD CONDITIONS HAVE CHANGED SINCE PLANS WERE DRAWN. ANY CHANGES ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE BEFORE ANY PLANTING IS DONE IN THE AREA.
8. STEMS AND LEAVES TO BE REMOVED FROM LOWER PORTION OF TRUNKS OF TREES TO LEAVE A CLEAN APPEARANCE AND SO TREES APPEAR LESS LIKE SHRUBS AND MORE LIKE TREES.
9. PLANT SUBSTITUTIONS WILL BE PERMITTED WITH WRITTEN APPROVAL OF OWNER'S REPRESENTATIVE. REQUEST SUBSTITUTIONS IN WRITING GIVING REASONS FOR SUCH SUBSTITUTIONS. DOCUMENT THAT REASONABLE EFFORT HAS BEEN MADE TO LOCATE SPECIES ORIGINALLY SPECIFIED. NO PLANT OR TREE SUBSTITUTIONS ALLOWED UNLESS PRIOR APPROVAL FROM OWNER'S REPRESENTATIVE.
10. FOR MULTI-TRUNK TREES IN LANDSCAPE AREAS NARROWER THAN 10', ROTATE TREE SO THAT TRUNKS ARE AIMED PERPENDICULAR TO NARROW DIMENSION.
11. TREAT ALL PLANTING AREAS WITH AN APPLICATION OF SURF. FOLLOW MANUFACTURER'S INSTRUCTIONS FOR APPLICATION.
12. REMOVE ALL WIRE, STRING, WIRE BASKETS, BURLAP, CONTAINERS, ETC., FROM THE ROOTBALL OF PLANTS BEFORE BACKFILLING THE PLANTING HOLE.
13. FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
14. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE 48 HOURS IN ADVANCE OF COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.
15. CONTRACTOR SHALL PROVIDE ONE YEAR WARRANTY ON PLANT MATERIAL FROM DATE OF SUBSTANTIAL COMPLETION. DEAD OR DAMAGED PLANT MATERIAL SHALL BE REPLACED AT NO COST TO THE OWNER UNLESS CAUSED BY FACTORS OUTSIDE THE CONTROL OF THE CONTRACTOR.
16. ALL AREAS TO RECEIVE LANDSCAPE ROCK WITH WEED BARRIER FABRIC SHALL RECEIVE PENDULUM OR OTHER APPROVED EQUAL PRE-EMERGENT OR COMBINATION OF PRE-EMERGENTS. APPLICATION SHALL TAKE PLACE AFTER SOIL PREPARATION AND PRIOR TO INSTALLATION OF WEED BARRIER FABRIC AND SHALL BE APPLIED BY LICENSED APPLICATOR PROVIDED BY CONTRACTOR. PRE-EMERGENT TO PROVIDE PREVENTION OF ALL INVASIVE WEEDS AND GRASSES, INCLUDING BERMUDA GRASS, BUT SHALL NOT HARM EXISTING DESIRABLE PLANTS OR NEW PLANTS. PROTECTION OF EXISTING PLANTS AND TREE ROOTS SYSTEMS SHALL BE PROVIDED PRIOR TO APPLICATION AND AS PER MANUFACTURER RECOMMENDATIONS. SUBMIT PRE-EMERGENT MSDS INFORMATION TO OWNER.
17. ALL ROCK TO BE PROVIDED CLEAN, FREE OF EXCESSIVE DIRT AND DUST. ALL ROCK TO BE RAKED SMOOTH.
18. ALL VINES TO BE PLANTED DIRECTLY ADJACENT TO WALL OR FENCE WITH VINE LEANING ONTO WALL OR FENCE, EVEN IF SHOWN FURTHER FROM WALL OR FENCE ON PLAN.
19. ALL LANDSCAPE AREAS ADJACENT TO BUILDING TO BE SLOPED 3% AWAY FROM BUILDING FOR DRAINAGE.

IRRIGATION NOTES

1. ASSUMED SYSTEM PRESSURE AND FLOW AT THE POINT OF CONNECTION IS LISTED ON THE IRRIGATION LEGEND. CONTRACTOR SHALL TEST AVAILABLE PRESSURE AND FLOW AND SUBMIT RESULTS TO OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO COMMENCING WORK. IN NO CASE SHALL CONTRACTOR COMMENCE WITH CONSTRUCTION IF MEASURED VALUES AT POINT OF CONNECTION ARE LESS THAN ASSUMED VALUES. FAILURE TO CONTACT THE OWNER'S REPRESENTATIVE SHOULD A DISCREPANCY OCCUR, WILL RESULT IN THE CONTRACTOR MAKING NECESSARY CHANGES TO THE IRRIGATION SYSTEM TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE WITHOUT ADDITIONAL COST TO THE OWNER.
2. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS FOR IRRIGATION WORK.
3. IRRIGATION PLAN IS DIAGRAMMATIC IN NATURE. PIPE, VALVE AND IRRIGATION SYSTEM COMPONENT LOCATIONS MAY BE SHOWN IN PAVED AREAS FOR DESIGN CLARIFICATION. ALL SYSTEM COMPONENTS WILL BE IN TURF OR LANDSCAPED AREAS WHERE POSSIBLE. ADJUST LOCATION OF ALL COMPONENTS TO COMPENSATE FOR FINAL SITE CONDITIONS AND PROVIDE OPTIMAL WATER COVERAGE.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ACCOMPLISHING FULL COVERAGE IN ALL AREAS WITH SPECIFIED EQUIPMENT. ANY DISCREPANCIES IN THE PLAN SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE DURING CONSTRUCTION.
5. ALL FITTINGS AND NECESSARY EQUIPMENT REQUIRED TO MAKE THE IRRIGATION SYSTEM OPERATE PROPERLY AND TO COMPLY WITH LOCAL AND STATE CODES ARE INCIDENTAL TO THESE PLANS AND ARE THE CONTRACTOR'S RESPONSIBILITY.
6. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE LOCAL CODES AND REQUIREMENTS.
7. CONTRACTOR WILL BE HELD LIABLE FOR GAINING ACCESS UNDER ALL HARD SURFACES.
8. SLEEVES SHOWN ON THE PLANS SHOULD BE VERIFIED FOR ACCESSIBILITY AND FEASIBILITY BEFORE BID IS MADE.
9. THE CONTRACTOR SHALL LOCATE AND VERIFY EACH WATER TAP TO WHICH THE IRRIGATION SYSTEM WILL CONNECT. ALL EQUIPMENT AND INSTALLATION METHODS SHALL COMPLY WITH THE STANDARDS OF THE CITY OF EL PASO.
10. CONTRACTOR IS RESPONSIBLE FOR ALL CONNECTIONS AND VALVES REQUIRED FOR THE FULL IMPLEMENTATION OF THE SYSTEM.
11. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO INITIATING WORK.
12. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE OR INTERRUPTION IN SERVICE CAUSED BY THEIR EXCAVATIONS AND/OR WORK.
13. CONTROLLER WILL HAVE AN INDEPENDENT COMMON WIRE LOOPED TO THE VALVES CONNECTED TO IT.
14. ALL REMOTE CONTROL VALVE WIRES NEED TO BE LABELED AT VALVE W/ WATERPROOF LABELS AND AT CONTROLLER WITH CORRESPONDING LABEL. LETTER AND/OR NUMBER TAGS IN SEQUENTIAL ORDER SHALL BE PROVIDED BY CONTRACTOR. CONTRACTOR SHALL PROVIDE WATERPROOF ZONE MAP IN THE CONTROLLER. ENCLOSURE WITH EACH ZONE CLEARLY IDENTIFIED.
15. SPLICING OF REMOTE CONTROL VALVE WIRES IS NOT ALLOWED BETWEEN CONTROLLER & VALVE BOX. WIRES MUST BE CONTINUOUS FROM CONTROLLER TO REMOTE CONTROL VALVE WITHOUT SPLICING.
16. VALVE BOXES AND CANS SHALL NOT BE LOCATED WITHIN 6" OF BACK OF CURB OR ANY HARDSCAPE EVEN IF SYMBOL ON PLAN IS SHOWN CLOSER.
17. TRENCHES FOR MAIN LINE SHALL BE OF SUFFICIENT DEPTH TO ALLOW MAINLINE TO BE A MINIMUM DEPTH OF 18" BELOW FINISHED GRADE. TRENCHES FOR LATERAL LINES SHALL BE OF SUFFICIENT DEPTH TO ALLOW FOR LATERALS TO BE A MINIMUM OF 12" BELOW FINISHED GRADE.
18. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO PLANT MATERIAL DUE TO SYSTEM FAILURE OR INFERIOR WORKMANSHIP DURING THE INSTALLATION OF PLANTS AND MAINTENANCE PERIOD.
19. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL ELECTRICAL CONNECTION FOR CONTROLLERS. THIS SHALL INCLUDE ALL NECESSARY FUSE BOXES OR OTHER ELECTRICAL REQUIREMENTS.
20. IRRIGATION CONTRACTOR SHALL COORDINATE OPERATIONAL REQUIREMENTS OF THE IRRIGATION SYSTEM WITH THE IRRIGATION CONTROLLER(S) AND INSTRUCT THE OWNER ON IT'S PROPER USE.
21. CONTRACTOR TO PROVIDE ONE YEAR WARRANTY OF MATERIALS AND WORKMANSHIP OF IRRIGATION SYSTEM FROM DATE OF SUBSTANTIAL COMPLETION. DAMAGED MATERIALS AND DEFECTIVE WORK SHALL BE REPLACED AT NO COST TO THE OWNER, UNLESS CAUSED BY FACTORS OUTSIDE THE CONTROL OF THE CONTRACTOR.



Jonathan Matthews
1.3.24

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To Request a Line Locate Dial 811

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ALBUQUERQUE, NEW MEXICO
POPEYES COMMERCIAL SITE - 840 JUAN TABO BLVD. NE
ALBUQUERQUE, NEW MEXICO
LANDSCAPE GENERAL NOTES

3/8/24
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

Designed	Drawn	Checked
MJ	DL	MJ
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Scale:	Horiz: Vert:	
Project No:	9432731	
Sheet:	L100	

LANDSCAPE ORDINANCE CALCULATIONS

NET LOT AREA = 32,746 SF
 NEW BUILDING FOOTPRINT = 2,515 SF
 LANDSCAPE OUTSIDE OF THE PROPERTY = 441 SF
 LANDSCAPE AREA REQUIRED = 4,469 SF (32,746 SF - 2,515 SF - 441 SF X .15 = 4,469 SF)
 LANDSCAPE AREA PROVIDED = 4,997 SF
 TOTAL VEGETATION COVERAGE REQUIRED = 3,354 SF (75%)
 50% OF TOTAL VEGETATION COVERAGE FROM TREES REQUIRED = 1,677 SF
 25% OF TOTAL VEGETATION COVERAGE FROM SHRUBS REQUIRED = 839 SF
 TOTAL VEGETATION COVERAGE PROVIDED = 5,980 SF (132%)
 TREE VEGETATION COVERAGE PROVIDED = 4,398 SF TREES
 SHRUB VEGETATION PROVIDED = 1,482 SF SHRUBS

	REQUIRED	PROVIDED	NOTES
STREET TREES	6	6	135 LINEAR FEET OF FRONTAGE ALONG JUAN TABO BLVD. 130 / 25 = 6
CANOPY TREES	3	3	34 PARKING SPACES / 10 = 3
PROJECT TREES	5	5	50% OF TOTAL VEGETATION COVERAGE REQUIRED = 1,677 SF TREE VEGETATION PROVIDED = 4,398 SF
TOTAL TREES	14	14	
PROJECT SHRUBS	67	118	25% OF TOTAL VEGETATION COVERAGE REQUIRED = 839 SF SHRUB VEGETATION PROVIDED = 1,482 SF

PLANT LEGEND

TREE	COMMON NAME	BOTANICAL NAME	MIN. SIZE	MIN. HEIGHT	QTY
	AFGHAN PINE	PINUS ELДАРICA	2" CAL. / 24" BOX	10'	2
	DESERT MUSEUM PALO VERDE	CERCIDIUM X 'DESERT MUSEUM'	2" CAL. / 24" BOX	10'	1
	SWEET ACACIA MULTI-TRUNK	ACACIA FARNESIANA	2" CAL. / 24" BOX	10'	10

NOTE: MULTI-TRUNK TREES SHALL BE 2" CALIPER, WITH CALIPER EQUALING THE DIAMETER OF THE LARGEST TRUNK PLUS HALF THE DIAMETER OF THE NEXT THREE LARGEST TRUNKS

SHRUBS	COMMON NAME	BOTANICAL NAME	SIZE	MIN. HEIGHT	QTY
	GOLDEN BARREL CACTUS*	ECHINOCACTUS GRUSONII	5 GALLON LOW WATER	18"	25
	GERMANDER	TEUCRIUM SCORODONIA	5 GALLON	18"	7
	MEXICAN PETUNIA	RUELLIA BRITTONIANA	5 GALLON	18"	8
	RUSSIAN SAGE	PEROVSKIA ABROTANOIDES	5 GALLON	18"	5
	ARIZONA ROSEWOOD	VAUQUELINIA CALIFORNICA	5 GALLON	18"	3
	SOTOL*	DASYLIRION WHEELERI	5 GALLON LOW WATER	18"	19
	SANTA RITA PRICKLY PEAR*	OPUNTIA	5 GALLON LOW WATER	18"	10
	UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'ARP'	5 GALLON	18"	5
	HOMESTEAD PURPLE VERBENA	VERBENA CANADENSIS 'HOMESTEAD PURPLE'	5 GALLON	18"	22
	AFRICAN IRIS	DIETES VEGETA	5 GALLON	18"	5
	NEW MEXICO AGAVE	AGAVE NEOMEXICANA	5 GALLON LOW WATER	18"	9

*SEE IRRIGATION LEGEND FOR WATER REQUIREMENTS FOR LOW WATER-USE PLANTS
 ST = STREET TREE CT = CANOPY TREE PT = PROJECT TREE

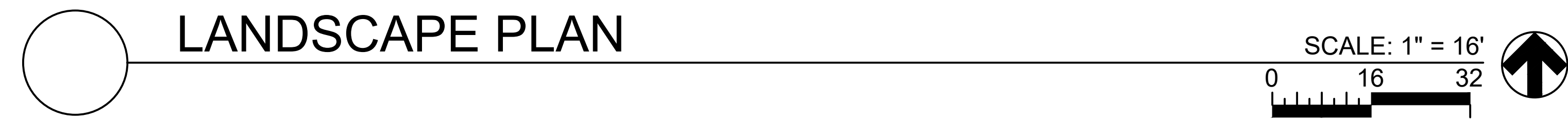
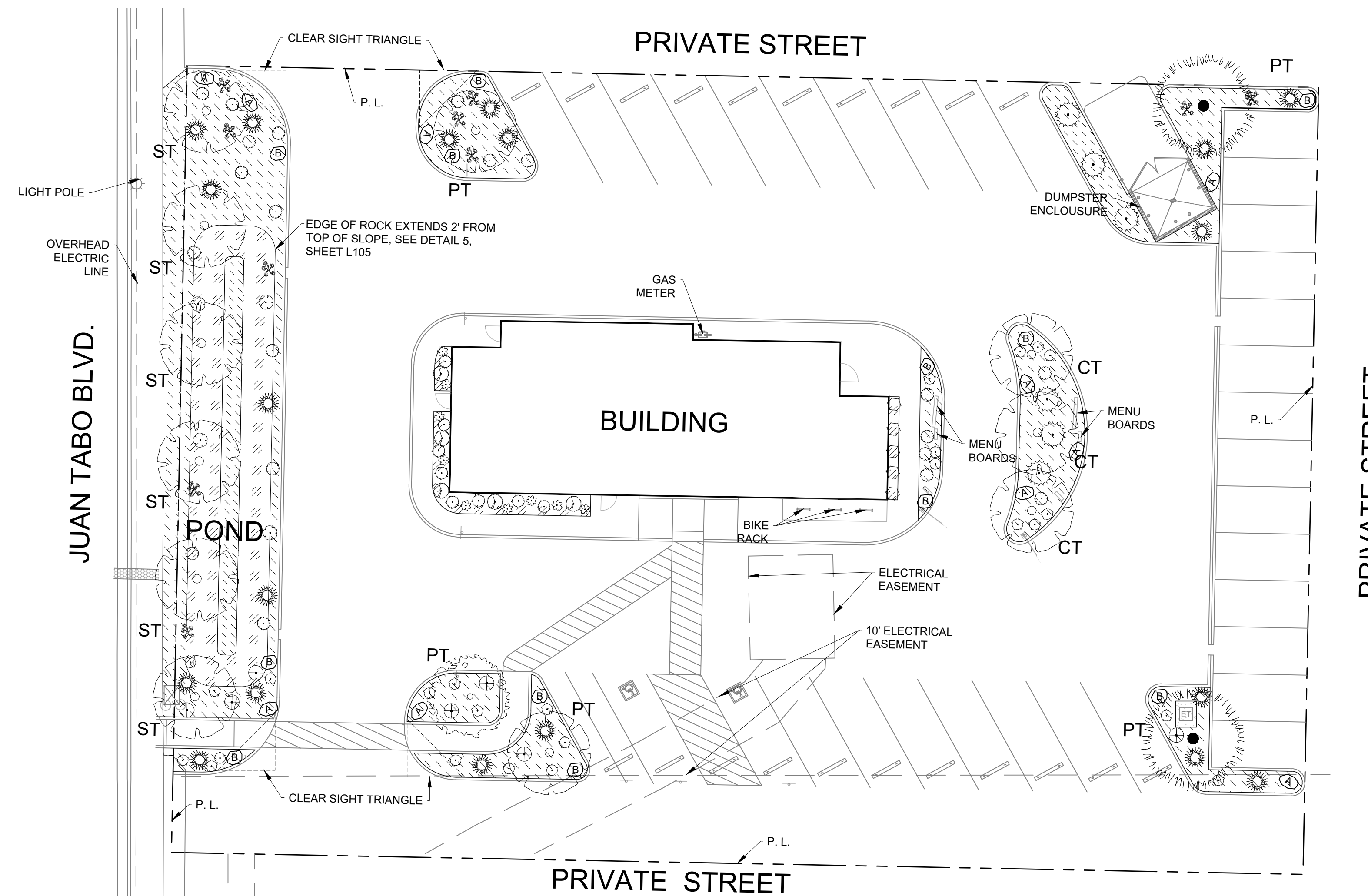
MATERIALS LEGEND

AMENITIES					
SYMBOL	DESCRIPTION	QTY	MODEL	COLOR	DETAIL
(A)	BOULDER A	10	3' MIN.	DESERT TAN	SEE DETAIL 4, SHEET L105
(B)	BOULDER B	12	EQUAL MIX OF 1' & 2'	DESERT TAN	SEE DETAIL 4, SHEET L105

ROCK					
SYMBOL	DESCRIPTION	QTY	MODEL	COLOR	DETAIL
	3/8" ROCK	3,658 SF	GOLDEN BROWN	3"	WITH WEED-BARRIER FABRIC. SEE DETAIL 3, SHEET L105
	ROCK MIX 75% 2"-4" 25% 3/4"	1,339 SF	TRAIL MIX	4"	WITH WEED-BARRIER FABRIC. SEE DETAIL 3, SHEET L105

CLEAR SIGHT NOTE

- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



LANDSCAPE PLAN



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ALBUQUERQUE, NEW MEXICO
 POPEYES COMMERCIAL SITE - 840 JUAN TABO BLVD. NE
 ALBUQUERQUE, NEW MEXICO
 LANDSCAPE PLAN

Designed	Drawn	Checked
MJ	DL	MJ
Date:	October 2024	
Scale:	Horiz: Vert:	
Project No:	9432731	
Sheet:	L101	



SWEET ACACIA
Acacia Farnesiana
25' H x 25' W



PALO VERDE 'DESERT MUSEUM'
Cercidium x 'Desert Museum'
25' H x 25' W



AFGHAN PINE
Pinus Eldarica
40' H x 30' W



SOTOL
Dasylirion Wheeleri
5' H x 5' W



ROSEMARY UPRIGHT
Rosmarinus officinalis 'Arp'
4' H x 4' W



RUSSIAN SAGE
Perovskia Abrotanoides
5' H x 5' W



GOLDEN BARREL CACTUS
Echinocactus Grusonii
4' H x 3' W



GERMANDER
Teucrium chamaedrys
2' H x 2' W



PURPLE PRICKLY PEAR
Santa Rita Prickly Pear'
5' H x 5' W



HOMESTEAD VERBENA
Verbena Canadensis
1' H x 3' W



MEXICAN PETUNIA
Ruellia Brittoniana
3' H x 3' W



ARIZONA ROSEWOOD
Vauquelinia Californica
10' H x 6' W



NEW MEXICO AGAVE
Agave Parryi V. Neomexicana
1.5' H x 2' W



AFRICAN IRIS
Dietes Vegeta
2' H x 2' W



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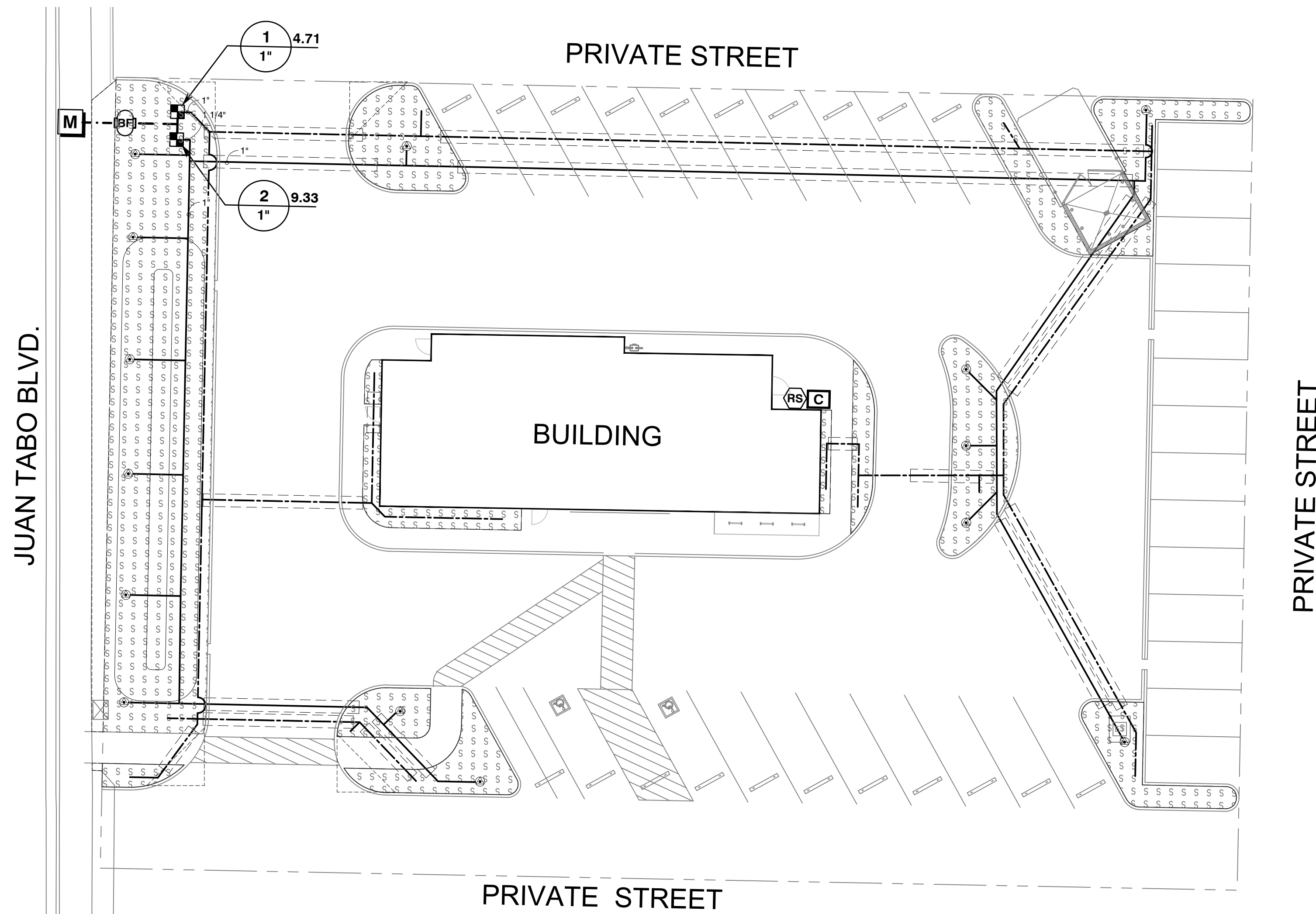
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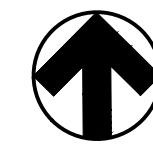
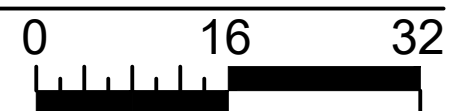
ALBUQUERQUE, NEW MEXICO
POPEYES COMMERCIAL SITE - 840 JUAN TABO BLVD. NE
ALBUQUERQUE, NEW MEXICO
PLANT IMAGES

Designed	Drawn	Checked
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Sheet:	L102	



IRRIGATION PLAN

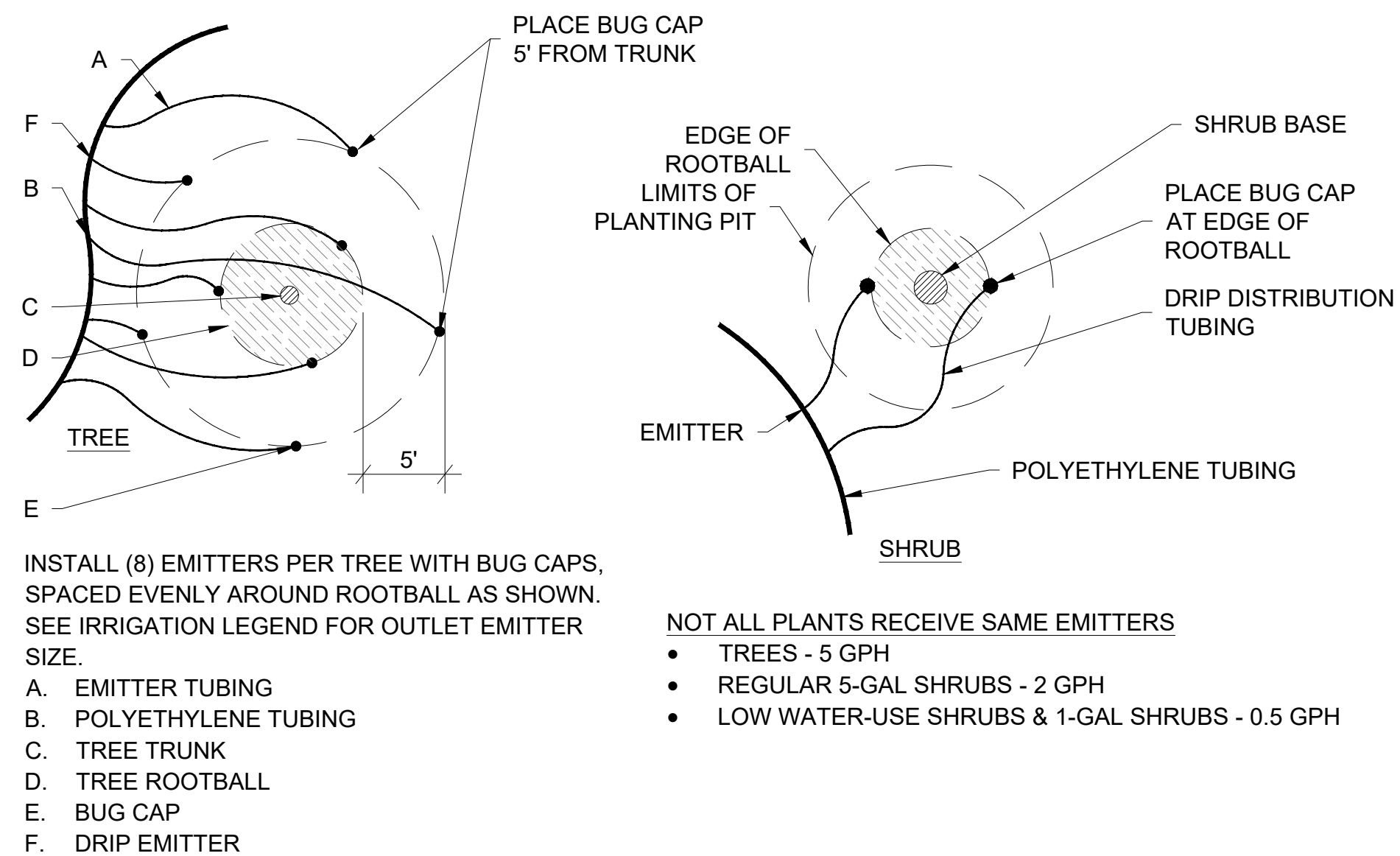
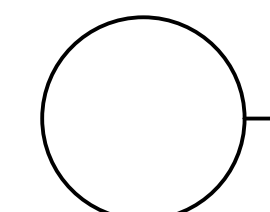
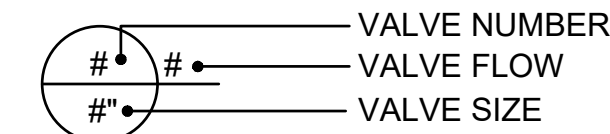
SCALE: 1" = 16'



IRRIGATION LEGEND

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	RAIN BIRD XCZ-100-PRB-COM RAINBIRD CONTROL ZONE KIT MODEL XCZ-100-PRB-COM. SEE DETAIL 3, SHEET L106
	TREE DRIP EMITTERS 3/4" POLY TUBING FEEDING RAINBIRD PC-05 EMITTERS, 8 PER TREE. SEE DETAIL ON THIS SHEET AND DETAIL 4, SHEET L106
	AREA TO RECEIVE DRIP EMITTERS FOR SHRUBS 3/4" POLY TUBING FEEDING RAINBIRD EMITTERS FOR SHRUBS IN THIS AREA. EACH PORTION OF POLY TUBING NOT TO FEED MORE THAN 70 SHRUBS, POLY TUBING TO NOT RUN LONGER THAN 50 FT. EXTEND PVC LATERALS AS NEEDED. RAIN BIRD XB-20PC FOR 5 GALLON SHRUBS RAIN BIRD XB-05PC FOR 5 GALLON LOW-WATER USE SHRUBS SEE DETAIL ON THIS SHEET AND DETAIL 4, SHEET L106
	Emitter Notes: 0.5 GPH emitters (2 assigned to each 5 GALLON LOW WATER plant) 2.0 GPH emitters (2 assigned to each 5 GALLON plant)
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	RP BACKFLOW: FEBCO 825Y 3/4" RP BACKFLOW PREVENTER WITH BROWN HUBBELL ENCLOSURE WITH HEAVY DUTY LOCK. BACKFLOW TO MEET CLASS 2, ASSE #1060. SEE DETAIL 5, SHEET L106
	CONTROLLER RAIN BIRD ESP4ME3 IN METAL CABINET 4 STATION, HYBRID MODULAR OUTDOOR CONTROLLER. LNK WIFI MODULE. SEE DETAIL 6, SHEET L106
	RAIN SENSOR: RAIN BIRD RSD-BEX. BRACKET MOUNT, WITH THREADED ADAPTER, EXTENSION WIRE. SEE DETAIL 7, SHEET L106
	WATER METER 1" SEE CIVIL / PLUMBING SHEETS. ASSUMED EXISTING PRESSURE IS 50 PSI AND FLOW IS 30 GPM
	IRRIGATION LATERAL LINE: PVC CLASS 200 FOR TREES SEE PLAN FOR PIPE SIZE. SEE DETAIL 1, SHEET L106
	IRRIGATION LATERAL LINE: PVC CLASS 200 FOR SHRUBS SEE PLAN FOR PIPE SIZE. SEE DETAIL 1, SHEET L106
	IRRIGATION MAINLINE: PVC SCHEDULE 40 IRRIGATION MAINLINE, 1.5" SEE DETAIL 1, SHEET L106
	IRRIGATION MAINLINE: TYPE K COPPER SERVICE LINE FROM METER TO BACKFLOW, 1.5" SEE DETAIL 1, SHEET L106
	PIPE SLEEVE: PVC SCHEDULE 40 SIZED 2 SIZES LARGER THAN TOTAL DIAMETER OF PIPES WITHIN HARDSCAPE. IF DISTURBED, CONTRACTOR IS RESPONSIBLE TO PATCH AND REPAIR. SEE DETAIL 2, SHEET L106

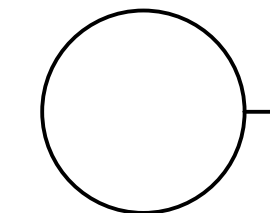
VALVE CALLOUT



- INSTALL (8) EMITTERS PER TREE WITH BUG CAPS, SPACED EVENLY AROUND ROOTBALL AS SHOWN. SEE IRRIGATION LEGEND FOR OUTLET EMITTER SIZE.
- A. EMITTER TUBING
 - B. POLYETHYLENE TUBING
 - C. TREE TRUNK
 - D. TREE ROOTBALL
 - E. BUG CAP
 - F. DRIP EMITTER
- NOT ALL PLANTS RECEIVE SAME EMITTERS
- TREES - 5 GPH
 - REGULAR 5-GAL SHRUBS - 2 GPH
 - LOW WATER-USE SHRUBS & 1-GAL SHRUBS - 0.5 GPH

DRIP EMMITER PLACEMENT

SCALE: NTS



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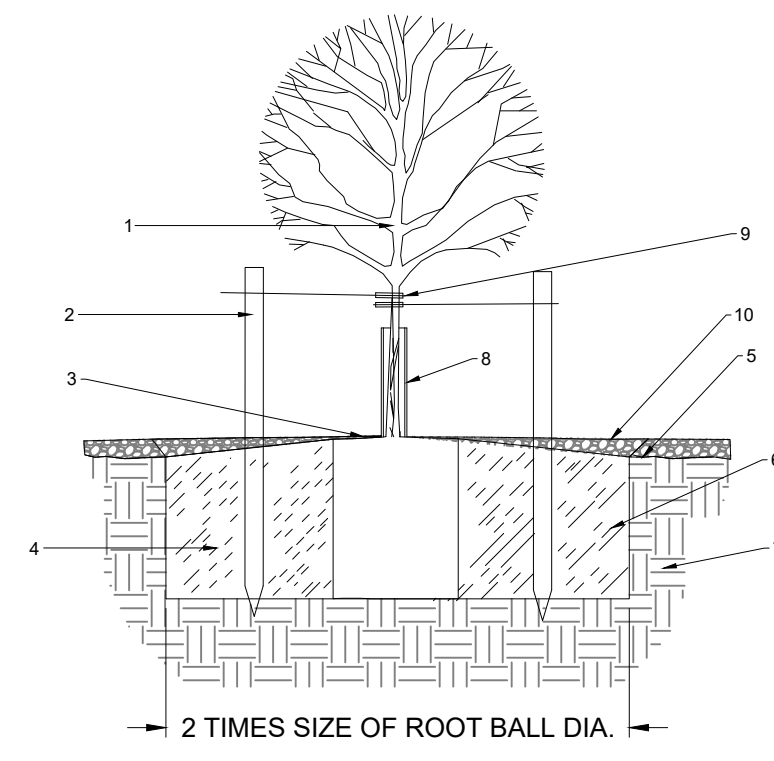
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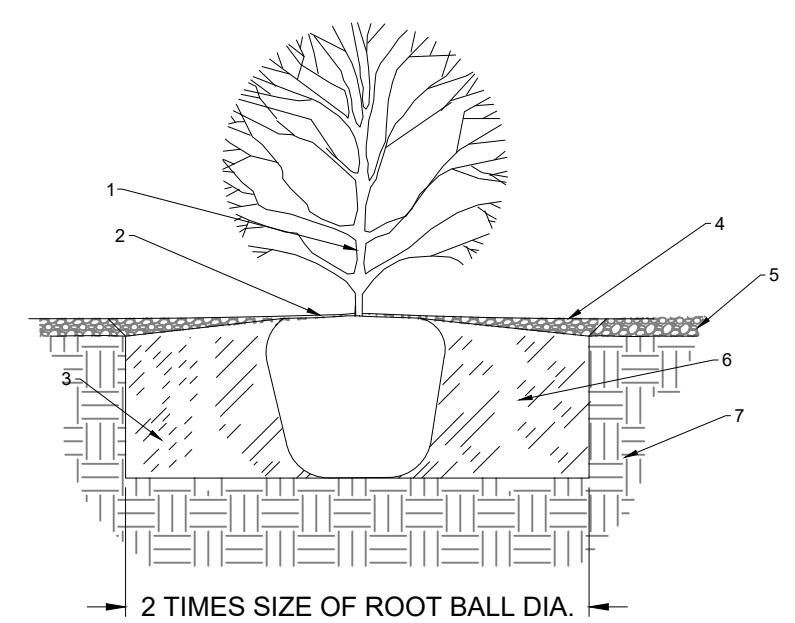
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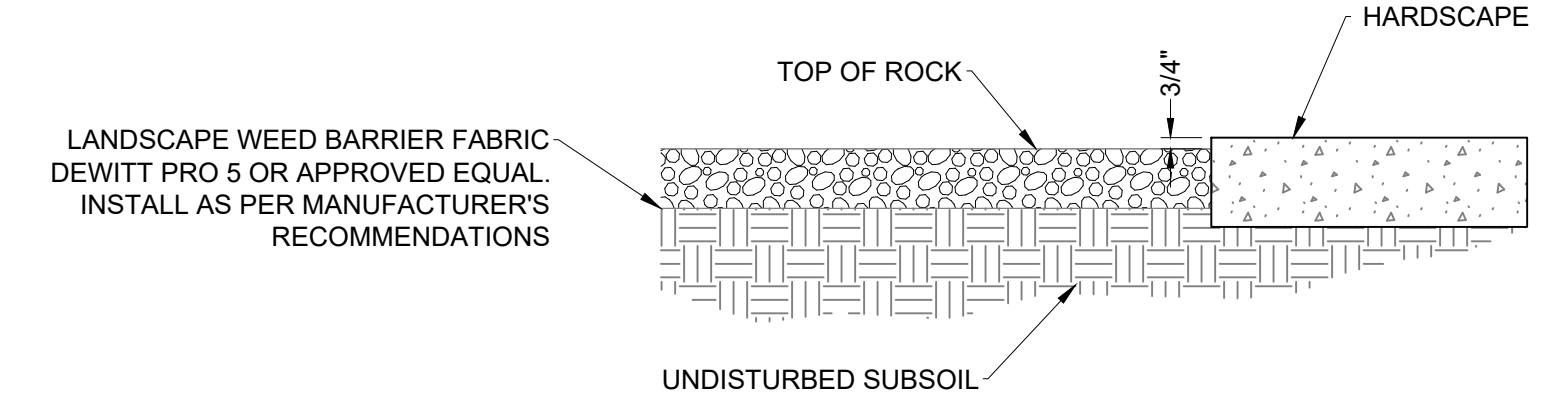
1. TREE
2. STAKING
3. FEATHER ROCK (IF USED) TO BASE OF TRUNK
4. FINISH SOIL GRADE
5. BACKFILL WITH EXISTING NATIVE SOIL
6. UNDISTURBED SOIL
7. TREE GUARD IF TREE IS LOCATED IN TURF
8. TIES TO STAKES TO HAVE RUBBER HOSE TO PROTECT TREE TRUNK FROM DAMAGE BY WIRE
9. WIRE TIES TO BE SLIGHTLY LOOSE (1"-2" PLAY ON PLAN) TO ALLOW SOME MOVEMENT OF TRUNK
10. WIRE TIES TO BE SET ON SAME TRUNK AND MAIN TRUNK. WIRE COLOR TO BE BLACK OR GRAY
11. FINISH MATERIAL. SEE LANDSCAPE PLAN

- NOTES:
- A. KEEP SOIL BELOW ROOT BALL UNDISTURBED TO PREVENT TREE FROM SETTLING
 - B. REMOVE ANY EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLARE (WHERE TOP MOST ROOT EMERGES FROM THE TRUNK). PLANT WITH ROOT FLARE 1"-2" HIGHER THAN FINISH GRADE
 - C. FOR CONTAINER TREES REMOVE CONTAINER AND CUT ANY ROOTS THAT ARE CIRCLING THE CONTAINER PRIOR TO SETTING TREE IN PLANTING HOLE. PRIOR TO BACKFILLING, REMOVE BURLAP, ROPE, TWINE, AND WIRE FROM SIDES AND TOP OF ROOTBALL AND FROM PLANTING HOLE, CUT ANY ROOTS THAT ARE CIRCLING THE CONTAINER
 - D. TAMP SOIL FIRMLY AROUND BASE OF ROOTBALL WITH FOOT PRESSURE
 - E. AT THE TIME OF PLANTING, ONLY PRUNE CO-DOMINANT LEADERS (DOES NOT APPLY TO MULTI-TRUNK SPECIMENS), CROSSOVER LIMBS, AND DEAD OR BROKEN BRANCHES
 - F. WHEN DONE PLANTING, THOROUGHLY WATER TO ELIMINATE AIR POCKETS
 - G. STAKING IS NOT ALWAYS REQUIRED - STAKE TREES ONLY IF TREE CANNOT STAND ALONE AND / OR AS REQUESTED BY THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL NOT STAKE ALL TREES INDISCRIMINATELY, APPROVAL FROM OR DIRECTION BY THE LANDSCAPE ARCHITECT MUST BE OBTAINED TO STAKE TREES
 - H. WITH APPROVAL, PROVIDE MIN. 3 WOOD STAKES PER TREE IN A TRIANGULAR PATTERN, STAKED INTO UNDISTURBED SOIL, REMOVE AFTER ONE GROWING SEASON
 - I. TOP OF ROOT BALL SHALL BE LEVEL WITH TOP OF MULCH. MULCH SHALL BE FEATHERED TO BE FULL DEPTH
 - J. TREES PLANTED IN ROCKY, CALICHE OR CLAY SOILS OR SOILS COMPACTED TO 90% OR MORE TO HAVE PIT EXCAVATED 5 TIMES THE SIZE OF THE ROOT BALL
 - K. TREES PLANTED IN ROCKY, CALICHE, AND CLAY SOILS TO HAVE 1/3 TO 1/2 TOP SOIL BLENDED WITH CLAY SOIL AND USED AS BACKFILL
 - L. TREES PLANTED IN ROCKY SOILS ARE TO HAVE ALL ROCKY MATERIAL LARGER THAN 1" IN SIZE REMOVED
 - M. ALL TREES SHALL BE PRUNED TO ALLOW CODE-REQUIRED CLEARANCE FOR ALL ACCESSIBLE PATHS
 - N. CALIPER OF TREE TO BE DETERMINED BY MEASURING THE DIAMETER OF TREE 6" ABOVE TOP OF ROOTBALL
 - O. ALL STAKING PROVIDED BY NURSERY AND TAGS PROVIDED BY NURSERY TO BE REMOVED FROM ALL PLANT MATERIAL



1. SHRUB, GROUND COVER, CACTUS, OR VINE
2. FEATHER ROCK TO BASE OF STEM
3. PLANTING HOLE
4. FINISH MATERIAL, SEE LANDSCAPE PLAN
5. FINISH SOIL GRADE
6. BACKFILL WITH EXISTING NATIVE SOIL
7. UNDISTURBED SOIL

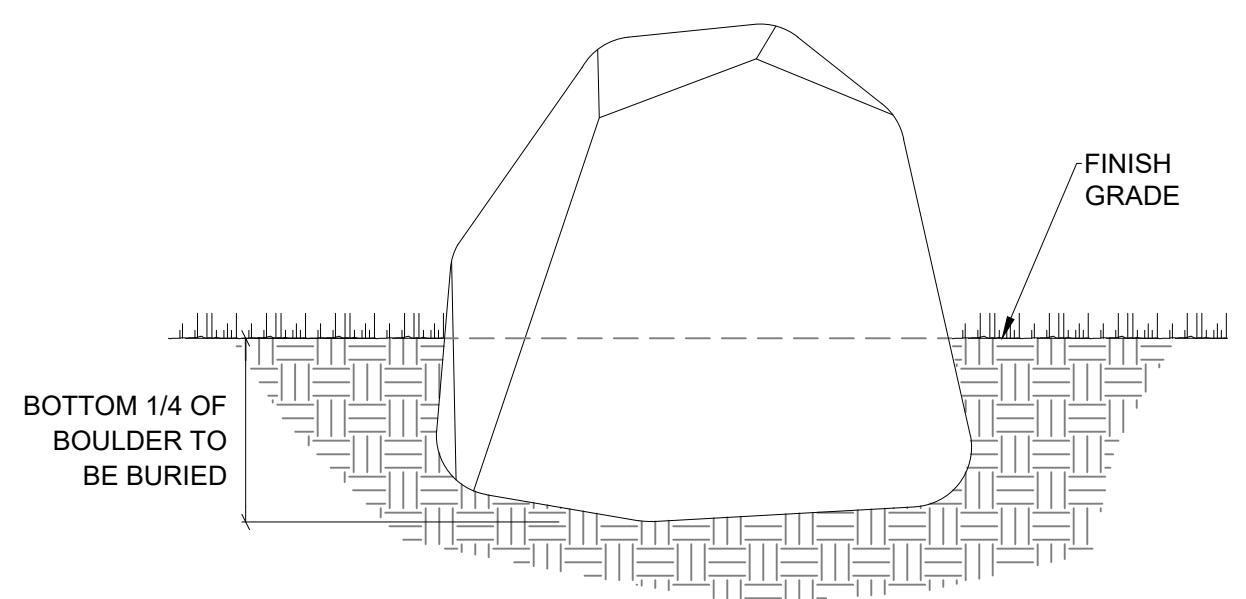
- A. KEEP SOIL BELOW ROOTBALL UNDISTURBED TO PREVENT SHRUB FROM SETTLING
- B. REMOVE ANY EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLARE (WHERE TOP MOST ROOT EMERGES FROM THE STEM). PLANT WITH ROOT FLARE LEVEL WITH FINISH GRADE
- C. TAMP SOIL FIRMLY AROUND BASE OF ROOTBALL WITH FOOT PRESSURE
- D. WHEN DONE PLANTING, THOROUGHLY WATER TO ELIMINATE AIR POCKETS
- E. SHRUBS, GROUND COVER, CACTUS OR VINES PLANTED IN ROCKY, CALICHE, AND CLAY SOILS OR SOILS COMPACTED TO 90% OR MORE TO HAVE PIT EXCAVATED 5 TIMES THE SIZE OF THE ROOTBALL
- F. SHRUBS, GROUND COVER, CACTUS OR VINES PLANTED IN ROCKY, CALICHE, AND CLAY SOILS TO HAVE 1/3 TO 1/2 TOP SOIL BLENDED WITH CLAY SOIL AND USED AS BACKFILL
- G. SHRUBS, GROUND COVER, CACTUS OR VINES PLANTED IN ROCKY SOIL ARE TO HAVE ROCKY MATERIAL LARGER THAN 1" IN SIZE REMOVED



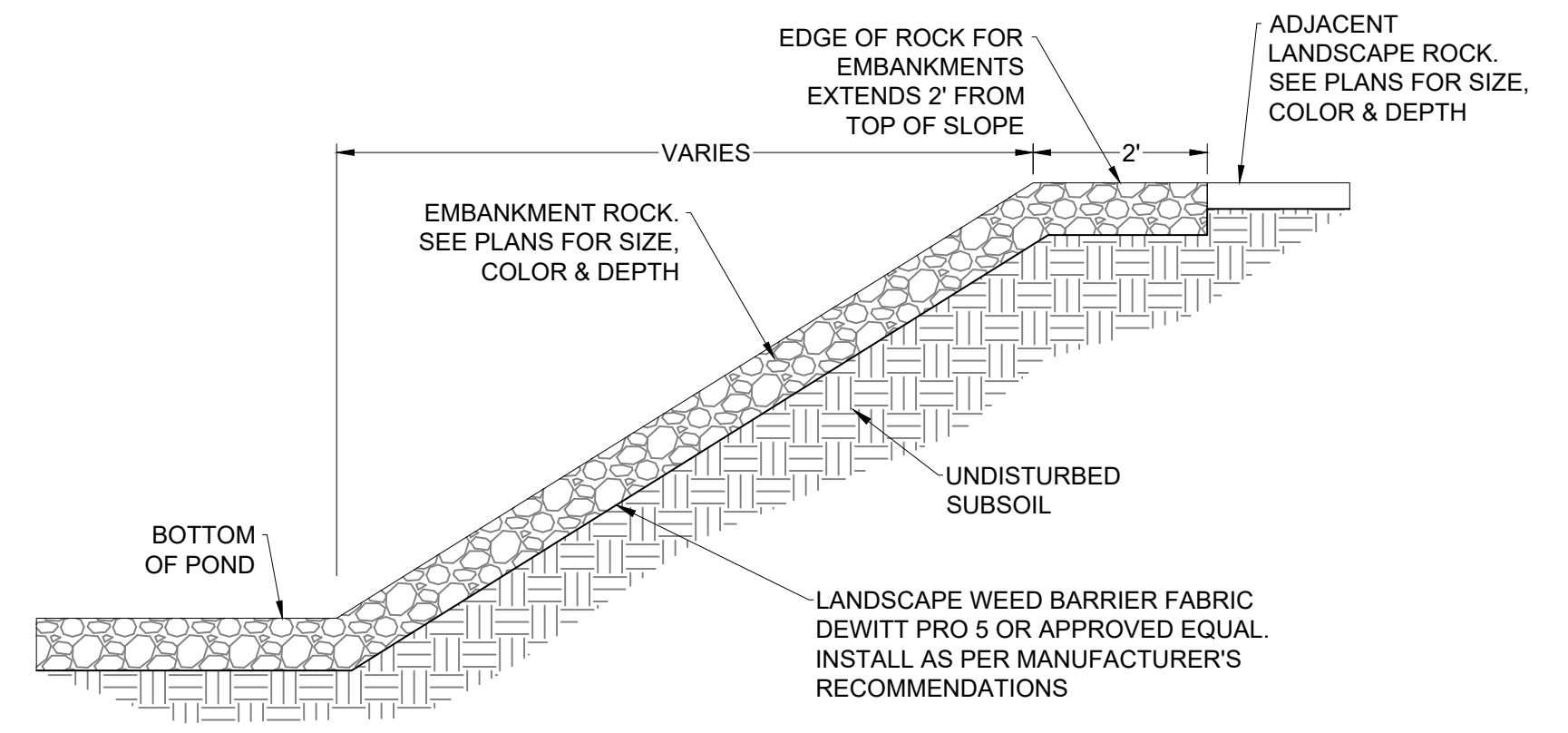
1 TREE PLANTING

2 SHRUB PLANTING

3 LANDSCAPE ROCK AND EDGING



4 BOULDER



5 SLOPED LANDSCAPE ROCK



THE DRY LAND
 LANDSCAPE ARCHITECTURE
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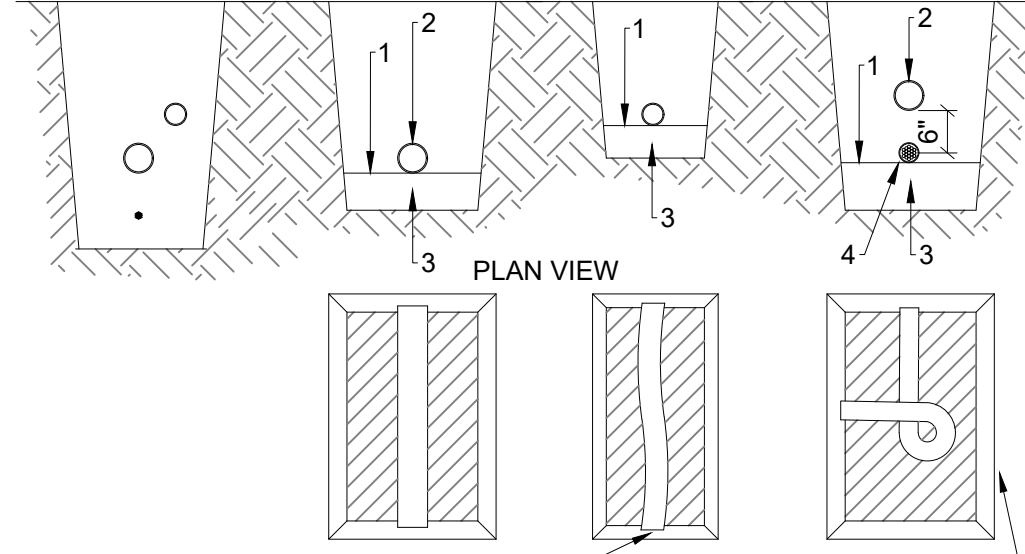
Rev #	Date	Description	By	CHKD
0	2/15/24	SITE PLAN SUBMITTAL	DIF	NJ
1	3/8/24	CIVIL CHECK SET	DIF	NJ

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ALBUQUERQUE, NEW MEXICO
POPEYES COMMERCIAL SITE - 840 JUAN TABO BLVD. NE
 ALBUQUERQUE, NEW MEXICO
PLANTING DETAILS

Designed	Drawn	Checked
MJ	DL	MJ
Date:	October 2024	
Scale:	Horiz: Vert:	
Project No:	9432731	
Sheet:	L105	

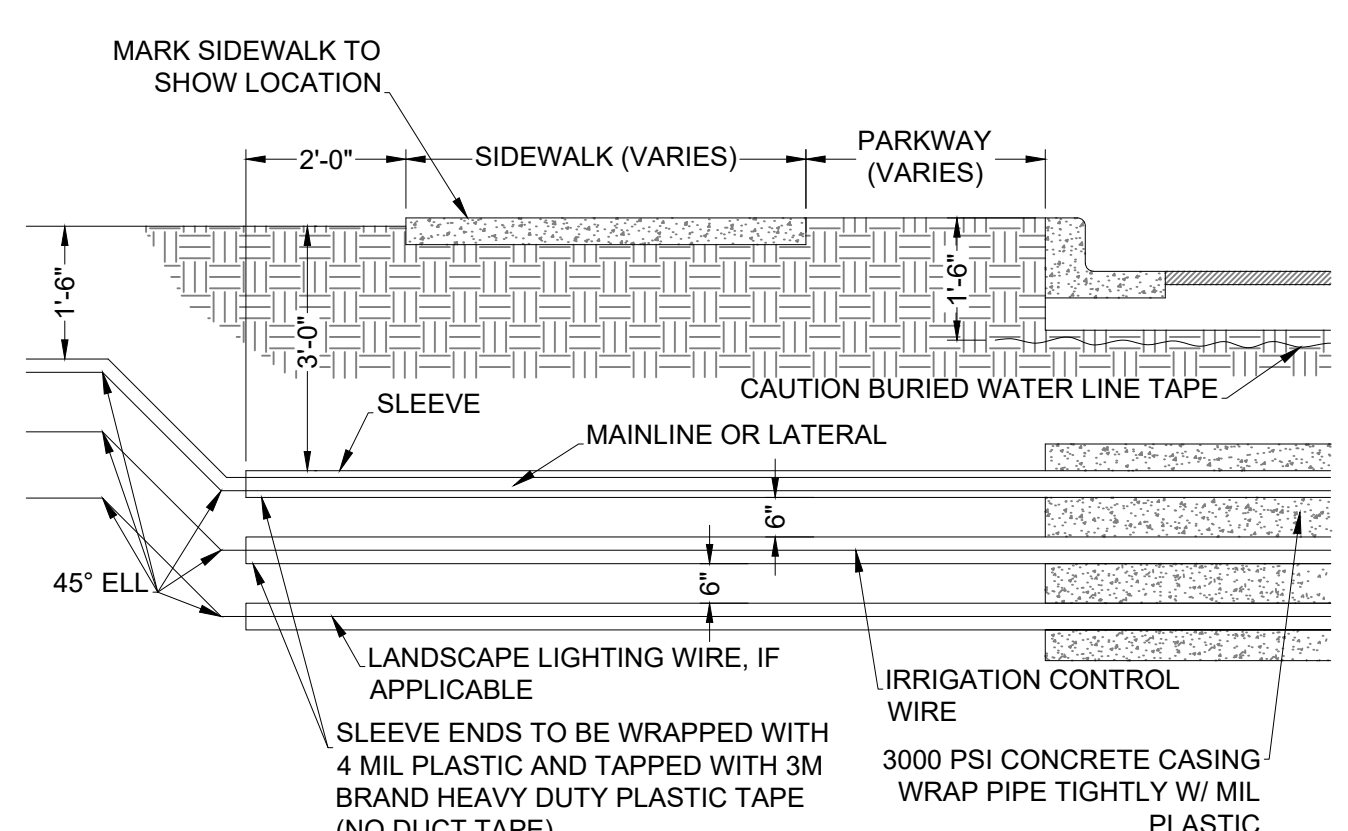
SECTION VIEW
 MAINLINE, LATERAL, AND WIRING MAY BE PLACED IN THE SAME TRENCH.
 MAINLINE PIPE DEPTH 18" MIN 24" MAX TOP OF PIPE
 LATERAL PIPE DEPTH 12" MIN 18" MAX TOP OF PIPE
 WIRING TO SIT 6" BELOW BOTTOM OF MAIN LINE



ALL SOLVENT WELD PLASTIC PIPING TO BE SNAKED IN TRENCH AS SHOWN FOR LATERAL LINES
 TIE A 24-INCH LOOP IN ALL WIRING AT CHANGES OF DIRECTION OF 30° OR GREATER AND EVERY 200'

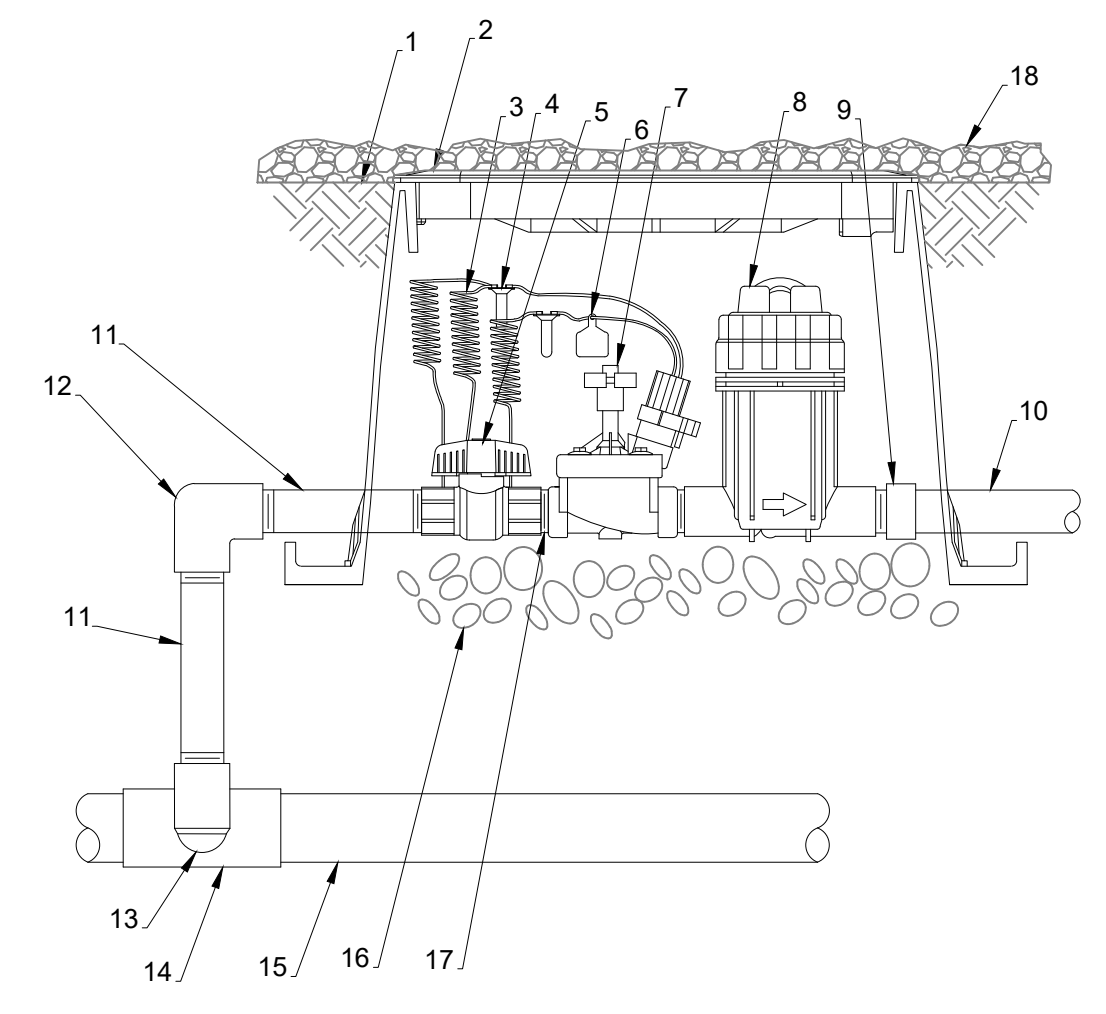
- NOTES:
- BOTTOM OF EXCAVATED TRENCH WHERE NO ROCKY SOILS ARE ENCOUNTERED
 - IRRIGATION SYSTEM PIPING
 - MINIMUM 4" DEEP BEDDING SANDY SOILS MATERIAL WHERE ROCKY SOILS ARE ENCOUNTERED
 - IRRIGATION VALVE WIRING
- A. BACKFILL SOILS MATERIAL MAY BE NATIVE SOILS IF IT IS FREE OF CALICHE OR STONES LARGER THAN 1" IN SIZE AND ORGANIC MATTER OR WASTE DEBRIS SOILS COMPACTION IN TURF AREAS TO BE 80% TO 85% DENSITY BY ATSM D-1557 STANDARD AND AT 95% DENSITY UNDER PAVED OR HARDSCAPE SURFACES
- B. ALL WIRING UNDER PARKING LOT SHALL BE INSIDE 1-1/4" WIRE CONDUIT

1 PIPE/WIRE IN TRENCH SCALE: NTS

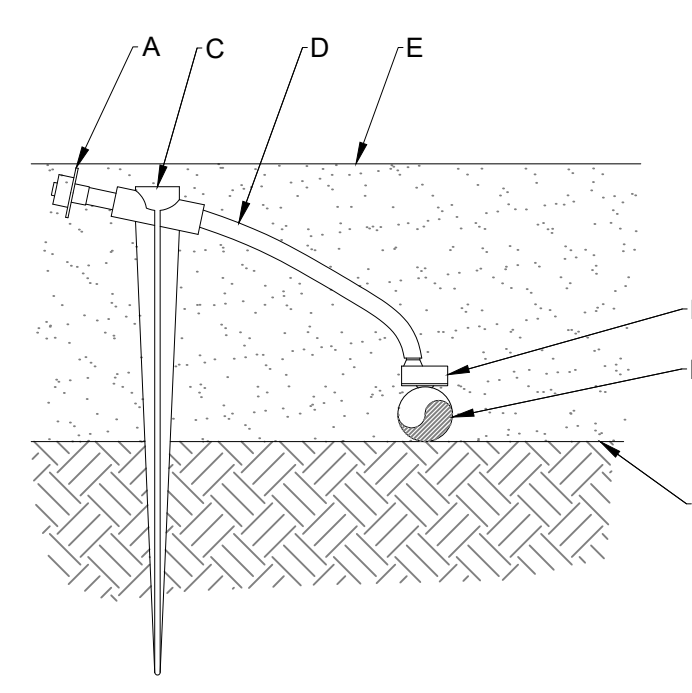


- NOTE:
- SLEEVE TO BE KEPT CLEAN AND FREE OF SOIL AND DEBRIS
 - AVOID BOULDERS CLOSER TO IRRIGATION AND LIGHTING LINES, MINIMUM OFFSET OF 12". SLEEVE IF NECESSARY.

2 SLEEVE DETAIL SCALE: NTS

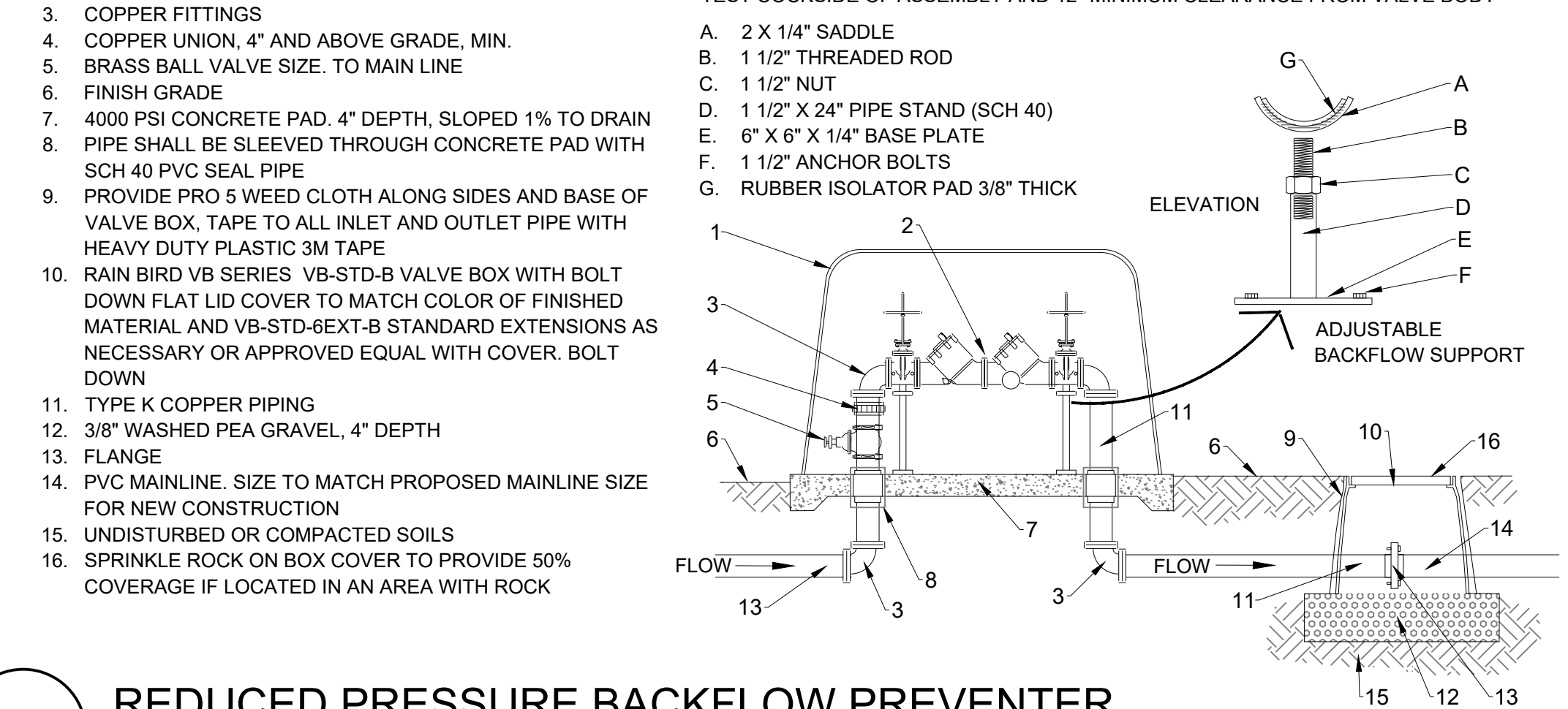


3 DRIP VALVE KIT TRADITIONAL WIRING SCALE: NTS

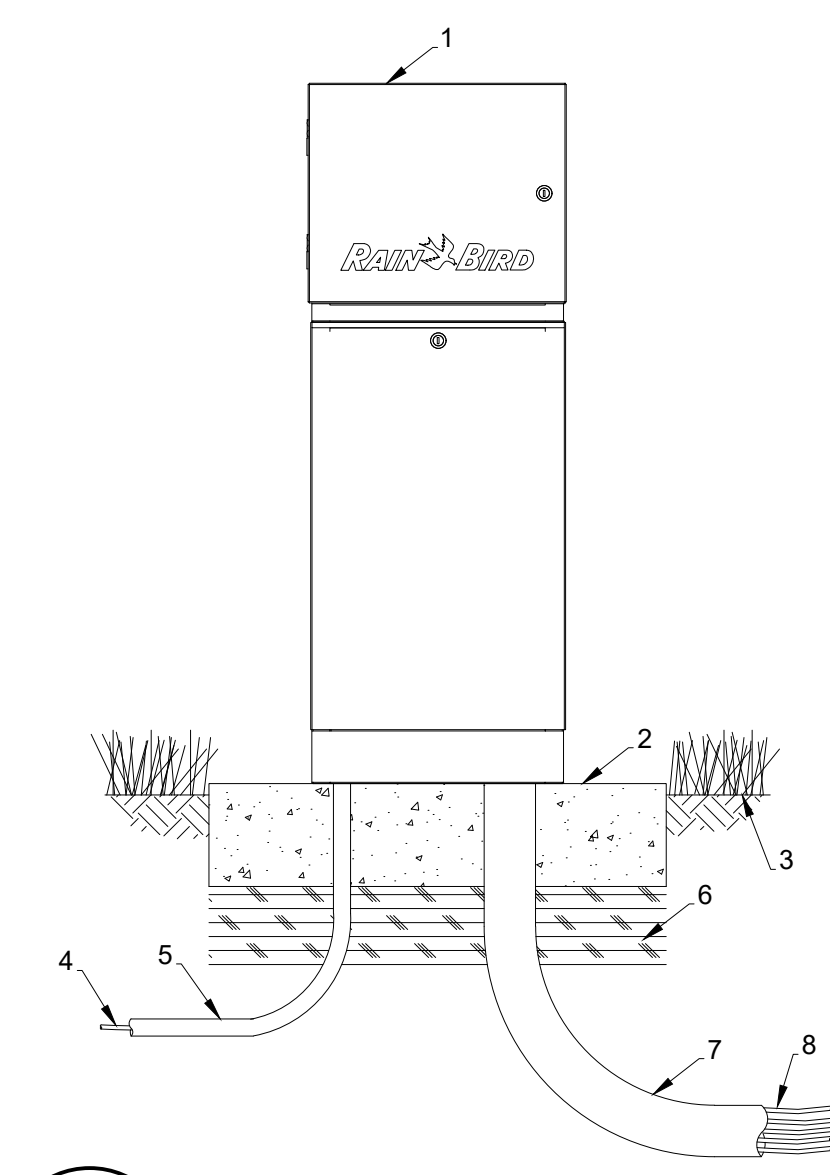


- NOTES:
- USE RAIN BIRD XERIMAN TOOL XM-TOOL TO INSERT BARB CONNECTOR DIRECTLY INTO 1/2" POLYETHYLENE TUBING
 - SHOULD THE EMITTER BECOME DISLODGED, UNREGULATED FLOW WILL OCCUR

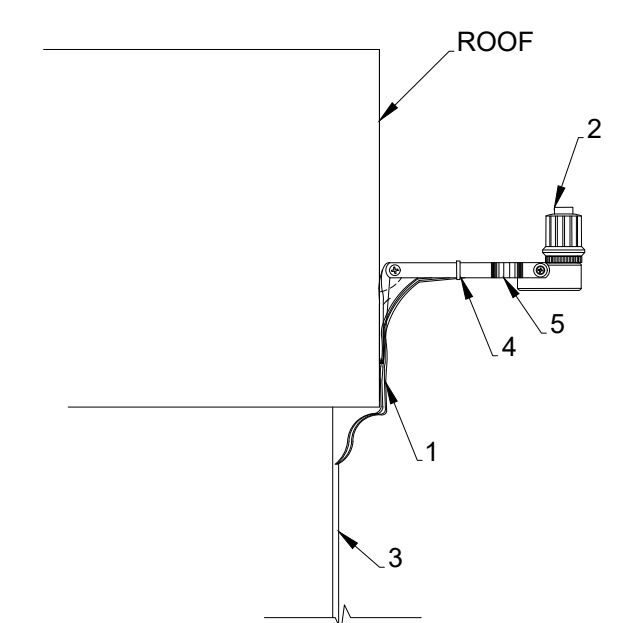
4 DRIP EMITTER ASSEMBLY SCALE: NTS



5 REDUCED PRESSURE BACKFLOW PREVENTER SCALE: NTS



6 CONTROLLER ESP-ME3 IN METAL CABINET SCALE: NTS



- NOTE:
- IT IS NOT RECOMMENDED TO PLACE THE RAIN SENSOR MORE THAN 25' AWAY FROM THE CONTROLLER OR ADD ADDITIONAL WIRE TO THE PROVIDED 25'

7 RAIN SENSOR SCALE: NTS

- FINISH GRADE/TOP OF MULCH
- RAIN BIRD VB SERIES VB-STD-B VALVE BOX WITH BOLT DOWN FLAT LID COVER TO MATCH COLOR OF FINISHED MATERIAL AND VB-STD-6EXT-B STANDARD EXTENSIONS AS NECESSARY OR APPROVED EQUAL WITH COVER, BOLT DOWN
- 30-INCH LINEAR LENGTH OF WIRE, COILED
- WATERPROOF CONNECTION: RAIN BIRD DB SERIES
- 1-INCH BALL VALVE (INCLUDED IN XCZ-PRB-100-COM KIT)
- ID TAG
- REMOTE CONTROL VALVE: RAIN BIRD PESB (INCLUDED IN XCZ-PRB-100-COM KIT)
- PRESSURE REGULATING QUICK CHECK BASKET FILTER: RAIN BIRD PRB-QKCHK-100 (INCLUDED IN XCZ-PRB-100-COM KIT)
- PVC SCH 40 FEMALE ADAPTOR
- LATERAL PIPE
- PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- PVC SCH 40 ELL
- PVC SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND PVC SCH 40 ELL
- PVC SCH 40 TEE OR ELL
- MAINLINE PIPE
- 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- PVC SCH 80 NIPPLE, CLOSE (INCLUDED IN XCZ-PRB-100-COM KIT)
- SPRINKLE ROCK ON BOX COVER TO PROVIDE 50% COVERAGE IF LOCATED IN AN AREA WITH ROCK

By	CHKD	Date	Description
			SITE PLAN SUBMITTAL
			CIVIL CHECK SET

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 IRRIGATION DETAILS



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nm811
 Professional Resources for Damage Prevention

3/8/24

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

Designed	Drawn	Checked
MJ	DL	MJ

Date: October 2024
 Scale: Horiz: Vert:
 Project No: 9432731
 Sheet: L106