CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

November 26, 2024

Michael D. Johnson, P.E. Souder, Miller & Associates 3500 Sedona Hills Parkway Las Cruces, NM 88011

RE: Popeyes – Juan Tabo Grading & Drainage Plans Resubmittal Engineer's Stamp Date: 11/06/2024 Hydrology File: K22D035A

Dear Mr. Johnson:

Based upon the information provided in your resubmittal received 11/12/2023, the Grading & Drainage Plan is approved for Building Permit, Grading Permit, and SO-19 Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293 PRIOR TO CERTIFICATE OF OCCUPANCY:

- 1. Engineer's Certification, per DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
- 2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

www.cabq.gov

Albuquerque

NM 87103

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3362 or <u>richardmartinez@cabq.gov</u>.

Sincerely,

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Richard Martinez, P.E. Senior Engineer, Hydrology Planning Departmen



City of Albuquerque

Planning Department Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title:		Hydrology File #					
Legal Description:							
City Address, UPC, OR Parcel:							
Applicant/Agent: Address: Email:		Phone:					
Applicant/Owner: Address: Email:		Contact Phone:	:				
TYPE OF DEVELOPMENT:	Plat (# of lots)		Single Family Home All other Developments				
	RE-SUBMITTAL:	YES	NO				
DEPARTMENT: TRANS	SPORTATION	HYDROLO	DGY/DRAINAGE				
Check all that apply under Both	the Type of Submittal a	nd the Type	of Approval Sought:				
TYPE OF SUBMITTAL:		TYPE OF	APPROVAL SOUGHT:				
Engineering / Architect Certifica	ation	Pad Cert	ification				
Conceptual Grading & Drainag	e Plan	Building	Permit				
Grading & Drainage Plan, and/ Report	or Drainage	Grading Permit Paving Permit					
Drainage Report (Work Order)		SO-19 Permit					
Drainage Master Plan			ion Permit				
Conditional Letter of Map Revis	sion (CLOMR)		te of Occupancy - Temp	Perm			
Letter of Map Revision (LOMF	R)		ary / Final Plat				
Floodplain Development Permi	t		for Building Permit - DFT				
Traffic Circulation Layout (TC Administrative	L) –		rder (DRC)				
Traffic Circulation Layout (TC Approval	L) – DFT		of Financial Guarantee (ROFG)				
Traffic Impact Study (TIS)		Concept	ual TCL - DFT				
Street Light Layout		OTHER	(SPECIFY)				
OTHER (SPECIFY)							

ABBREVIATIONS:

ADS BoP BoS CL CMP CoABQ CONC DI EL EOP EX/EXIST ESMT FF FL FG GB GV HDPE HP HW ID INV LF LT	CONCRETE DUCTILE IRON ELEVATION EDGE OF PAVEMENT EXISTING EASEMENT FINISH FLOOR ELEVATION FLOWLINE FINISHED GRADE GRADE BREAK GATE VALVE HIGH DENSITY POLYETHYLENE HIGH DENSITY POLYETHYLENE HIGH POINT HIGH WATER ELEVATION INNER DIAMETER INVERT LINEAR FEET LEFT	NAVD NGS NTS PC PI PSI PT PVC RT ROW SS SSMH SD SDMH ST STA SW SWPPP ToA ToC ToP ToS TYP VG	STORM DRAIN PIPE STORM DRAIN MANHOLE SEPTIC TANK STATION SIDEWALK
LT	LEFT		
MIN	MINIMUM		

CITY OF ALBUQUERQUE GENERAL NOTES:

- ALL WORK DETAILED ON THESE PLANS, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION THROUGH UPDATE #9, REFERRED TO HEREIN AS "STANDARD SPECIFICATIONS.
- 2. ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY OR PUBLIC EASEMENTS MUST BE DONE FROM APPROVED WORK ORDER DOCUMENTS ISSUED BY THE CITY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- CONTRACTOR SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. INCLUDING SAFETY OF ALL PERSONS AND PROTECTION OF PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED. IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT. EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- ALL EXCAVATION. TRENCHING, AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE WITH OSHA 29CFR 1926.650, SUBPART "P".
- 6. AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- CONTRACTOR SHALL NOTIFY THE CONSTRUCTION ENGINEER (OR CITY PROJECT MANAGER) NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. ONLY THE CITY SURVEYOR SHALL REPLACE SURVEY MONUMENTS. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED. CONTRACTOR SHALL, AT HIS/HER OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO STANDARD SPECIFICATION SECTION 4.4.
- 8 FOR CIP PROJECTS: SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION CONTRACTOR SHALL SUBMIT TO DMD, CONSTRUCTION COORDINATION DIVISION, A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE DMD. CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF STANDARD SPECIFICATIONS. PERMIT REQUESTS MAY BE DENIED OR DELAYED DUE TO CONFLICTS WITH OTHER PROJECTS IN THE AREA.
- 9. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION. CONTRACTOR MUST CONTACT NEW MEXICO ONE-CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- CONTRACTOR SHALL ASSIST THE ENGINEER / INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND APPURTENANCES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS-BUILT" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES OR APPURTENANCES UNTIL ALL DATA HAVE BEEN RECORDED
- 11. CONTRACTOR SHALL ASSUME FINANCIAL RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENT, PAVEMENT MARKINGS, SIGNAGE, CURB & GUTTER, A.D.A. RAMPS, AND SIDEWALK DURING CONSTRUCTION APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS, AND SHALL REPAIR OR REPLACE, PER THE STANDARD SPECIFICATIONS, ANY SUCH DAMAGE.
- 12. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- 13. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNAGE UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY AND OTHER JURISDICTIONAL AUTHORITIES WHERE APPLICABLE.

CITY OF ALBUQUERQUE WATER & SEWER NOTES

- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING. EXISTING VALVES AND MANHOLES SHALL NOT BE BURIED OR PAVED OVER; RIMS SHALL BE ADJUSTED TO MATCH NEW GRADE PER C.O.A. STANDARD DRAWINGS 2460
- 2. MANHOLE RIMS, FIRE HYDRANT ELEVATIONS, AND FLANGE ELEVATIONS SHOWN ARE APPROX-IMATE. CONTRACTOR SHALL FIELD-VERIFY AND ADJUST TO FINAL PAVEMENT OR SURFACE GRADES.
- THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER-PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY FOURTEEN (14) DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ON LINE AT: HTTP://ABCWUA.ORG/WATER_SHUT_OFF_AND_TURN_ON_PROCEDURES.ASPX
- 4. PROPOSED WATERLINE MATERIALS SHALL BE PVC PIPE MEETING AWWA C-900, DR18 REQUIREMENTS (6" TO 12") OR DUCTILE IRON PIPE MEETING AWWA C-150 REQUIREMENTS (6" TO 48").
- ALL WATERLINE FITTINGS, VALVES, BENDS, TEES, CROSSES AND APPURTENANCES SHALL HAVE RESTRAINED JOINTS UNLESS OTHERWISE NOTED ON THE PLANS. THE JOINT RESTRAINT REQUIREMENTS SHOULD BE DELINEATED WITHIN A JOINT-RESTRAINT TABLE.
- 6. ALL SANITARY SEWER LINE STATIONING REFERS TO SANITARY SEWER CENTERLINE, EXCEPT WHEN PROFILED WITHIN A PROPOSED OR EXISTING STREET, WHEREIN STREET STATIONING SHALL GOVERN.
- 7. ALL FINAL BACKFILL FOR TRENCHES SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY STANDARD SPECIFICATIONS SECTION 701.14.2 AND STANDARD DRAWING No. 2465.
- 8. ELECTRONIC MARKER SPHERES (EMS) WILL BE PLACED ACCORDING TO THE CITY STANDARD SPECIFICATIONS, LATEST EDITION.
- 9. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES AND / OR OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. CONTRACTOR SHALL COORDINATE RELOCATION OF UTILITY LINES WITH AFFECTED UTILITY COMPANIES AS REQUIRED
- 10. CONTRACTOR SHALL INSTALL A 4" X 4" X 5' POST AND EMS AT THE END OF EACH SANITARY SEWER SERVICE
- 11. CONTRACTOR SHALL PROVIDE THE PROPOSED HYDROSTATIC TESTING PLANS TO THE WATER AUTHORITY INSPECTOR FOR APPROVAL PRIOR TO BEGINNING TESTING OPERATIONS
- 12. AT UTILITY CROSSINGS. WHERE LESS THAN 18" OF VERTICAL SEPARATION FROM STORM DRAIN PIPING OR STRUCTURES IS PROPOSED, LEAN FILL CONSTRUCTION (PER SECTION 207 OF THE STANDARD SPECIFICATIONS) SHALL BE USED TO PROTECT THE WATER OR SEWER LINE. LEAN FILL SHALL EXTEND A PERPENDICULAR DISTANCE OF 5 FEET ON EACH SIDE OF THE STORM PIPE OR STRUCTURE.

CITY OF ALBUQUERQUE TRANSPORTATION RTH AMERICAN VERTICAL DATUM NOTES

- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECT-ORIZED PAVEMENT MARKING BY CONTRACTOR AT THE SAME LOCATION AS EXISTING OR AS INDICATED ON THIS PLAN SET.
- 2. WORK AFFECTING ARTERIAL ROADWAYS MAY REQUIRE TWENTY-FOUR-HOUR CONSTRUCTION.
- 3. REMOVAL OF EXISTING CURB & GUTTER AND SIDEWALKS SHALL BE TO THE NEAREST JOINT
- ANY DAMAGE TO THE EXISTING CURB & GUTTER, PAVEMENT, SIDEWALKS, STRIPING, OR SIGNAGE DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S FXPFNSF
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY
- 6. CURB & GUTTER, SIDEWALKS, AND DRIVEPADS SHALL MATCH THE LINE AND GRADE OF ABUTTING EXISTING AREAS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE PROJECT FNGINEER
- 7. THE SUBGRADE PREPARATION SHALL EXTEND ONE (1) FOOT BEYOND THE FREE EDGE OF NEW CURB & GUTTER AND SIDEWALK.
- 8. CONTRACTOR SHALL TEST SUBGRADE R-VALUE PRIOR TO CONSTRUCTION. IN THE EVENT THE R-VALUE IS LESS THAN 50, REMOVE TWO FEET OF SUBGRADE MATERIAL AND IMPORT MATERIAL WITH R-VALUE GREATER THAN 50, OR CONTACT THE ENGINEER IMMEDIATELY SO THE PAVEMENT SECTION CAN BE MODIFIED.
- AT ALL PAVEMENT REMOVAL AND REPLACEMENTS, SAW-CUT EDGES SHALL BE STRAIGHT AND CLEAN, AND LONGITUDINAL JOINTS SHALL NOT BE PLACED WITHIN WHEEL PATHS. PATCHES SHALL BE REGULAR AND SQUARE OR RECTANGULAR, WITH FOUR STRAIGHT SIDES. FINISHED PAVEMENT SURFACE SHALL BE FLUSH WITH EXISTING PAVEMENT SURFACE, WITH NO SPILLOVER OF ASPHALT OR TACK COAT. CARE MUST BE TAKEN TO AVOID DAMAGING THE INTEGRITY OR APPEARANCE OF SURROUNDING PAVEMENT: IF DAMAGED, THE ENTIRE SURFACE PATCH MUST BE EXPANDED TO COVER DAMAGES.
- 10. CONTRACTOR WILL ENSURE THE ASPHALT HAS A SMOOTH. UNIFORM EDGE WHEN REMOVING AND REPLACING CURB & GUTTER. IF THE ASPHALT EDGE IS NOT SMOOTH AND UNIFORM, CONTRACTOR SHALL SAW-CUT AND REPLACE A ONE-FOOT STRIP OF ASPHALT ALONG THE FULL SECTION BEING REPLACED: REFER TO C.O.A. STANDARD DRAWING No. 2465 WITH THE APPROPRIATE PAVING SECTION BASED ON ROADWAY CLASSIFICATION.
- 11. TWO WEEKS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE TRANSIT DEPARTMENT OF ANY IMPACT THE PROJECT WILL HAVE ON THE TRANSIT SYSTEM SUCH AS CAUSING A DETOUR OR THE CLOSURE OR RELOCATION OF A BUS STOP. THE CONTACT PERSON IS DOUGLAS GOFF, OFFICE PHONE 724-3137, CELL PHONE 206-0151, OR E-MAIL: DGOFF@CABQ.GOV

CITY OF ALBUQUERQUE OTHER COMMON NOTES:

- 1. RCP SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURER'S RECOMMENDATION. MANUFACTURER'S RECOMMENDED JOINT GAP TOLERANCES FOR EACH PIPE SIZE AND TYPE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF THE PIPE. RCP JOINTS SHALL NOT BE GROUTED UNLESS DIRECTED BY THE ENGINEER WITH CITY APPROVAL.
- 2. CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING
- CONTRACTOR SHALL DETERMINE IN ADVANCE OF CONSTRUCTION IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, GUYS, ETC., ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTIONS TO CONSTRUCTION OPERATIONS ARE PRESENT CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 4. PNM WILL PROVIDE, AT NO COST TO THE CITY OR THE CONTRACTOR, THE NECESSARY PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECSSARY BY PNM WHILE THE CONTRACTOR IS EXPOSING PNM'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONSTRUCTION.
- EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED LIPON INFORMATION PROVIDED BY THE LITH ITY COMPANY. THE OWNER OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION BEGINS.
- THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. CONTRACTOR SHALL FIELD-VERIFY THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS/HER FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES.
- 7. CONTRACTOR SHALL SUPPORT ALL EXISTING UNDERGROUND UTILITIES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO STORM SEWER, WATER LINE, AND/OR SEWER LINE COSTS.
- 8. CONTRACTOR SHALL SUPPORT AND MAINTAIN THE INTEGRITY OF ALL UNDERGROUND TELEPHONE, ELECTRIC CABLES, COMMUNICATION CABLES, AND CABLE-TELEVISION UTILITIES AT NO ADDITIONAL COST TO THE OWNER. CABLE SHALL BE SUPPORTED AT A MAXIMUM SPACING OF FIFTEEN (15) FEET. CONTRACTOR SHALL COORDINATE WITH AND MAKE ANY NECESSARY PAYMENT TO UTILITY OWNER FOR DE-ENERGIZATION OF CABLES, OR SUPPORT OF CABLES BY THE UTILITY OWNER.
- 9. ALL FINAL BACKFILL FOR TRENCHES WITHIN THE COA RIGHT-OF-WAY SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY STANDARD SPECIFICATIONS SECTION 701.14.2 AND STANDARD DRAWING No. 2465
- 10. CONTRACTOR SHALL PROMPTLY CLEAN UP ANY EXCAVATED MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS TO PREVENT ANY EXCAVATED MATERIAL BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
- 11. REMOVALS SHALL BE DISPOSED OF OFF-SITE AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 12. CONTRACTOR SHALL DISPOSE OF ALL UNSUITABLE MATERIAL IN AN ENVIRONMENTALLY ACCEPT-ABLE MANNER AT A LOCATION ACCEPTABLE TO THE PROJECT MANAGER. THERE WILL BE NO DIRECT COMPENSATION FOR THIS WORK.
- 13. CONTRACTOR SHALL CONDUCT ALL WORK IN A MANNER WHICH WILL MINIMIZE INTEFERENCE WITH LOCAL TRAFFIC.
- THE FLOW ARROWS SHOWN ON THE SITE GRADING DRAWING(S) INDICATE THE GENERAL DIRECTION OF SURFACE RUNOFF. THE CONTRACTOR SHALL NOT CONSTRUCT LOW POINTS SHALL BE REMOVED, STORED, AND RE-SET BY THE CONTRACTOR. IN PAVED SURFACES THAT ALLOW SURFACE RUNOFF TO POND. 2. STORM WATER SHALL NOT BE ALLOWED TO POND WITHIN 10 FEET OF ANY BUILDING REMAINS ARE DISCOVERED DURING EXCAVATION OR CONSTRUCTION. WORK SHALL CEASE AND THE CONSTRUCTION ENGINEER SHALL NOTIFY THE COUNTY OFFICE OF THE FOUNDATION SYSTEM. MEDICAL EXAMINER AT 272-3053. IF THE MEDICAL EXAMINER DETERMINES THAT HUMAN 3. THE CONTRACTOR SHALL NOT ALLOW SURFACE RUNOFF TO CAUSE EROSION DAMAGE TO REMAINS ARE NOT PRESENT, THE CONSTRUCTION ENGINEER SHALL NOTIFY THE STATE HISTORIC PRESERVATION OFFICER (SHPO) AT 827-6320. EARTHWORK AREAS DURING CONSTRUCTION. OF ANTIQUITY ARE ENCOUNTERED, CONTRACTOR SHALL CEASE OPERATIONS AND **EROSION CONTROL NOTES:**
- 14. ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC. WITHIN THE CONSTRUCTION LIMITS 15. IF CULTURAL RESOURCES, SUCH AS HISTORIC OR PRE-HISTORIC ARTIFACTS, OR HUMAN 16. IF OBJECTS OF HISTORICAL, ARCHEOLOGICAL, PALEONTOLOGICAL, OR OTHER OBJECTS
- IMMEDIATELY NOTIFY OWNER AND PROJECT ENGINEER.

GRADING NOTES:

- 1. CONTRACTOR RESPONSIBLE FOR ALL SITE MATERIAL TESTING. TEST REPORTS TO BE SUBMITTED TO THE ENGINEER AND OWNER TO BE INCLUDED IN FINAL DOCUMENTATION.
- 2. ALL STATIONING IS CENTERLINE STATIONING. STATIONS ALONG CURVES ARE RADIAL.
- 3. ALL ROADWAY CONSTRUCTION SHALL MEET THE REQUIREMENTS AND STANDARDS SPECIFICATIONS OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION THROUGH UPDATE #9, REFERRED TO HEREIN AS "STANDARD SPECIFICATIONS.
- 4. EXISTING AND FINISHED TOPOGRAPHIC INFORMATION SHOWN AT 1 FOOT INTERVALS. FINISH TOPOGRAPHY IS APPROXIMATE AND DOES NOT CONSIDER CURBS AND OTHER DETAIL CHANGES. DEFER TO SPOT ELEVATIONS WHERE PROVIDED.
- 5. ALL GRADING SHALL BE MINIMUM OF 4:1 SLOPES OR FLATTER UNLESS OTHERWISE NOTED. ALL CUT AND FILL TRANSITIONS SHALL BE ROUNDED. CONSTRUCTION SLOPES WHICH EXCEED 4H:1V SHALL BE PROTECTED.
- 6. PROVIDE SMOOTH DRIVING TRANSITION AT ALL INTERSECTION.
- 7. ALL SPOT ELEVATIONS ARE FINISH DESIGN GRADES UNLESS OTHERWISE NOTED.
- SUBGRADE AND BACKFILL MATERIALS FOR FOUNDATION SHALL BE COMPACTED TO A MINIMUM OF 95% OF MODIFIED PROCTOR AS DETERMINED BY ASTM STANDARD D1557
- 9. BACKFILL MATERIALS TO BE PLACED UNDER CONCRETE SLABS SHALL BE A GRANULAR SOIL. EXPANSIVE TYPE SOILS ARE PROHIBITED AS BACKFILL MATERIALS.

EARTHWORK

IS MADE AVAILABLE.

DUST CONTROL DI ANI

2.	GRUBBING IN THAT AREA SHALL CLEARED OF VEGETATION GRO DIAMETER, AND OTHER OBJECT SHALL ARE THE RESPONSIBILIT	ORK OPERATIONS ALL NECESSARY CLEARING AND L HAVE BEEN PERFORMED. THE PROJECT AREA SHALL BE WTH, STUMPS, ROOTS, TRASH, DEBRIS, ROCKS OVER 3" IN FIONABLE MATERIALS. DISPOSAL OF THESE MATERIALS 'Y OF THE CONTRACTOR AND ALL DISPOSAL ACTIVITIES D ALL LOCAL, STATE AND FEDERAL REGULATIONS.		ENTRA DAILY E MINIMIZ INCLUE MANUF OF 8:1 OF 3:1
3.	THE PROPOSED CONSTRUCTION AND BROUGHT TO A MOISTURE	OVED TO SUBGRADE ELEVATION FOR THE FULL WIDTH OF IN. THE 6" LAYER OF NATIVE SUBGRADE SHALL BE SCARIFIED © CONTENT OF 2% ± OF OPTIMUM AND COMPACTED TO NOT IENSITY AS DETERMINED BY ASTM D1557.	2.	RE-SEE
4.	COMPACTED. FILL MATERIALS S SUBSTANCES. THE FILL MATER	CED IN 12" LOOSE LIFTS NOT TO EXCEED 9" IN DEPTH WHEN SHALL BE FREE OF ANY ORGANIC OR DELETERIOUS RIAL UNIFIED SOILS CLASSIFICATION SYSTEM CLASSIFIED P, GM, SM, OR GC AND SHALL MEET THE FOLLOWING	<u>CO</u>	CALEN MME THE DE
	3"	6 PASSING 100% 70 - 100%		DESIGN STUB-C SHEET.
	3" 3/4" 7 #4 5 #200	100% 70 - 100% 50 - 100% 0 - 20%	2.	DESIGN STUB-C
	3" 3/4" 7 #4 5 #200 PLASTIC INDEX 15 WHERE FILL IS TO BE PLACED C	100% 70 - 100% 50 - 100%		DESIGN STUB-C SHEET.
	3" 3/4" #4 #200 PLASTIC INDEX WHERE FILL IS TO BE PLACED C HORIZONTAL, THE GROUND SUF	100% 70 - 100% 50 - 100% 0 - 20% 5 MAXIMUM ON SLOPES STEEPER THAN ONE (1) VERTICAL TO FIVE (5) RFACE SHALL BE BENCHED TO PROVIDE A FIRM BOND WITH IALL BE PLACED, SPREAD OR ROLLED WHILE IT IS FROZEN OR	3.	DESIGN STUB-C SHEET. IT SHAL OSHA F SHOUL CONST

1. ALL EARTHWORK SHALL MEET THE REQUIREMENTS ON THE "GEOTECHNICAL REPORT" AS IT

CONTRACTOR RESPONSIBLE FOR ALL SITE MATERIAL TESTING. TEST REPORTS TO BE SUBMITTED TO THE ENGINEER AND OWNER TO BE INCLUDED IN FINAL DOCUMENTATION.

CONCRETE:

- 1. ALL CONCRETE SHALL BE PLACED IN A SINGLE CONTINUOUS OPERATION SO AS TO PRODUCE A MONOLITHIC SLAB/FOUNDATION BETWEEN CONSTRUCTION JOINTS.
- 2. CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI UNLESS OTHERWISE NOTED. CEMENT SHALL CONFORM TO ASTM C150. TYPE I. II. OR III. CONCRETE AGGREGATE SHALL CONFORM TO ASTM C33. CONCRETE SHALL BE PROTECTED FROM LOSS OF MOISTURE FOR A MINIMUM OF 7 DAYS TO PREVENT CURING TENSION CRACKS FROM FORMING IN THE FOUNDATION. FOUNDATIONS OR SLABS SPECIFIED TO HAVE AIR ENTRAINMENT SHALL NOT BE STEEL TROWEL FINISHED CONCRETE SHALL NOT HAVE A SLUMP IN EXCESS OF 4 INCHES PRIOR TO PLACEMENT CONCRETE SHALL BE PLACED WITHIN 90 MINUTES OF BATCHING.
- 3. ALL REINFORCING SHALL CONFORM TO ASTM A617, GRADE 40, AND ACI 318-89 UNLESS OTHERWISE NOTED.

AMERICANS WITH DISABILITIES ACT (ADA) MINIMAL REQUIREMENTS:

- 1. THE GENERAL CONTRACTOR TO BECOME FAMILIAR WITH AND APPLY THE ADA MINIMAL REQUIREMENTS AND REPORT TO THE ARCHITECT/ENGINEER ANY DISCREPANCIES BEFORE CONSTRUCTION.
- ACCESSIBLE ROUTES ON AN ACCESSIBLE SITE AND FOR NEW SITE IMPROVEMENTS SHALL BE PROVIDED TO SERVE ALL ACCESSIBLE SPACES OR ELEMENTS.
- THE MINIMAL CLEAR WIDTH OF AN ACCESSIBLE ROUTE PER CODE IS 36".
- EACH ACCESSIBLE PARKING SPACE IS TO BE A MINIMUM OF 14' WIDE. CONSISTING OF A 5 WIDE ACCESS AISLE AND A 9' WIDE PARKING SPACE, EACH VAN ACCESSIBLE PARKING SPACE IS TO BE A MINIMUM OF 17' WIDE, CONSISTING OF A 8' WIDE ACCESS AISLE AND A 9' WIDE PARKING SPACE. THE ACCESS AISLE SHALL BE ON THE PASSENGER'S SIDE OF THE VAN ACCESSIBLE SPACE
- ACCESSIBLE PARKING SPACES ARE TO BE LOCATED AS CLOSE TO THE BUILDING ENTRANCE AS POSSIBLE AND SHALL BE IDENTIFIED WITH A SIGN.
- 6. RAMPS MUST NOT EXTEND OUT FROM THE CURB INTO THE ACCESS AISLE ANY ACCESSIBLE PARKING SPACE.
- 7. TWO PARKING SPACES MAY SHARE THE SAME ACCESS AISLE.
- 8. ALL ADA PARKING SPACES SHALL BE STRIPED USING 4" WIDE DOUBLE LAYER OF FEDERAL BLUE PAINT, UNLESS OTHERWISE NOTED.
- 9. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1:50 (2.0%) IN ANY DIRECTION. 10. EACH ACCESSIBLE PARKING SPACE SHALL HAVE A IDENTIFICATION SIGN (SEE DETAIL).

RAMPS

- 11. AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 1:20 (5.0%) IS A RAMP AND SHALL COMPLY WITH THE RAMP REQUIREMENTS.
- 12. AN ACCESSIBLE ROUTE MAY CROSS OPEN PAVEMENT OR CONDITIONS. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE ACROSS OPEN PAVEMENT MUST NOT EXCEED 1:20 (5.0%), WITH A CROSS SLOPE NOT EXCEEDING 1:50 (2.0%). SLOPES EXCEEDING 1:20 (5.0%), BUT LESS THAN 1:12 (8.33%) . CONSTITUTE RAMPS AND MUST CONFORM TO THE REQUIREMENTS OF RAMP DESIGN (HANDRAILS, CURBS, LANDINGS, RISE AND RUN LIMITS, ETC.) AS DETAILED ON THE CIVIL PLANS. NO RAMP SHALL HAVE A RUNNING SLOPE EXCEEDING 1 12 (8 33%) NOR HAVE A CROSS SLOPE EXCEEDING 1 50 (2 0%)
- 13. THE GENERAL CONTRACTOR/CONTRACTOR SHALL MEASURE THE SUBGRADE AND ACROSS FORMS PRIOR TO INSTALLATION OF ASPHALT OR CONCRETE IMPROVEMENTS TO ASSURE THE IMPROVEMENTS WILL MEET THESE MINIMAL ADA REQUIREMENTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE CIVIL ENGINEER PRIOR TO INSTALLATION OF THE IMPROVEMENTS.
- 14. A CURB RAMP SHALL BE PROVIDED WHEREVER AN ACCESSIBLE ROUTE CROSSES A CURB
- 15. CURBS RAMPS HAVE A MAXIMUM SLOPE OF 1:12 (8.33%) AND DO NOT REQUIRE HANDRAILS. 16. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR
- WHERE IS IS NOT PROTECTED BY HANDRAILS, IF SHALL HAVE FLARED SIDES; THE MAXIMUM SLOPE OF THE FLARE SHALL BE 1:12 (8.33%).

SITE DRAINAGE:

- 1. SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
- 2. WHERE POSSIBLE, SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE
- 3. THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16" ABOVE THE ORIGINAL GROUND SURFACE.
- 4. THE SILT FENCE SHALL BE PLACED IN A TRENCH CUT A MINIMUM OF 6" DEEP. THE TRENCH SHALL BE CUT WITH A TRENCHER, OR OTHER SUITABLE DEVICE WHICH WILL INSURE ADEQUATE UNIFORM TRENCH DEPTH.
- THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWNSLOPE SIDE OF THE GEOTEXTILE AND SO THAT 8" OF THE CLOTH ARE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6" DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED.
- 6. SEAMS BETWEEN SECTIONS OF THE SILT FENCE SHALL BE OVERLAPPED WITH THE END STAKES OF EACH SECTION WRAPPED TOGETHER BEFORE DRIVING INTO THE GROUND.
- 7. SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER OR AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, 2) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR 3) OTHER PRACTICES SHALL BE INSTALLED.
- 8. SEDIMENT SHALL BE REMOVED FROM SILT FENCE WHEN FABRIC IS AT 50% CAPACITY 9. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR COMPLIANCE TO THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM.

J	ST CONTROL PLAN:	GEN	
1.	DEVELOPMENT TO COMPLY WITH CITY OF ALBUQUERQUE DUST CONTROL ORDINANCE BY		
1.	USE OF THE FOLLOWING RACMS (COMPLETE DUST CONTROL PLAN INCLUDED IN STORM WATER POLLUTION PREVENTION PLAN): PRIMARY; STABILIZED CONSTRUCTION	1.	THERE TO AC ⁻ LOCAT
	ENTRANCE(S) AND CONTINUOUS WATER APPLICATION (BY WATER TRUCK ON AT LEAST A DAILY BASIS DURING WINDY DAYS, PRIMARILY SPRING MONTHS OR AS NEEDED TO MINIMIZE FUGITIVE DUST). ANCILLARY; DUST SUPPRESION WITH POLYMER - WATERING TO INCLUDE ENVIROTAC II SOIL STABILIZER (OR SIMILAR PRODUCT) APPLIED PER THE	2.	SOUDE ACT AS
	MANUFACTURERS RECOMMENDATIONS ON PRODUCT LABEL (WATER TO PRODUCT RATIO OF 8:1 AT 110 GALLONS PER ACRES FOR NON-TRAFFIC AREAS, WATER TO PRODUCT RATIO OF 3:1 AT 1 GALLON PER 40 SQUARE FEET FOR TRAFFIC AREAS) AND/OR SILT FENCE AND RE-SEEDING IF APPLICABLE.	3.	THE EN THESE ENGIN
		2.	THE EN
2.	ONCE CONSTRUCTION HAS COMMENCED, THE DISTURBED AREA CANNONT SIT FOR MORE	2	

TEN (10) SUCCESSIVE CALENDAR DAYS. RACMS MUST BE CEASED OPERATIONS THAN TWO (2) SUCCESSIVE CALENDAR DAYS AND LESS THAN TEN (10) SUCCESSIVE NDAR DAYS

ERCIAL UTILITY NOTES:

- DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING, RESEARCHING, CALLING FOR GN LOCATES NEW MEXICO ONE CALL (811), LOCATING EXISTING MAINS, SERVICE LINE OUTS, AND OTHER FACILITIES AND SHOWING THEM APPROPRIATELY ON THE UTILITY
- ALL BE THE CONTRACTOR'S RESPONSIBILITY FOR JOB SAFETY OR COMPLIANCE WITH REGULATIONS. LD CONFLICTING INFORMATION OR INTERFERENCE PROBLEMS APPEAR IN THE
- TRUCTION DRAWINGS THE CONTRACTOR SHALL BRING THAT INFORMATION TO THE NTION OF THE ENGINEER IMMEDIATELY PRIOR TO INSTALLATION.
- ONSTRUCTION MATERIALS AND WORKMANSHIP DONE WITHIN THE PUBLIC T-OF-WAY SHALL CONFORM TO THE CITY OF ALBUQUERQUE UTILITY STANDARDS.
- 5. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES BEFORE COMMENCING WORK AND SHALL BE RESPONSIBLE FOR COMPLYING WITH NEW MEXICO ONE-CALL PROCEDURES. ANY DAMAGE TO EXISTING UTILITIES MUST BE IMMEDIATELY REPORTED TO THE APPROPRIATE UTILITY COMPANY.
- 6. ROADWAY, RIGHT-OF-WAY AND SUB GRADE TO BE ESTABLISHED WITHIN 6 INCHES (BOTH HORIZONTAL AND VERTICAL) OF FINAL LOCATION PRIOR TO INSTALLATION OF ANY UTILITIES. GAS AND WATER UTILITIES TO BE PLACED WITHIN 6 INCHES OF FINAL REQUIRED DEPTH AND LOCATION. THE CONTRACTORS WILL AT HIS EXPENSE RELOCATE OR REPLACE UTILITIES, WHICH FAIL TO ADHERE TO THIS SPECIFICATION.
- 7. CURB CONTRACTOR TO STAMP. FRESH CONCRETE SIDEWALK WITH G. S. AND W. DIRECTLY ABOVE GAS, SEWER, AND WATER STUB OUT LOCATIONS, A UTILITY INSPECTOR SHALL BE PRESENT WHEN MARKING. FAILURE TO APPLY STAMPS SHALL BE CAUSE FOR REJECTION OF THE IMPROVEMENT BY THE CITY
- 8. IT WILL BE THE DEVELOPER'S RESPONSIBILITY TO SUBMIT THE "AS-BUILT" DRAWINGS, AS COMPLETED BY THE CONTRACTOR AND TURNED IN TO THE CITY OF ALBUQUERQUE PROJECT MANAGER. FOR APPROVAL AND ACCEPTANCE.
- 9. THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS OF THE IMPROVEMENTS TO THE GAS SYSTEM BEFORE THOSE IMPROVEMENTS BE TIED INTO THE EXISTING GAS SYSTEM. 10. THE INSTALLATION OF MAINS/SERVICE LINES IN CITY OF ALBUQUERQUE AND NMDOT
- RIGHT-OF-WAY REQUIRE A PERMIT FROM THAT GOVERNMENT ENTITY AND MUST BE INITIATED BY THE PERSON REQUESTING THE SERVICE. THE OWNER IS RESPONSIBLE FOR ANY FEES RELATED TO THE PERMIT PROCESS.
- 11. ALL UTILITY LINES SHALL NOT BE INSTALLED UNDER CONCRETE WITHOUT PRIOR APPROVAL FROM THE CITY OF ALBUQUERQUE UTILITIES.
- 12. EXCESS FLOW VALVES (EFV) ARE REQUIRED PER MOST CURRENT CODE OF FEDERAL **REGULATION TITLE 49 PART 192**
- 13. TREES SHALL HAVE A 10' MINIMUM CLEARANCE FROM ALL UTILITIES AND UTILITY SERVICES.
- 14. THE CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY WORK INCLUDING TRAFFIC CONTROL PAVEMENT CUTS, EXCAVATION, INSTALLATION AND RESTORATION.
- 15. ANY CHANGES FROM THE PREVIOUSLY APPROVED UTILITY PLAN REQUIRE A WRITTEN REQUEST FROM THE ENGINEER OR AN AMENDMENT TO THE UTILITY PLAN.

FIXTURE SUPPLY UNITS & DEVICES NOTE:

1. ALL INFORMATION SHOWN IN THE FOLOWING SHEETS THAT REFERENCES WATER, GAS AND SEWER CALCULATIONS, METERS AND BACKFLOW PREVENTION DEVICES WERE PROVIDED BY OTHERS AND ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY.

SITE DATA	
IDO ZONE DISTRICT:	MX-M
IDO DISTRICT DEFINITION:	MODERATE INTENSITY
IDO CATEGORY:	MIXED-USE
LAND USE CATEGORY:	03 - COMMERCIAL RETAIL
LAND USE DESCRIPTION:	03 - RESTAURANT
PROPOSED LAND USE:	FAST FOOD RESTAURANT
LOT AREA:	32,745.99 SF
BUILDING AREA:	2,550.37 SE
ASPHALT AREA:	20,996.34 SF
CONCRETE AREA:	4,233.19 SF
	4,966.09 SF
PARKING REQUIRED:	14 SPACES
PARKING PROVIDED:	14 PERPENDICULAR PARKING SPACES
HC PARKING REQUIRED:	2 SPACES
HC PARKING PROVIDED:	1 REGULAR ADA PARKING SPACE
	1 VAN ACCESSIBLE PARKING SPACE
BICYCLE PARKING REQUIRED:	3
BICYCLE PARKING PROVIDED:	3
MOTORCYCLE PARKING REQUIRED:	1
MOTORCYCLE PARKING PROVIDED:	2
CoABQ FIRE DISTRICT:	D12
FLOOD ZONE:	ZONE X
DRAINAGE ZONE:	ZONE 4

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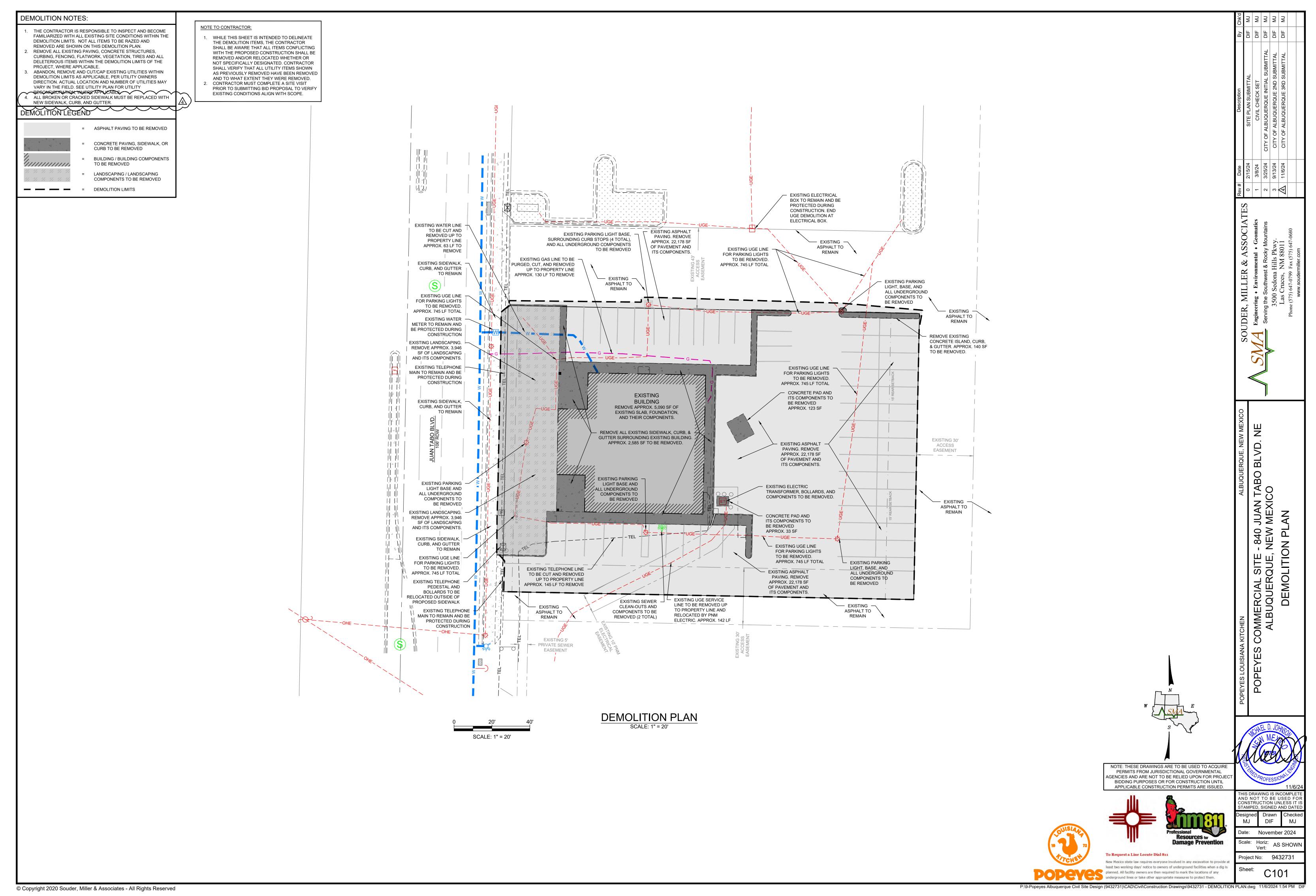
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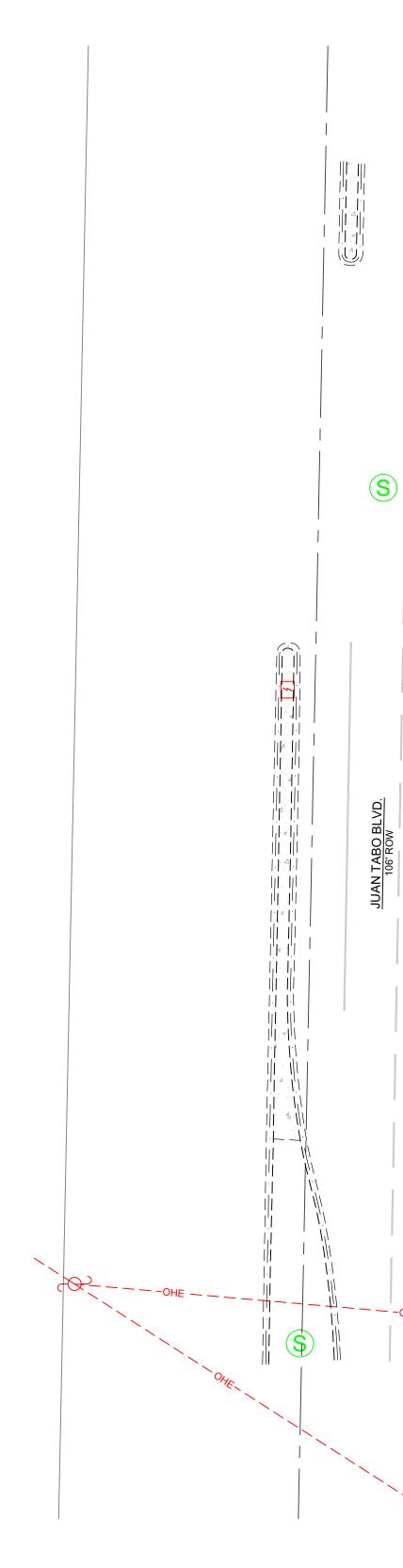
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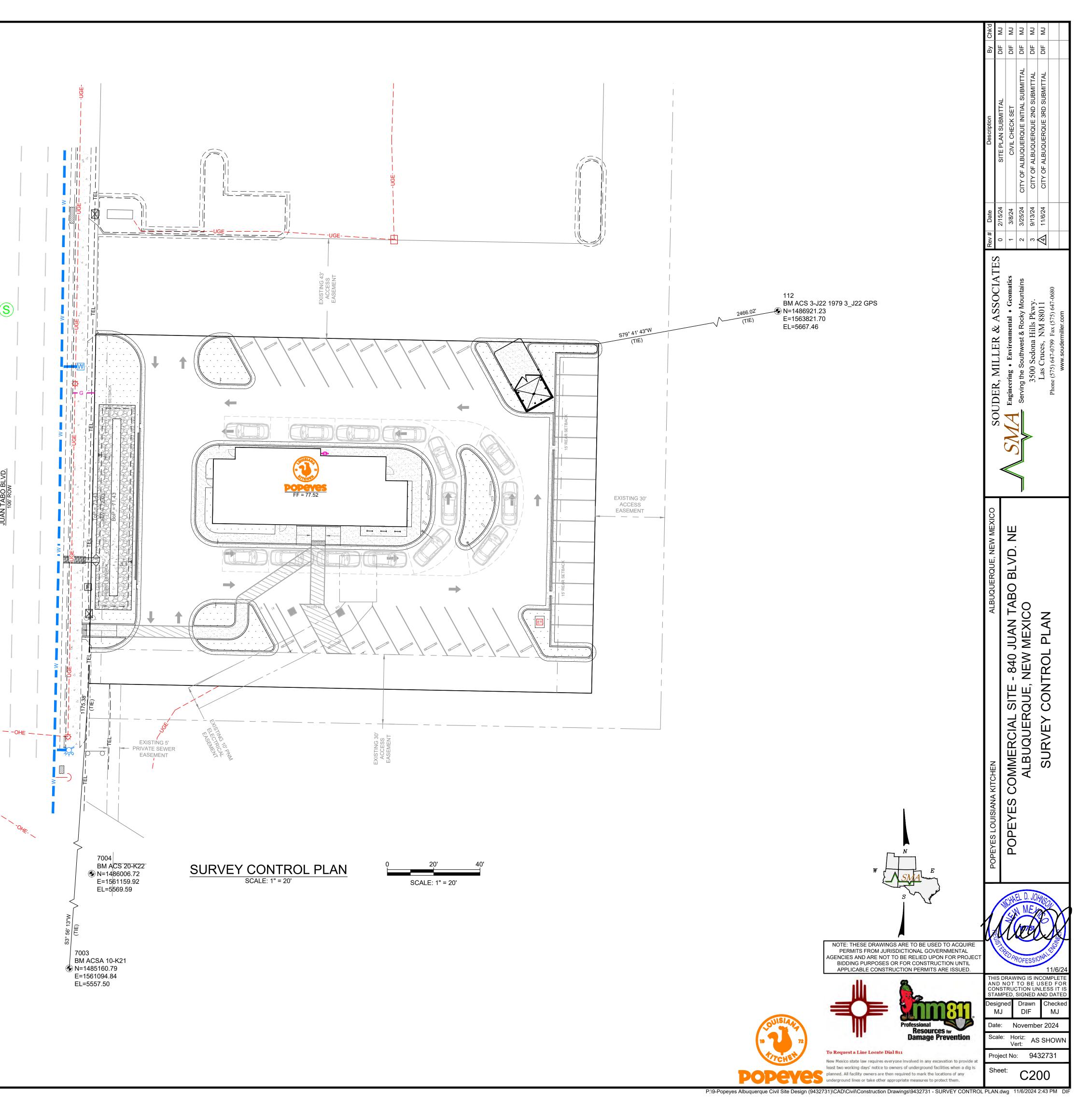
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<u>EN</u> 1.	IERAL CONSTRUCTION NOTES: THERE WILL BE A PERSON OR PERSONS (HEREINAFTER KNOWN AS THE OWNER'S REPRESENTATIVE) CHOSEN BY OWNER (HEREINAFTER KNOWN AS OWNER)	By	DIF	DIF	DIF	DIF		
	TO ACT AS CONTACT PERSONS WITH THE ENGINEER. THE OWNER'S REPRESENTATIVES WILL OBSERVE, PROVIDE INFORMATION AND PROVIDE CRITICAL LOCATIONS THROUGH THE ENGINEER TO THE CONTRACTOR IN THE FIELD.				-AL	Ļ		
2. 3.	SOUDER, MILLER AND ASSOCIATES SHALL HEREINAFTER BE KNOWN AS THE ENGINEER. THERE WILL BE A PERSON PROVIDED BY THE ENGINEER THAT WILL ACT AS A RESIDENT PROJECT REPRESENTATIVE WHO WILL BE THE FIELD CONTACT FOR QUESTIONS FROM THE CONTRACTOR TO THE ENGINEER. THE ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND IS NOT LIABLE FOR PROBLEMS THAT MAY ARISE FROM THE CONTRACTOR'S FAILURE TO FOLLOW				SUBMITTAL	SUBMITTAL	SUBMITTAL	
5.	THESE DRAWINGS, SPECIFICATIONS, AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS ARISING FROM FAILURE TO OBTAIN AND/OR FOLLOW THE ENGINEER'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS.		TTAL	SET			3RD SUE	
2. 3.	THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR PROJECT SITE SAFETY OR COMPLIANCE WITH OSHA REGULATIONS. THE CONTRACTOR AND/OR HIS SUBCONTRACTORS SHALL, AT THE TIME OF CONSTRUCTION AND/OR INSTALLATION, MUST HAVE ALL APPROPRIATE STATE	iption	SUBMITT	CHECK SI	JE INITIAL			
	LICENSES TO PERFORM THESE WORK ACTIVITIES. CONSTRUCTION AND/OR INSTALLATION WORK PERFORMED BY UNLICENSED CONTRACTORS AND/OR SUBCONTRACTORS SHALL NOT BE PAID FOR BY THE OWNER.	Description	PLAN S		JERQL	ALBUQUERQUE	ALBUQUERQUE	
4.	SHOULD CONFLICTING INFORMATION OR INTERFERENCE PROBLEMS APPEAR WITHIN THESE CONSTRUCTION DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL, IN WRITING, BRING THAT INFORMATION TO THE ATTENTION OF THE ENGINEER IMMEDIATELY PRIOR TO INSTALLATION OR CONSTRUCTION. FAILURE TO COMPLY SHALL NOT BE THE BASIS FOR EXTRA PAYMENT TO THE CONTRACTOR.		SITE	CIVIL	ALBUQUERQUE			
5. 6.	WHERE TWO OF MORE SPECIFICATIONS, DETAILS OR PLANS ARE IN CONFLICT, THE MORE RESTRICTIVE SHALL APPLY. THESE PLANS AND SPECIFICATIONS DO NOT SHOW EVERY CONSTRUCTION DETAIL, CONSTRUCTION ITEMS, FITTINGS, FIXTURES, MATERIAL TYPES, ETC. THAT				Ч			
0.	ARE REQUIRED TO COMPLETE THE SPECIFIED CONSTRUCTION ACTIVATES. IT IS ASSUMED THAT THE CONTRACTOR HAS SUFFICIENT EXPERIENCE AND KNOWLEDGE OF ALL APPLICABLE CONSTRUCTION AND BUILDING CODES TO CORRECTLY COMPLETE THE INSTALLATION/CONSTRUCTION OF ALL WORK				CITY	ö	ō	
7.	UNDERTAKEN WHERE PARTICULAR WORK ITEMS ARE NOT SPECIFIED HEREIN OR IN THE PROJECT SPECIFICATIONS, THE CURRENT EDITION OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION THROUGH UPDATE #9, REFERRED TO HEREIN AS "STANDARD	Date	2/15/24	3/8/24	3/25/24	9/13/24	11/6/24	_
8.	SPECIFICATIONS" SHALL GOVERN CONSTRUCTION OF THIS PROJECT UNLESS OTHERWISE NOTED.	D #	2/1		_			
9.	THE AREA SHALL IMMEDIATELY CEASE UNTIL THE SITE CAN BE PROPERLY CLEARED. ALL WORK IN THE VICINITY OF LIVE STREAMS, WATER IMPOUNDMENTS, WETLANDS OR IRRIGATION SUPPLIES SHALL BE EFFECTED IN SUCH A MANNER AS TO	Rev	0	~	7	ო <		
	MINIMIZE VEGETATION REMOVAL, SOIL DISTURBANCE AND EROSION. CROSSINGS OF LIVE STREAMS WITH HEAVY EQUIPMENT SHALL BE MINIMIZED, AS DETERMINED BY THE ENGINEER. EQUIPMENT REFUELING, MAINTENANCE AND CEMENT DUMPING IN THE VICINITY OF WATER COURSES IS STRICTLY PROHIBITED AND SHALL BE PERFORMED IN PROPER CONTAINMENT AREAS.		っし					
10.	IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE LOCATION OF ALL UTILITIES LOCATED WITHIN THE LIMITS OF CONSTRUCTION. THE GENERAL LOCATION OF KNOWN EXISTING UTILITIES HAS BEEN SHOWN ON THE CONSTRUCTION DRAWINGS TO INDICATE THAT CAUTION		IAI	omatics	iins		-	
	MUST BE EXERCISED WHEN WORKING IN THESE AREAS. IN MANY CASES THE EXACT LOCATION OF THE FACILITIES IS NOT KNOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL OVERHEAD AND UNDERGROUND UTILITIES WITHIN THE VICINITY OF THE NEW CONSTRUCTION. PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR. WORKING WITH THE RESPECTIVE UTILITY COMPANIES. SHALL ACCURATELY LOCATE AND MARK ALL		200	Geom	Mountains	ý.	1 1 647-0680	
	BURIED FACILITIES, INCLUDING SERVICE LINES. ALL EQUIPMENT LABOR, ETC. NECESSARY TO PROPERLY LOCATE THE EXISTING UTILITIES SHALL BE FURNISHED BY THE CONTRACTOR, THE COST OF WHICH SHALL BE INCLUDED IN THE UNIT PRICES ON VARIOUS BID ITEMS.		AD	tal • •				com
11.	THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTING THE PROJECT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION THROUGH UPDATE #9, REFERRED TO HEREIN AS "STANDARD SPECIFICATIONS", NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (NMSSPWC), AWWA SPECIFICATIONS, NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT)		8	nvironmental	it & Ro	Hill	NM Fax (:	soudermiller.com
12.	SPECIFICATIONS, PROJECT MANUAL AND OTHER APPLICABLE REGULATORY AGENCY REQUIREMENTS UNLESS OTHERWISE NOTED.	⊢	LEK	Unviro	outhwes	edona	Uruces,) 647-0799	souae.
13.	ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REMOVALS REQUIRED BY THE PLANS WHETHER SPECIFICALLY LISTED OR NOT TO COMPLETE THE		MILL	le + B		500 Se	Las Ur : (575) 64	.www
	PROJECT. THIS WORK WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND THE CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR UNLISTED REMOVALS. THE CONTRACTOR SHALL DISPOSE OF ALL UNSUITABLE MATERIAL IN AN ENVIRONMENTALLY ACCEPTABLE MANNER AT A LOCATION ACCEPTABLE TO THE OWNER AND ENGINEER.			Engineering	erving th	35	Phone (575) (
14.	THE CONTRACTOR SHALL SALVAGE ANY OBSTRUCTIONS NOTED ON THE CONTRACT DRAWINGS AS WELL AS REUSABLE ITEMS FOUND DURING CONSTRUCTION. SUCH ITEMS, IF ANY, SHALL BE DELIVERED TO THE PROPER OWNER AS DIRECTED BY THE ENGINEER AND/OR OWNER DURING		UDEK,	Eng	· Ser		ц	
15.	CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR SITE SECURITY, SECURING MATERIALS AND EQUIPMENT ONSITE. THE CONTRACTOR WILL NOT BE ALLOWED TO		5	Y				
16.	STORE EQUIPMENT WITHIN THE CONSTRUCTION ZONE DURING NON-WORKING HOURS. CONTRACTOR IS SOLELY RESPONSIBLE FOR UTILITY LOCATION, PROTECTION, AND VERIFICATION. CONTRACTOR MUST NOTIFY NEW MEXICO ONE CALL		,	~		>		
17.	SYSTEM, INC. AT 1-800-321-ALER(T), AND ALL LOCAL UTILITY PROVIDERS THREE (3) DAYS BEFORE STARTING UTILITY CONSTRUCTION. THROUGHOUT THE LIFE OF THE PROJECT, THE CONTRACTOR SHALL KEEP ANY EXISTING SYSTEM OPERATING. THE CONTRACTOR SHALL REPORT ANY UTILITY		(S				
	SHUTOFFS OF ANY OR ALL CONNECTIONS TO THE USER'S REPRESENTATIVE TWENTY-FOUR (24), OR MORE, HOURS IN ADVANCE OF THE SHUT-OFFS. ALL LOCAL RESIDENTS AND BUSINESSES SHALL BE CONTACTED BEFORE ANY DISCONNECTION OF WATER SERVICE. ANY INTERRUPTION OF WATER SERVICE SHALL BE KEPT TO THE MINIMUM LENGTH OF TIME POSSIBLE.		<					
18.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A WATER SOURCE FOR CONSTRUCTION. NO DIRECT PAYMENT WILL BE MADE FOR WATER. ALL PERMITS, FEES, EQUIPMENT, HAUL, ETC. RELATIVE TO OBTAINING WATER SHALL BE CONSIDERED INCIDENTAL TO THE VARIOUS BID ITEMS.				ļ			
19.	CONTRACTOR SHALL CONFINE ALL CONSTRUCTION OPERATIONS TO THE LIMITS OF THE PROJECT DEFINED IN THESE DRAWINGS, AND IN NO WAY ENCROACH ONTO ADJACENT PROPERTIES, UNLESS LEGAL EASEMENTS ARE PROVIDED. CONTRACTOR SHALL BE HELD SOLELY RESPONSIBLE FOR ANY AGREEMENTS NEEDED, OR DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO PUBLIC OR PRIVATE PROPERTY, INCLUDING UTILITIES.	0						
20.	THE CONTRACTOR SHALL TAKE ANY NECESSARY MEASURES TO PROTECT HORIZONTAL AND VERTICAL CONTROL SURVEY MONUMENTS FROM DAMAGE DURING CONSTRUCTION. IF DURING EXECUTION OF THE PROJECT, THE CONTRACTOR'S ACTIVITIES DISTURB OR DESTROY SUCH MONUMENTS, THE	NEXIC		Ш Z				
	CONTRACTOR SHALL RE-ESTABLISH THEM IN ACCORDANCE WITH THE STANDARDS AND PROCEDURES SET FORTH IN THE "GEODETIC MARK PRESERVATION GUIDEBOOK". FOR MORE INFORMATION CONTACT NGS MARK PRESERVATION CENTER, NOAA: (505) 768-3606.	NEW MEXICO						
18.	CONTRACTOR SHALL REPAIR ANY EXISTING STRUCTURE OR UTILITY CONDUIT DAMAGED DURING THE EXECUTION OF THE PROJECT, AT NO ADDITIONAL COSTS TO THE OWNER.							
	THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PROTECTION OF MATERIALS AND EQUIPMENT PRIOR TO AND AFTER THEIR INSTALLATION, AS APPLICABLE, UNTIL THE PROJECT'S FINAL ACCEPTANCE BY THE OWNER.	JERQUE.		BL				
20.	AS REQUIRED, NOT LESS THAN 5 DAYS PRIOR TO INITIATING ANY WORK, THE CONTRACTOR SHALL SUBMIT A DUST SUPPRESSION AND EROSION CONTROL PLAN FOR THE OWNER'S APPROVAL. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN SUCH A MANNER THAT WILL HAVE NO ADVERSE EFFECT UPON ADJACENT PROPERTIES OR PUBLIC ROADWAYS.	ALBUQL		ABO				
21.	CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR EROSION CONTROL INCIDENTAL TO THE CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL SUBMIT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) TO THE OWNER'S ENGINEER. THE PLAN WILL ADDRESS ALL CONSTRUCTION PHASES AND THE	ALI		F	XICO)		
~~	PROPOSED POLLUTION PREVENTION AND SEDIMENT CONTROL MEASURES. THIS SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT REQUIREMENT FOR ALL CONSTRUCTION ACTIVITIES.			JUAN	MFX	Ì	\sim	
22.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING AND CLEANUP OF SPILLS ASSOCIATED WITH PROJECT CONSTRUCTION AND SHALL REPORT AND RESPOND TO SPILLS OF HAZARDOUS MATERIALS SUCH AS GASOLINE, DIESEL, MOTOR OILS, SOLVENTS, CHEMICALS, TOXIC AND CORROSIVE SUBSTANCES, AND OTHER MATERIALS WHICH MAY BE A THREAT TO PUBLIC HEALTH OR THE ENVIRONMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING				N N	-	S Ш	
	PAST SPILLS ENCOUNTERED DURING CONSTRUCTION AND OF CURRENT SPILLS NOT ASSOCIATED WITH CONSTRUCTION. REPORTS SHALL BE MADE IMMEDIATELY TO THE NM ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE TEAM AT (505) 827-4308 OR (505) 470-3657 AND TO THE ENGINEER. ANY UNREPORTED SPILLS IDENTIFIED AFTER CONSTRUCTION AND THE ASSOCIATED CLEANUP COSTS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.			840	NEW		NOTE	
23.	THE CONTRACTOR SHALL PREPARE AND MAINTAIN UP-TO-DATE "AS-BUILT" DRAWINGS. UPDATING SUCH DRAWINGS SHALL BE DONE NOT LESS THAN ONCE EVERY WEEK. THE OWNER, AND THE ENGINEER OR ENGINEER'S REPRESENTATIVE SHALL BE ALLOWED TO REVIEW THESE DRAWINGS AT ANY TIME DURING			ч Ш		-		
	CONSTRUCTION. PRIOR TO FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL SUBMIT TWO (2) SETS OF COMPLETE AS-BUILT DRAWINGS TO THE ENGINEER.			SIT	I I I I E E U I E)) (ENERAL	
	CONTRACTOR SHALL SUBMIT ACI, ASTM OR AASHTO CERTIFICATES OF MATERIAL'S COMPLIANCE TO THE ENGINEER NO LESS THAN 7 DAYS PRIOR TO INITIATING ANY WORK INVOLVING SUCH MATERIALS.				2 2 2 2 2	; ī	Ш Z	
25. 26.	ALL AREAS DISTURBED BY THE CONSTRUCTION ACTIVITIES OF THIS PROJECT SHALL BE RESTORED, RE-GRADED IN A MANNER ACCEPTABLE TO THE OWNER, USER AND ENGINEER. EXCESS MATERIAL, IF APPLICABLE, SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF BY THE CONTRACTOR AT HIS EXPENSE UNLESS			SCIAL		-))	Ш С	
	OTHERWISE DIRECTED BY THE OWNER, USER OR ENGINEER. OBSTRUCTIONS REMOVED FROM THE WORK AREAS SHALL BE DISPOSED OF BY THE CONTRACTOR. DISPOSAL OF USABLE MATERIALS (E.G., EXCESS DIRT,			OMMER	BLIC)		
	GRAVEL, ETC.) SHALL BE AT A SITE DESIGNATED BY THE OWNER DURING CONSTRUCTION. THE DISPOSAL SITE FOR EXCESS MATERIAL MUST BE APPROVED BY THE OWNER'S OR USER'S PROJECT MANAGER AND ENGINEER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE A DISPOSAL SITE FOR NON-USABLE MATERIALS (E.G., BRUSH, CONCRETE). ACCORDING TO THE NMED. WASTE PAVEMENT AND CONCRETE ARE NOT CONSIDERED REGULATED	KITCHEN		MM	AI BI	ļ		
	WASTE AND CAN BE DISPOSED OF FOR USE AS FILL OR EROSION CONTROL IF A SITE CAN BE LOCATED. ALL OTHER WASTE (E.G. TRASH, BRUSH, ETC.) SHALL BE DISPOSED OF AT AN APPROVED LANDFILL. ALL DISPOSAL SITES MUST BE APPROVED BY THE ENGINEER AND OWNER PRIOR TO DISPOSAL OF ANY WASTE.			\mathbf{O}				
28.	CONTRACTOR IS RESPONSIBLE FOR FURNISHING THE PROJECT ENGINEER AND/OR CLIENT WITH PASSING TESTING REPORTS OBTAINED/CERTIFIED BY A GEOTECHNICAL ENGINEERING COMPANY ACCOMPANYING MONTHLY PAY APPLICATIONS.	OUISIANA		ÑS				
29.	THE CONTRACTOR SHALL NOT ALLOW SURFACE RUNOFF TO CAUSE EROSION DAMAGE TO EARTHWORK AREAS DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF THE PROJECT AREA AND INSTALLED MATERIAL. ANY ADDITIONAL EARTHWORK NECESSARY TO MEDIATE EROSION THAT OCCURS WILL BE CONSIDERED INCIDENTAL TO THE PROJECT AND SHALL BE COMPLETED AT NO ADDITIONAL COSTS TO THE OWNER.	_		Й				
30.	AT A MINIMUM, ALL EARTHWORK, CONCRETE CONSTRUCTION AND ASPHALT PAVEMENT CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE NEW MEXICO DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION", LATEST EDITION AND/OR THE CITY OF	S H Y H		POPEY				
24	ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION THROUGH UPDATE #9, REFERRED TO HEREIN AS "STANDARD SPECIFICATIONS."	POPF		<u>ц</u>				
31. 32.	HOUSE PAD AND DRIVEWAY TO BE BUILT BY INDIVIDUAL LOT OWNERS AT TIME OF DWELLING/LOT DEVELOPMENT. LOT GRADING SHEET TO BE SUBMITTED BY HOMEOWNER/BUILDER PRIOR TO CONSTRUCTION OF HOME. GRADES BETWEEN SPOT ELEVATION TO BE LINEAR.	L						
33.	GRADING SHALL BE PERFORMED PER IBC REQUIREMENTS.			CHAF	L D.	JOH	NSOU	
34.	ALL CIVIL SHEETS USE THE FOLLOWING DETAIL AND SECTION CALLOUT CONVENTION:	V		J.	M	EX.	X	5
	C100 DETAIL OR SECTION IS REFERENCED OR SHOWN ON SHEET C-100			U	Ľ	Ŋ	X	1
ΤA	NDARDS AND SPECIFICATIONS:		STEP	ED pr			NAL - PA	1
	THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION THROUGH UPDATE #9, REFERRED TO HEREIN AS "STANDARD SPECIFICATIONS."					SSIO	11/6/	
2.	MUTCD, LATEST EDITION.	AN CC	ID N NST	OT RUC	to e tioi	BE U N UN	COMPLE SED FC ESS IT	DR IS
	GEOTECHNICAL REPORT ENTITLED, "GEOTECHNICAL ENGINEERING SERVICES REPORT NO. 1-40101, POPEYES LOUISIANA KITCHEN, 840 JUAN TABO BLVD. ALBUQUERQUE, NEW MEXICO", DATED FEBRUARY 6, 2024.	Des	signe	-	Dra	wn		
		Da	MJ ite:	N	DII ove		MJ r 2024	
МІС	HAEL D. JOHNSON, P.E. 72	Sc	ale:	Ho Ve		AS	SHOW	/N
3500	DER MILLER & ASSOCIATES SEDONA HILLS PARKWAY 647-0799 To Request a Line Locate Dial 811 New Mexico state law requires everyone involved in any excavation to provide at	Pr	ojec	t No:		943	2731	
	Dobeves least two working days' notice to owners of underground facilities when a dig is planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them.	Sł	neet		С	10)0	

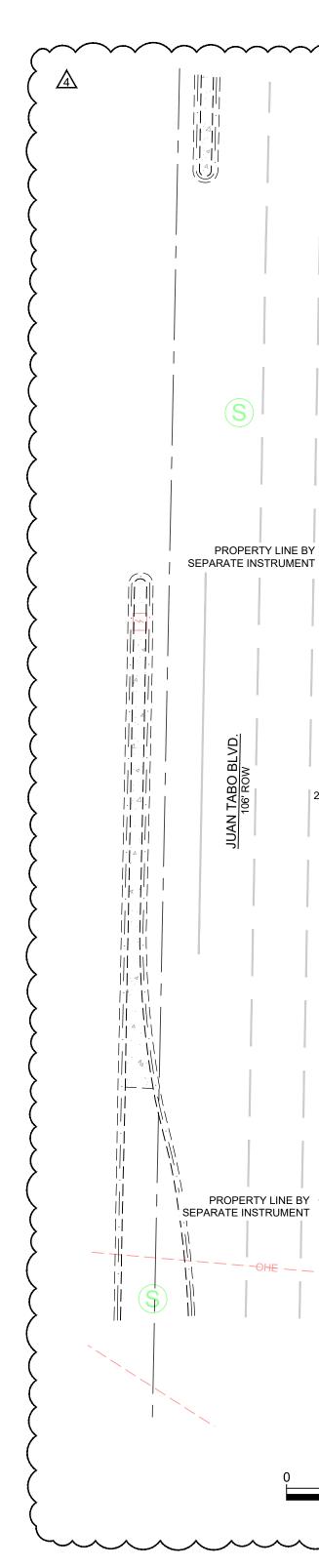
P:\9-Popeyes Albuquerque Civil Site Design (9432731)\CAD\Civil\Construction Drawings\9432731 - GENERAL NOTES.dwg

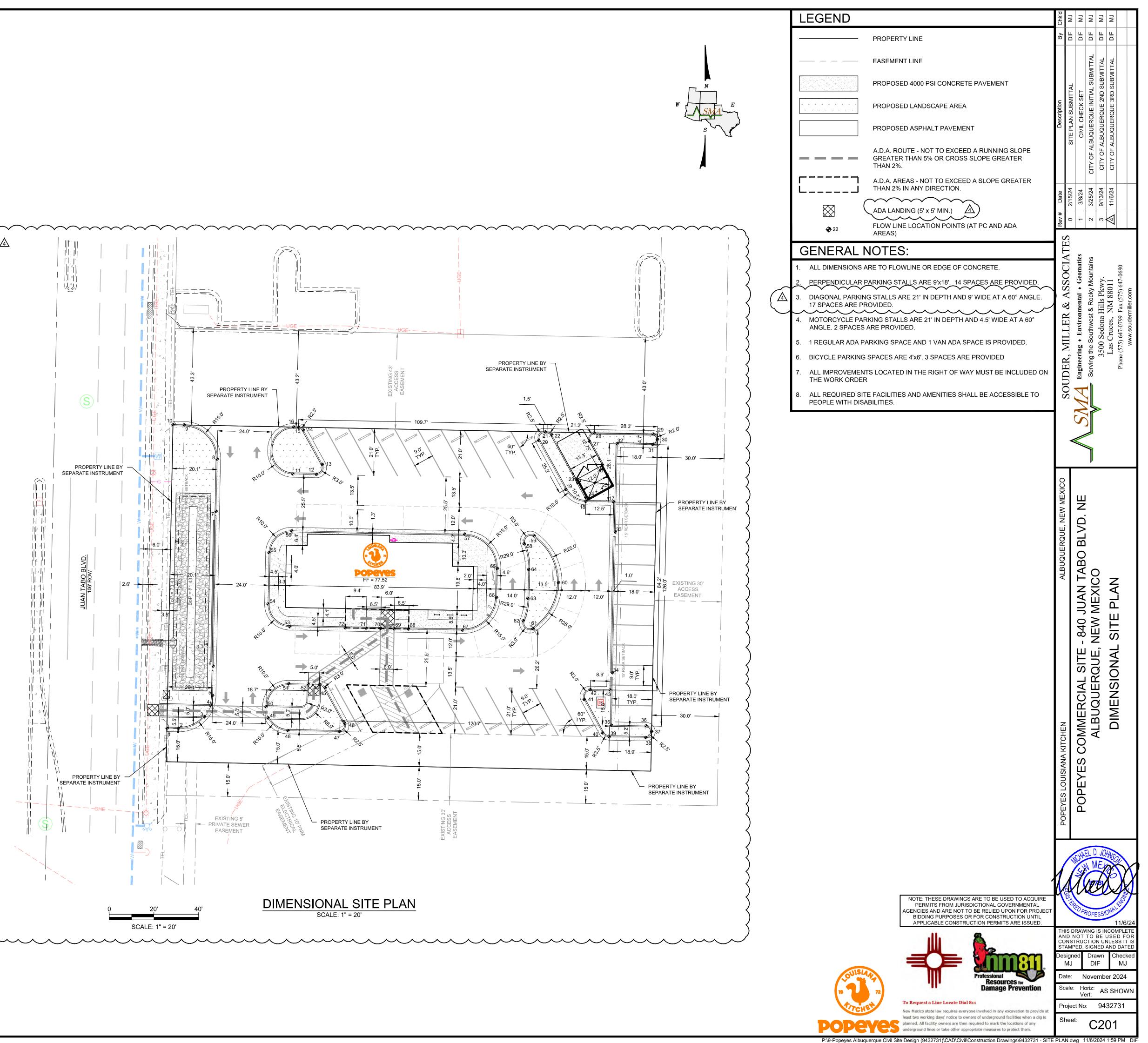


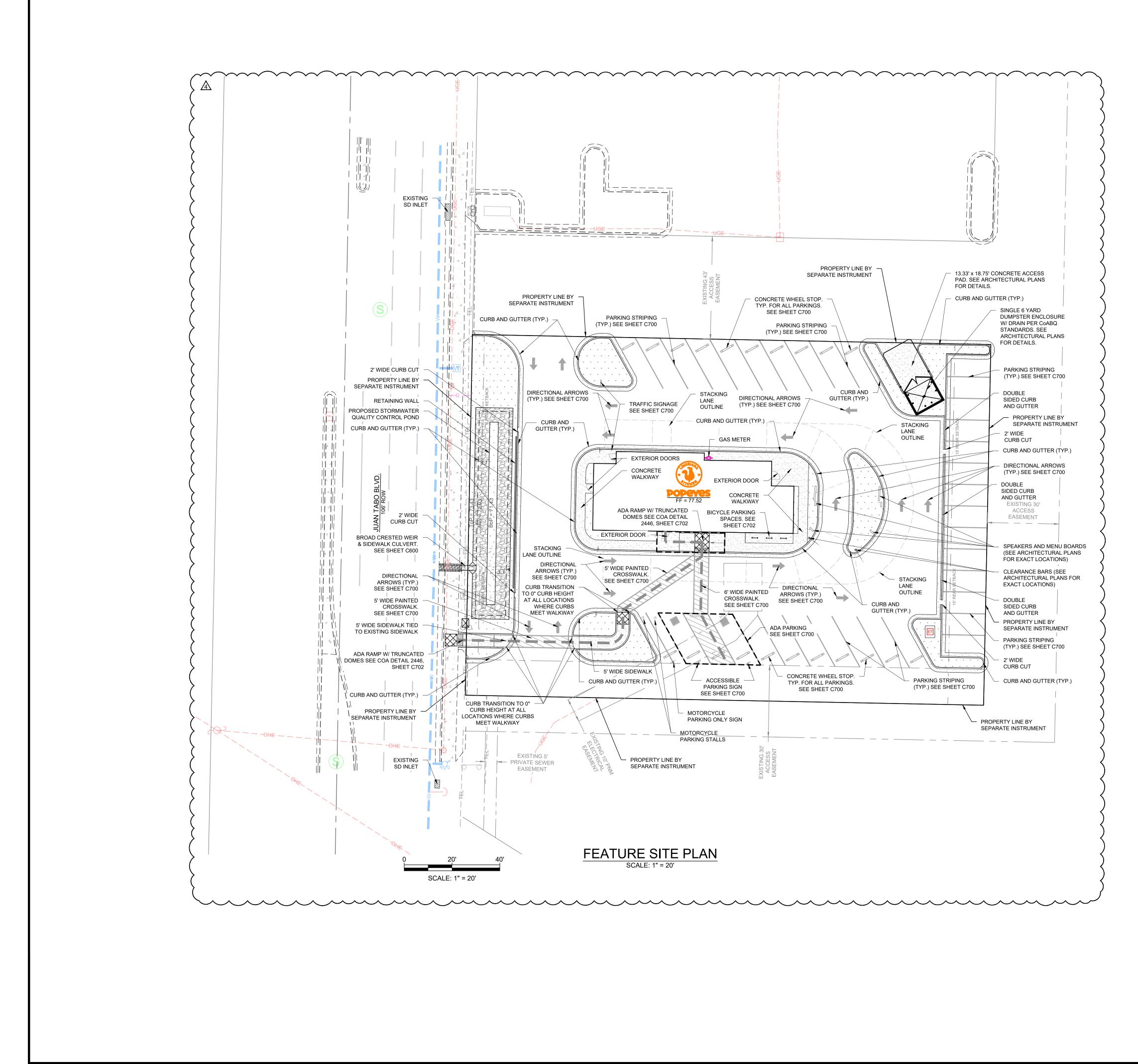




Point Table					Point Table				
Point #	Northing	Easting	Description		Point #	Northing	Easting	Description	
1	1486348.39	1561175.92	FLOW LINE		37	1486346.90	1561392.80	FLOW LINE	
2	1486348.31	1561181.03	FLOW LINE		38	1486344.23	1561390.24	FLOW LINE	
3	1486353.56	1561192.68	FLOW LINE		39	1486344.55	1561373.85	FLOW LINE	
4	1486358.51	1561195.49	FLOW LINE		40	1486346.36	1561370.85	FLOW LINE	
5	1486363.05	1561196.28	FLOW LINE		41	1486361.27	1561362.63	FLOW LINE	
6	1486376.21	1561196.53	FLOW LINE		42	1486365.72	1561365.31	FLOW LINE	
7	1486445.54	1561197.88	FLOW LINE		43	1486365.55	1561374.16	FLOW LINE	
8	1486468.92	1561198.33	FLOW LINE		44	1486368.07	1561244.09	FLOW LINE	
9	1486484.21	1561183.62	FLOW LINE		45	1486366.52	1561246.66	FLOW LINE	
10	1486484.31	1561178.56	FLOW LINE		46	1486350.60	1561255.45	FLOW LINE	
11	1486462.27	1561232.21	FLOW LINE		47	1486346.89	1561253.21	FLOW LINE	
12	1486462.06	1561242.72	FLOW LINE		48	1486347.34	1561229.99	FLOW LINE	
13	1486466.51	1561245.40	FLOW LINE		49	1486352.99	1561221.18	FLOW LINE	
14	1486481.93	1561236.88	FLOW LINE		50	1486358.01	1561220.19	FLOW LINE	
15	1486483.22	1561234.74	FLOW LINE		51	1486368.34	1561230.39	FLOW LINE	
16	1486483.26	1561232.62	FLOW LINE		52	1486368.17	1561239.09	FLOW LINE	
17	1486449.69	1561375.84	FLOW LINE		53	1486393.85	1561230.88	FLOW LINE	
18	1486449.94	1561363.36	FLOW LINE		54	1486404.05	1561221.08	FLOW LINE	
19	1486455.36	1561354.38	FLOW LINE		55	1486427.00	1561221.52	FLOW LINE	
20	1486477.38	1561342.22	FLOW LINE		56	1486436.81	1561231.71	FLOW LINE	
21	1486481.08	1561345.21	FLOW LINE		57	1486435.30	1561309.04	FLOW LINE	
22	1486479.77	1561348.10	FLOW LINE	Α	58	1486431.00	1561335.71	FLOW LINE	
23	1486459.76	1561359.16	FLOW LINE		59	1486434.58	1561340.19	FLOW LINE	
24	1486451.33	1561364.58	FLOW LINE		60	1486413.65	1561351.13	FLOW LINE	
25	1486457.17	1561375.06	FLOW LINE		61	1486392.95	1561339.75	FLOW LINE	
26	1486466.21	1561370.83	FLOW LINE		62	1486396.58	1561335.33	FLOW LINE	
27	1486476.94	1561364.90	FLOW LINE		63	1486406.57	1561337.39	FLOW LINE	
28	1486480.65	1561367.14	FLOW LINE		64	1486419.53	1561337.74	FLOW LINE	
29	1486480.14	1561393.45	FLOW LINE		65	1486419.90	1561323.75	FLOW LINE	
30	1486477.74	1561395.41	FLOW LINE		66	1486406.95	1561323.40	FLOW LINE	
31	1486475.41	1561393.36	FLOW LINE	1	- 07	1486892.38	1567308.11	FLOW LINE	
32	1486475.73	1561377.36	FLOW LINE		68	1486392.80	1561284.01	FLOW LINE	
33	1486436.24	1561376.58	FLOW LINE	$\left \right\rangle$	69	1486392.94	1561277.51	FLOW LINE	
34	1486373.25	1561375.32	FLOW LINE	$\left \right\rangle$	70	1486393.05	1561271.52	FLOW LINE	
35	1486349.75	1561374.85	FLOW LINE	5	71	1486393.19	1561265.02	FLOW LINE	
36	1486349.45	1561390.35	FLOW LINE	(72	1486393.38	1561255.63	FLOW LINE	

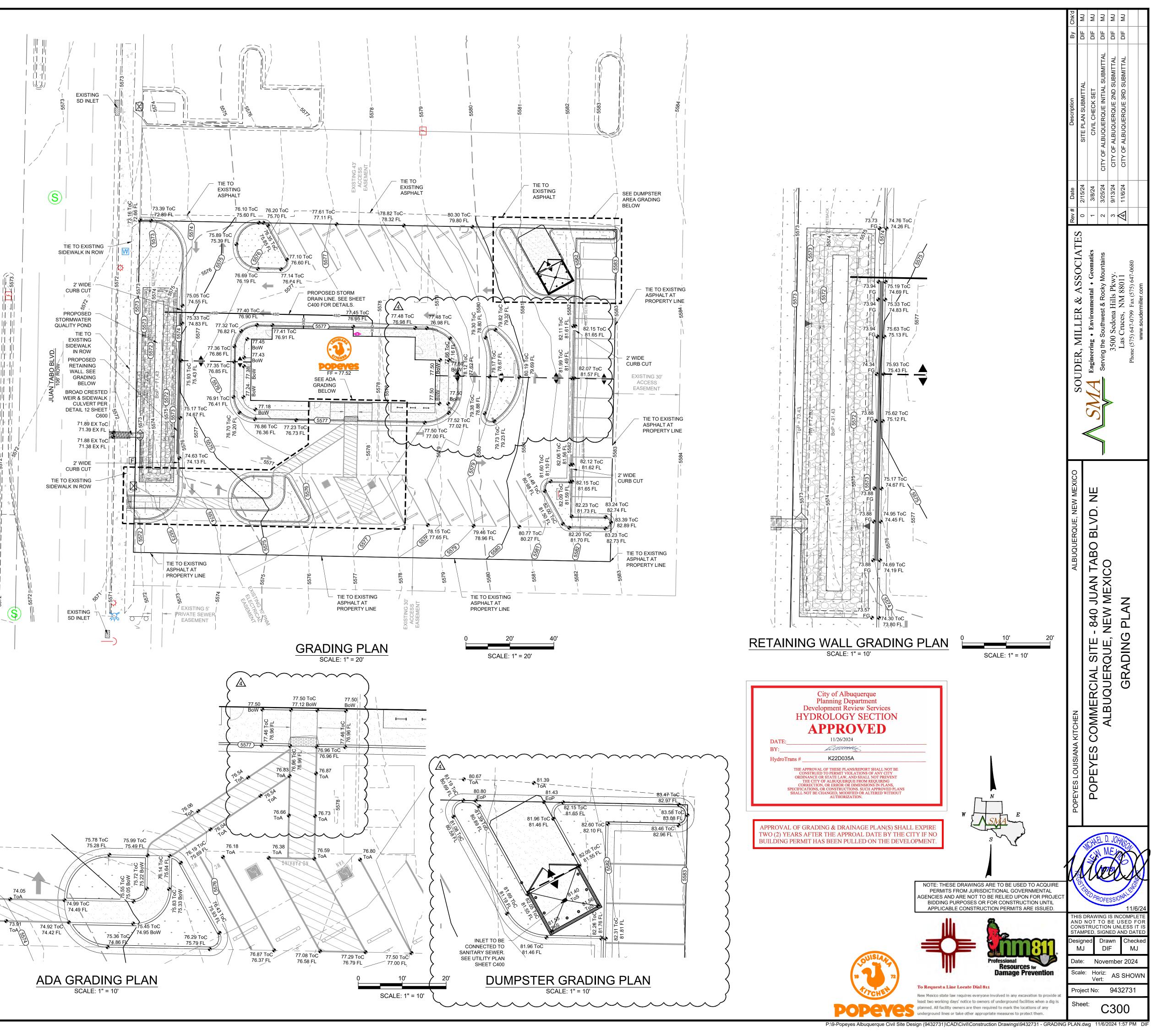


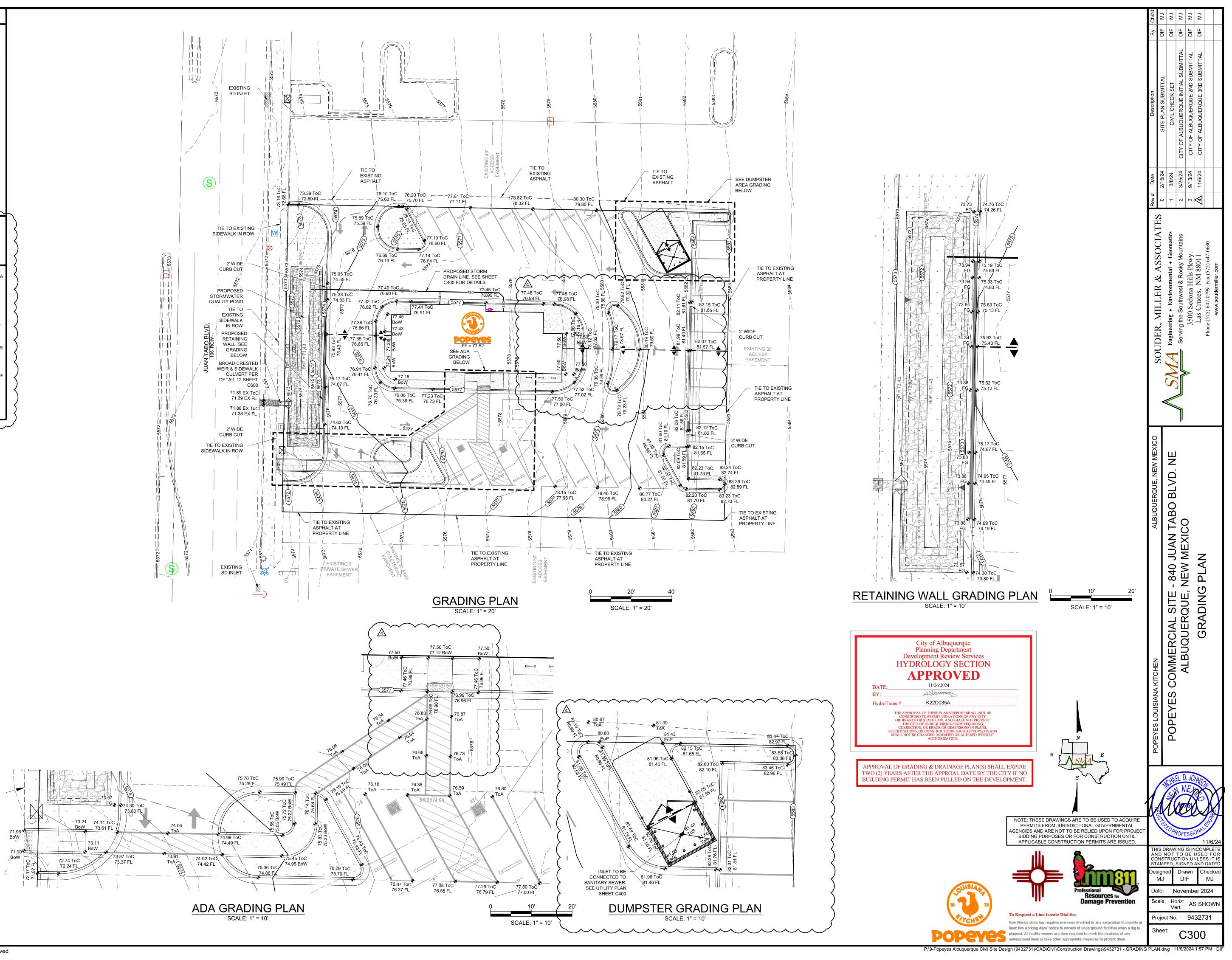




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PROPERTY LINE	By	DIF	DIF	DIF	Ц	Ш	
EASEMENT LINE PROPOSED 4000 PSI CONCRETE PAVEMENT PROPOSED LANDSCAPE AREA PROPOSED LANDSCAPE AREA PROPOSED ASPHALT PAVEMENT A.D.A. ROUTE - NOT TO EXCEED A RUNNING SLOPE GREATER THAN 5% OR CROSS SLOPE GREATER	Description	SITE PLAN SUBMITTAL	CIVIL CHECK SET	-BUQUERQUE IN	CITY OF ALBUQUERQUE 2ND SUBMITTAL	/ OF ALBUQUERQUE 3RD SUBMITTAL	
Image: State and the state of the state				CITY (CITY	CITY	
THAN 2% IN ANY DIRECTION.	Date	2/15/24	3/8/24	3/25/24	9/13/24	11/6/24	
ADA LANDING (5' x 5' MIN.)	Rev #	0	ص ح	-	6 8	1	
AREAS)		N					
 GENERAL NOTES: ALL DIMENSIONS ARE TO FLOWLINE OR EDGE OF CONCRETE. PERPENDICULAR PARKING STALLS ARE 9'x18'. 14 SPACES ARE PROVIDED. DIAGONAL PARKING STALLS ARE 21' IN DEPTH AND 9' WIDE AT A 60° ANGLE. 17 SPACES ARE PROVIDED. MOTORCYCLE PARKING STALLS ARE 21' IN DEPTH AND 4.5' WIDE AT A 60° ANGLE. 2 SPACES ARE PROVIDED. 1 REGULAR ADA PARKING SPACE AND 1 VAN ADA SPACE IS PROVIDED. BICYCLE PARKING SPACES ARE 4'x6'. 3 SPACES ARE PROVIDED ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER ALL REQUIRED SITE FACILITIES AND AMENITIES SHALL BE ACCESSIBLE TO PEOPLE WITH DISABILITIES. 		SOUDEK, MILLEK & ASSOCIATES	SMA Engineering • Environmental • Geomatics	outhwes		Las Cruces, NM 88011 Phone (575) 647-0799 Fax (575) 647-0680	miller.com
	POPEYES I OLIISIANA KITCHEN ALBUQUERQUE. NEW MEXICO		POPEYES COMMERCIAL SITE - 840 JUAN TABO BLVD. NE			FEATURE SITE PLAN	
NOTE: THESE DRAWINGS ARE TO BE USED TO ACQUIRE PERMITS FROM JURISDICTIONAL GOVERNMENTAL AGENCIES AND ARE NOT TO BE RELIED UPON FOR PROJECT BIDDING PURPOSES OR FOR CONSTRUCTION UNTIL APPLICABLE CONSTRUCTION PERMITS ARE ISSUED.	AN CC ST Des Da	IIS D ND N MP Signe MJ ate:	RAW IOT RUC ED, S	TO E TION BIGNI Drav DIF over oriz: ert:	S IN 3 E U 9 UN ED A wn = mbe	11/ COMPI SED LESS ND DA Che N er 202	FOR IT IS TED cked IJ 4 WN
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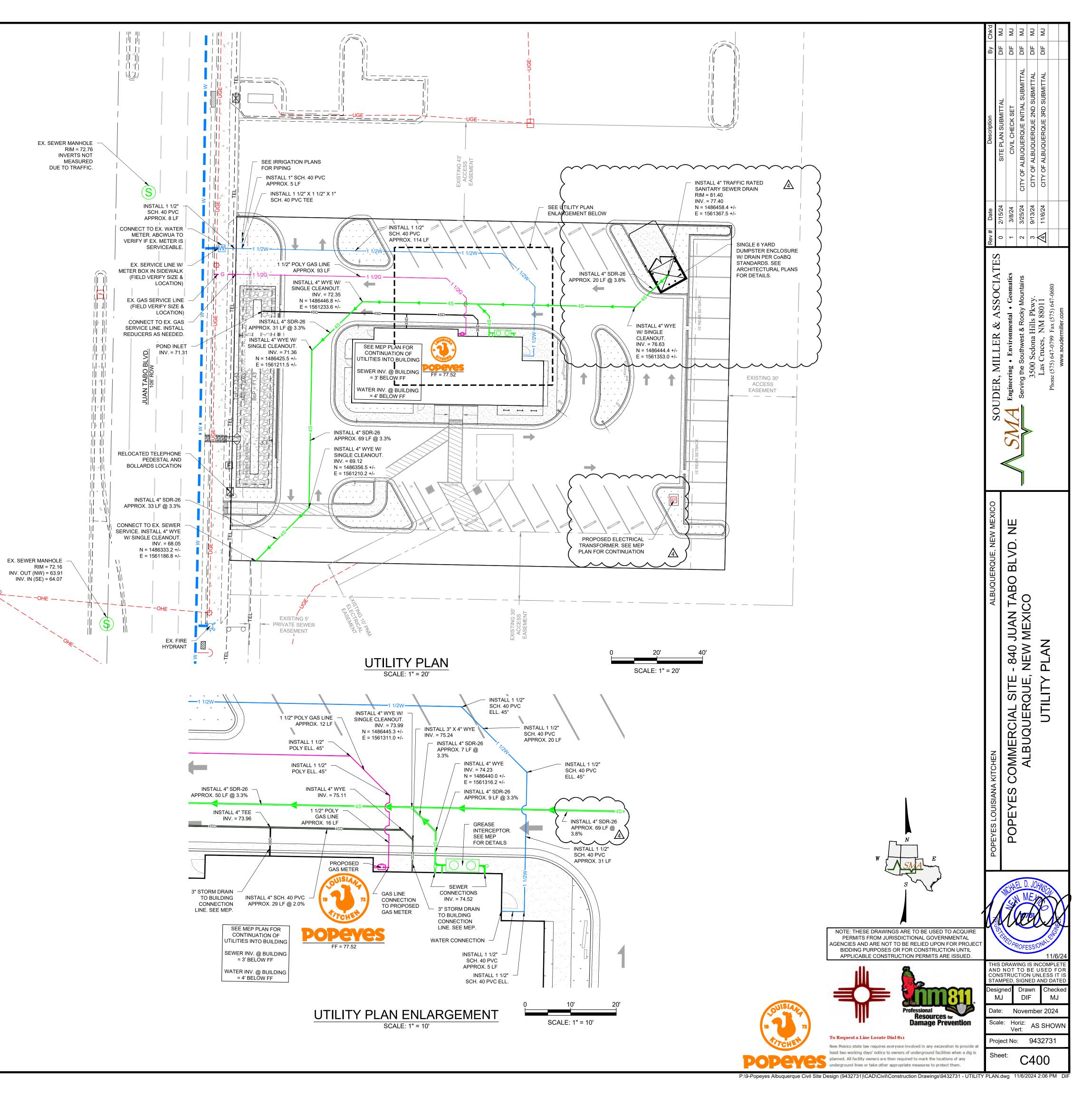
	GRAD	ING	G LEGEND
•	EX BoW	=	EXISTING BACK OF SIDEWALK ELEVATION
¢	EX ToC	=	EXISTING TOP OF CURB ELEVATION
¢	EX FL	=	EXISTING FLOW LINE ELEVATION
¢	EX ToA	=	EXISTING TOP OF ASPHALT ELEVATION
¢	EG	=	EXISTING GRADE ELEVATION
¢	EX EoP	=	EXISTING EDGE OF PAVEMENT ELEVATION
¢	+ ToC	=	TOP OF CURB ELEVATION
¢	FL	=	FLOW LINE ELEVATION
¢	• ToA	=	TOP OF ASPHALT ELEVATION
¢	BoW	=	BACK OF SIDEWALK ELEVATION
¢	FG	=	FINISH GRADE ELEVATION
¢	+ ToS	=	TOP OF SURFACE ELEVATION
¢	• ToP	=	TOP OF POND ELEVATION
•	BoP	=	BOTTOM OF POND ELEVATION
¢	HW	=	HIGH WATER ELEVATION
	-5580~~~	=	EXISTING MAJOR CONTOUR
	-5583~	=	EXISTING MINOR CONTOUR
/	5575)	=	PROPOSED MAJOR CONTOUR
\sim	5572	=	PROPOSED MINOR CONTOUR
_		=	LOW POINT (GRADE BREAK)
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			DRAINAGE FACILITIES
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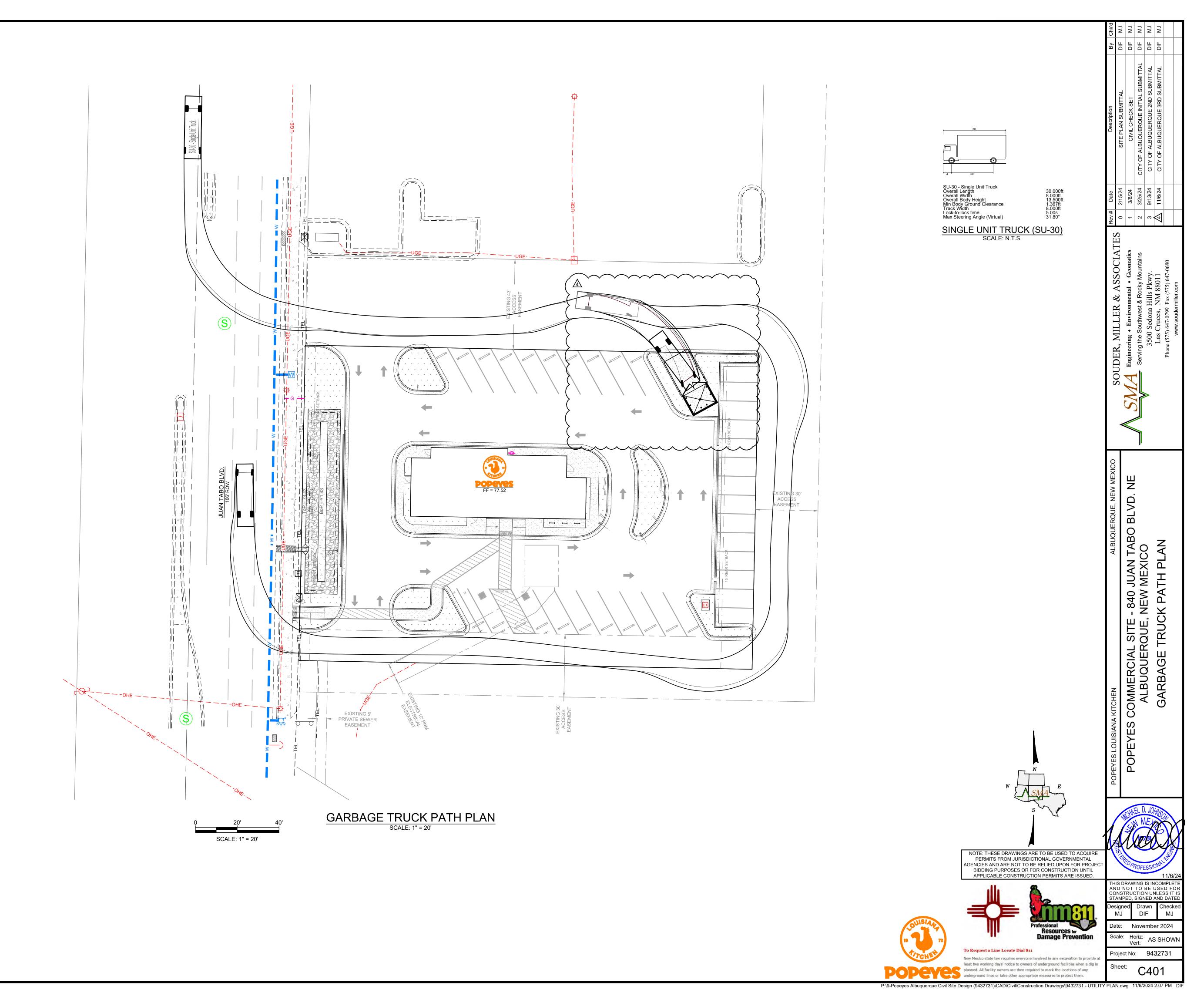


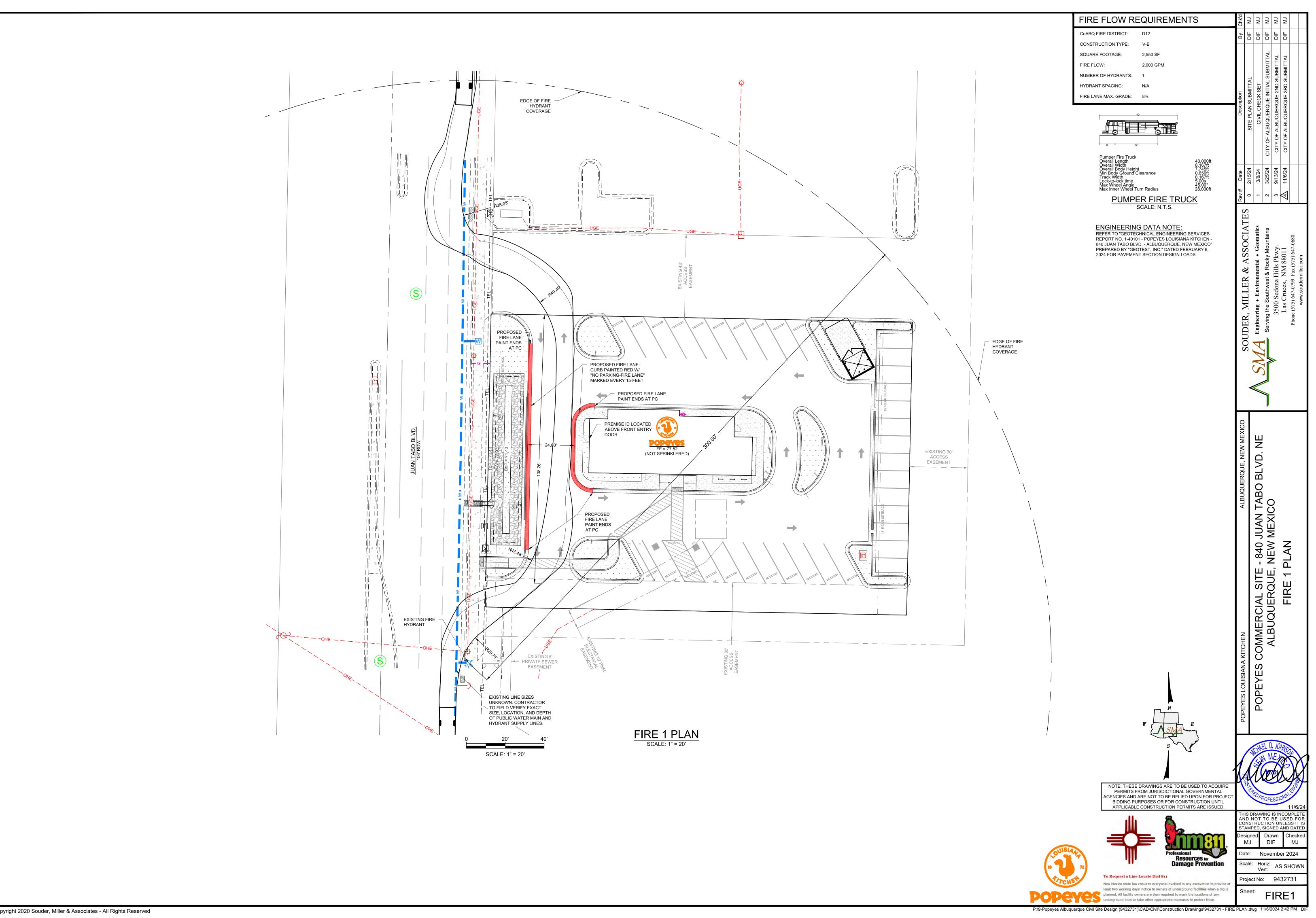


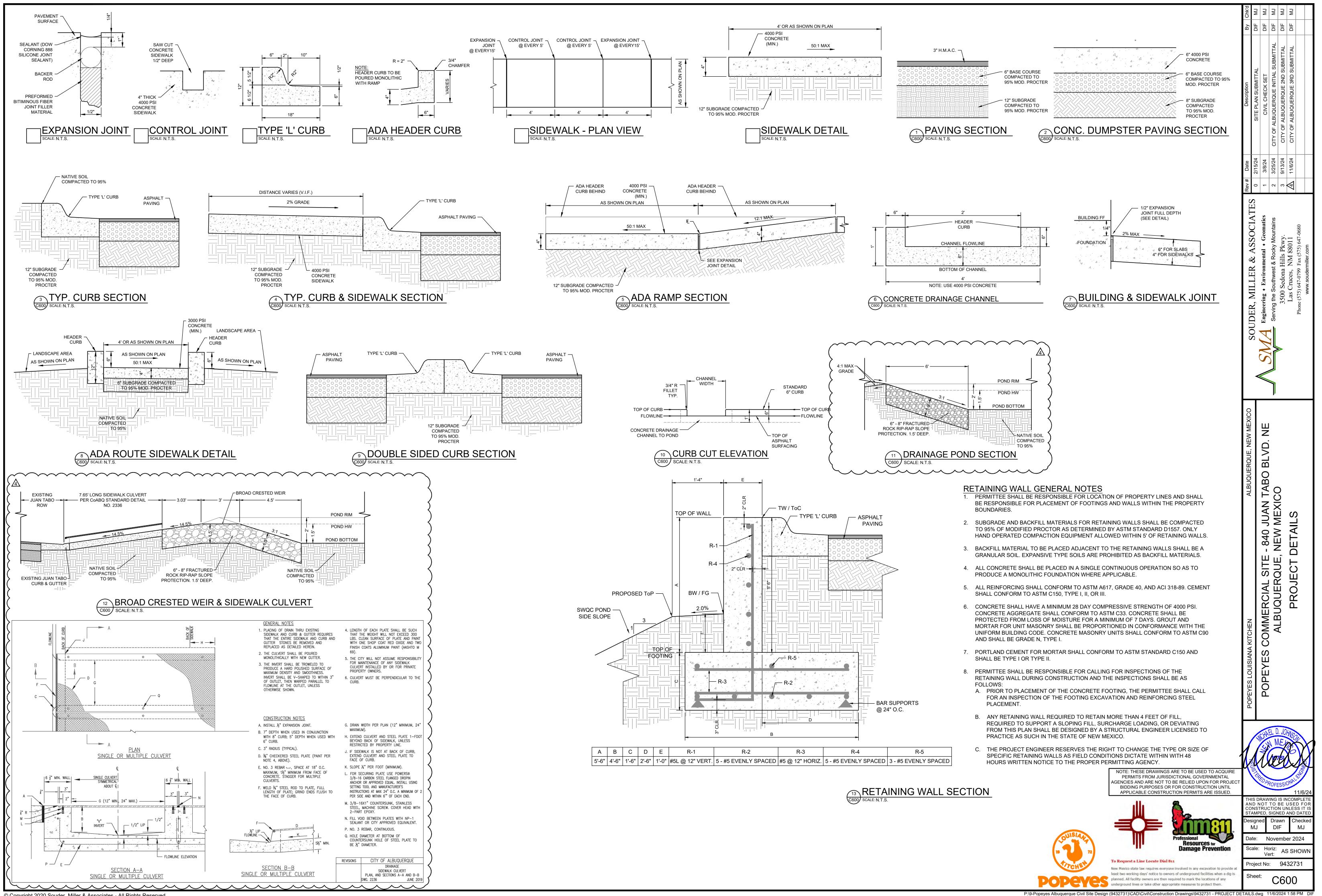
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WASTEWATER = ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY (505) 842-9287.	UTILITY AUTHORITY (505) 842-9287.	ER	
ELECTRIC = PNM - (888) 342-5766. GAS = NEW MEXICO GAS COMPANY (888) 664-2726.		б.	



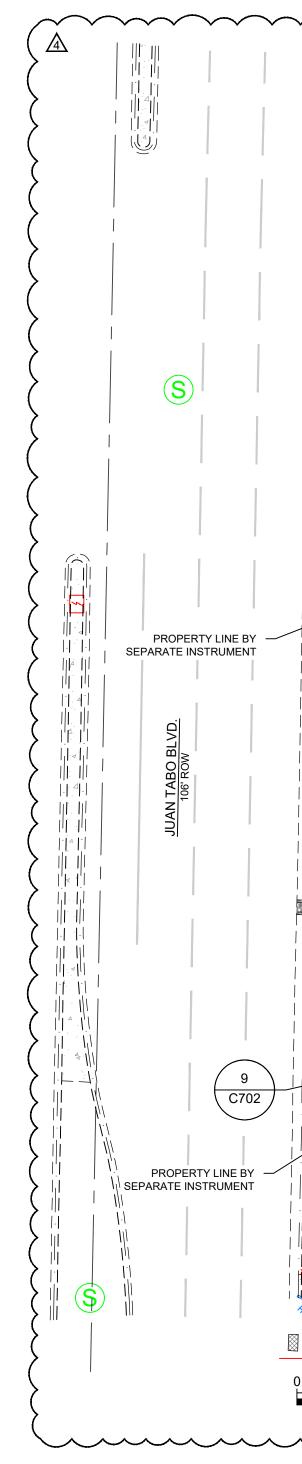


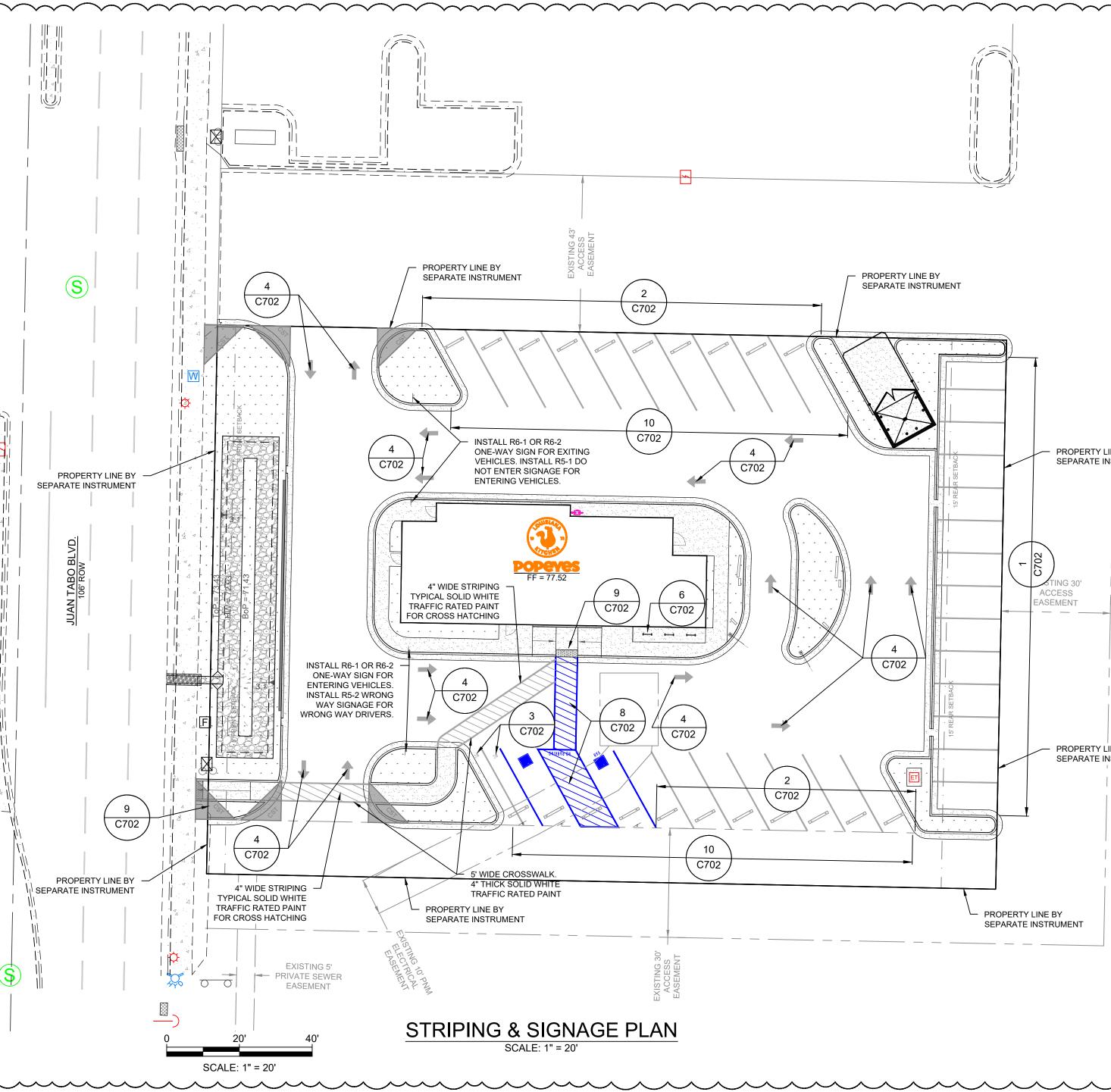




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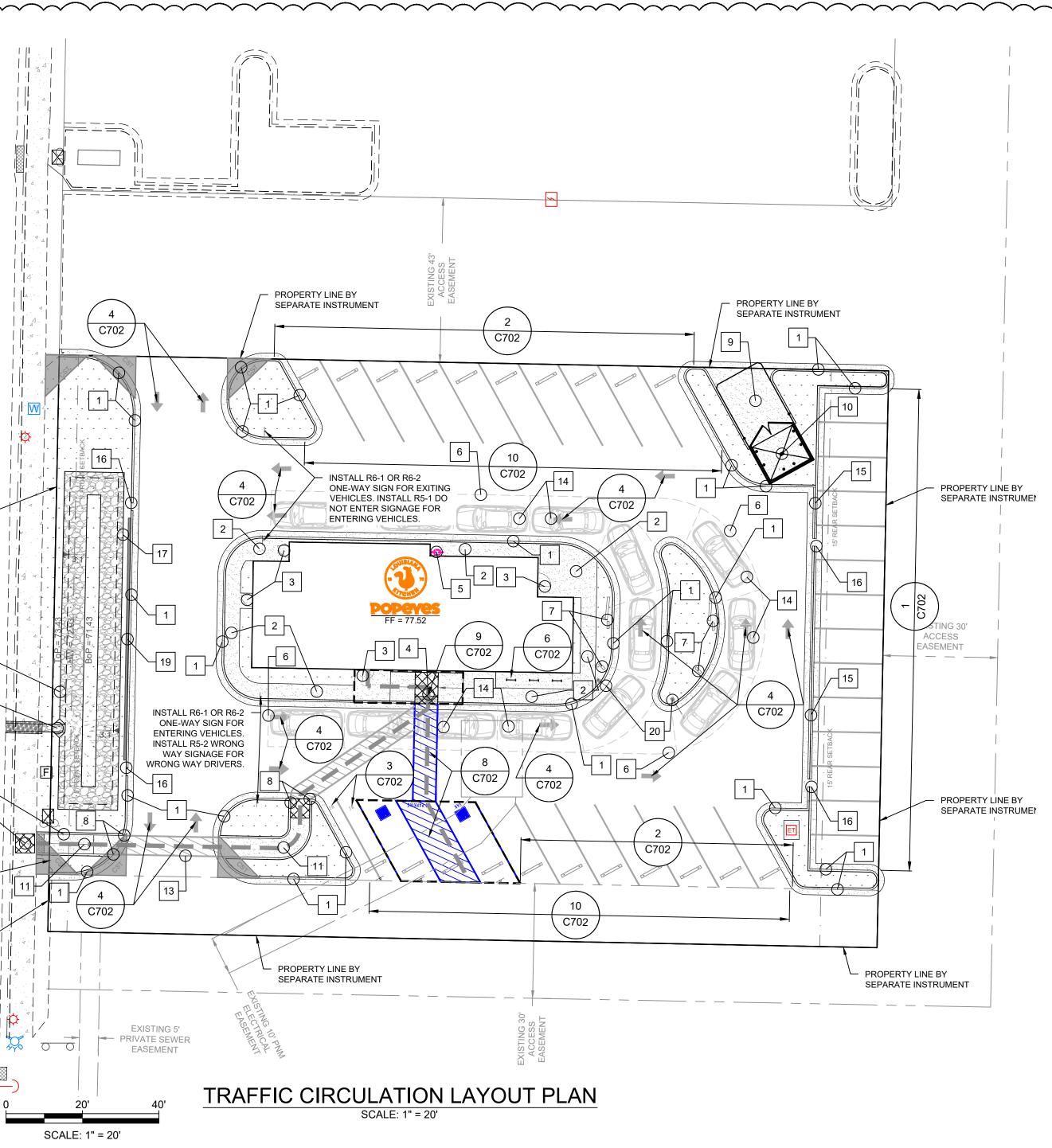
	LEGEND	
	PROPERTY LINE	
	PROPOSED 4000 PSI CONCRETE PAVEMENT	
	PROPOSED LANDSCAPE AREA	
	PROPOSED ASPHALT PAVEMENT	
	CLEAR SIGHT TRIANGLE (CST)	
-	GENERAL NOTES:	
	1. ALL DIMENSIONS ARE TO FLOWLINE OR EDGE OF CONCRETE.	1
	2. PERPENDICULAR PARKING STALLS ARE 9'x18'. 14 SPACES ARE PROVIDED.	
	3. DIAGONAL PARKING STALLS ARE 21' IN DEPTH AND 9' WIDE AT A 60° ANGLE. 17 SPACES ARE PROVIDED.	Ν
	 MOTORCYCLE PARKING STALLS ARE 21' IN DEPTH AND 4.5' WIDE AT A 60° ANGLE. 2 SPACES ARE PROVIDED. 	
	5. 1 REGULAR ADA PARKING SPACE AND 1 VAN ADA SPACE IS PROVIDED.	E SMA -
	6. BICYCLE PARKING SPACES ARE 4'x6'. 3 SPACES ARE PROVIDED	s ~~
	7. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER	
	8. ALL REQUIRED SITE FACILITIES AND AMENITIES SHALL BE ACCESSIBLE TO PEOPLE WITH DISABILITIES.	
	9. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLE (CST) REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.	
ζ	10. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW SIDEWALK, CURB, AND GUTTER.	
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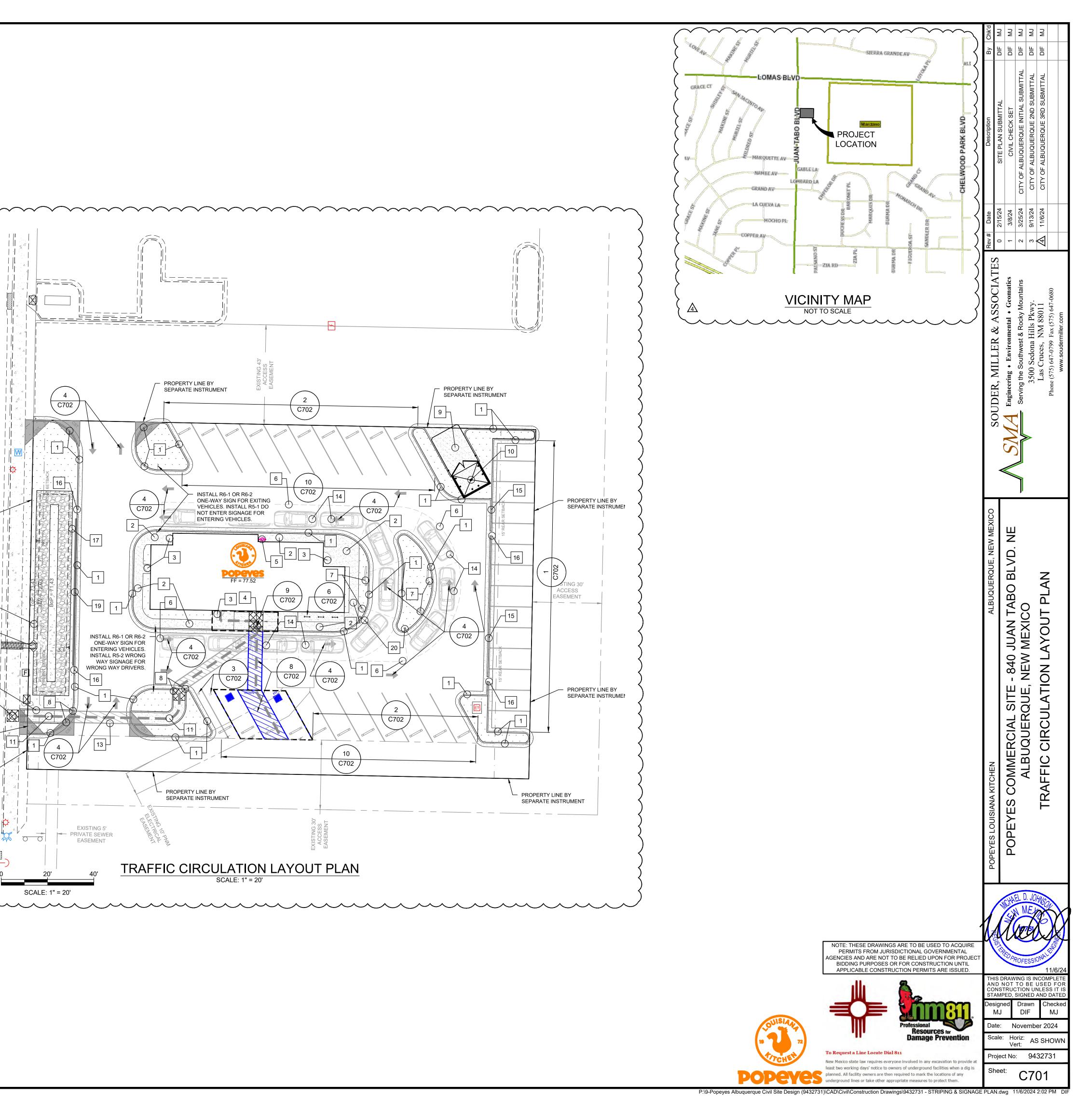


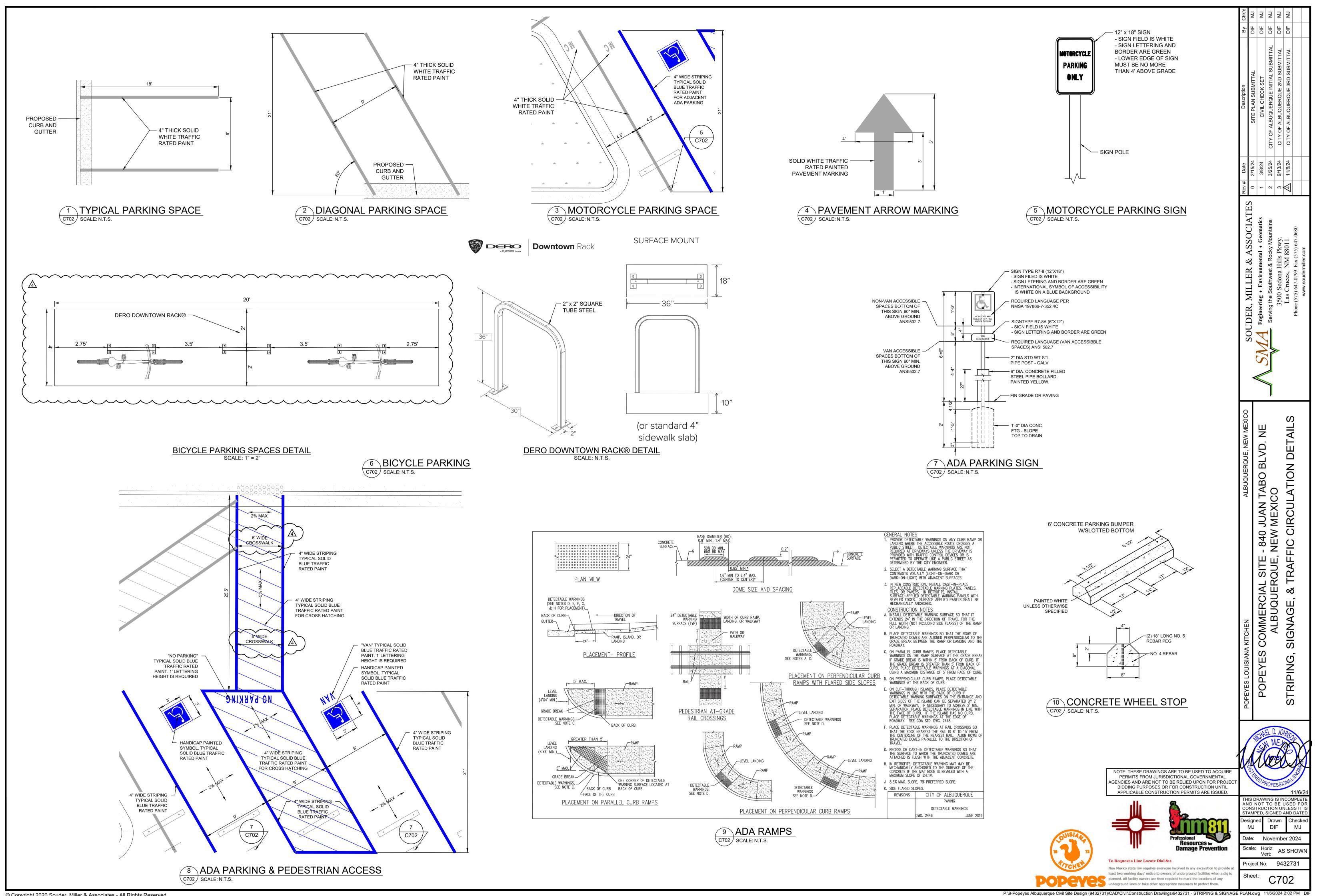


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LINE BY INSTRUMENT		ERQUE, NEW MEXICO BLVD. NE
LINE BY INSTRUMENT		POPEYES LOUISIANA KITCHEN ALBUQUE POPEYES COMMERCIAL SITE - 840 JUAN TABO ALBUQUERQUE, NEW MEXICO STRIPING & SIGNAGE PLAN
	NOTE: THESE DRAWINGS ARE TO BE USED TO ACC PERMITS FROM JURISDICTIONAL GOVERNMENT AGENCIES AND ARE NOT TO BE RELIED UPON FOR PI BIDDING PURPOSES OR FOR CONSTRUCTION UN APPLICABLE CONSTRUCTION PERMITS ARE ISSU	TAL PROJECT NTIL JED. THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED Designed MJ Drawn DIF Checked MJ Date: November 2024 Scale: Horiz: Vert: AS SHOWN Project No: 9432731 Sheet: C700

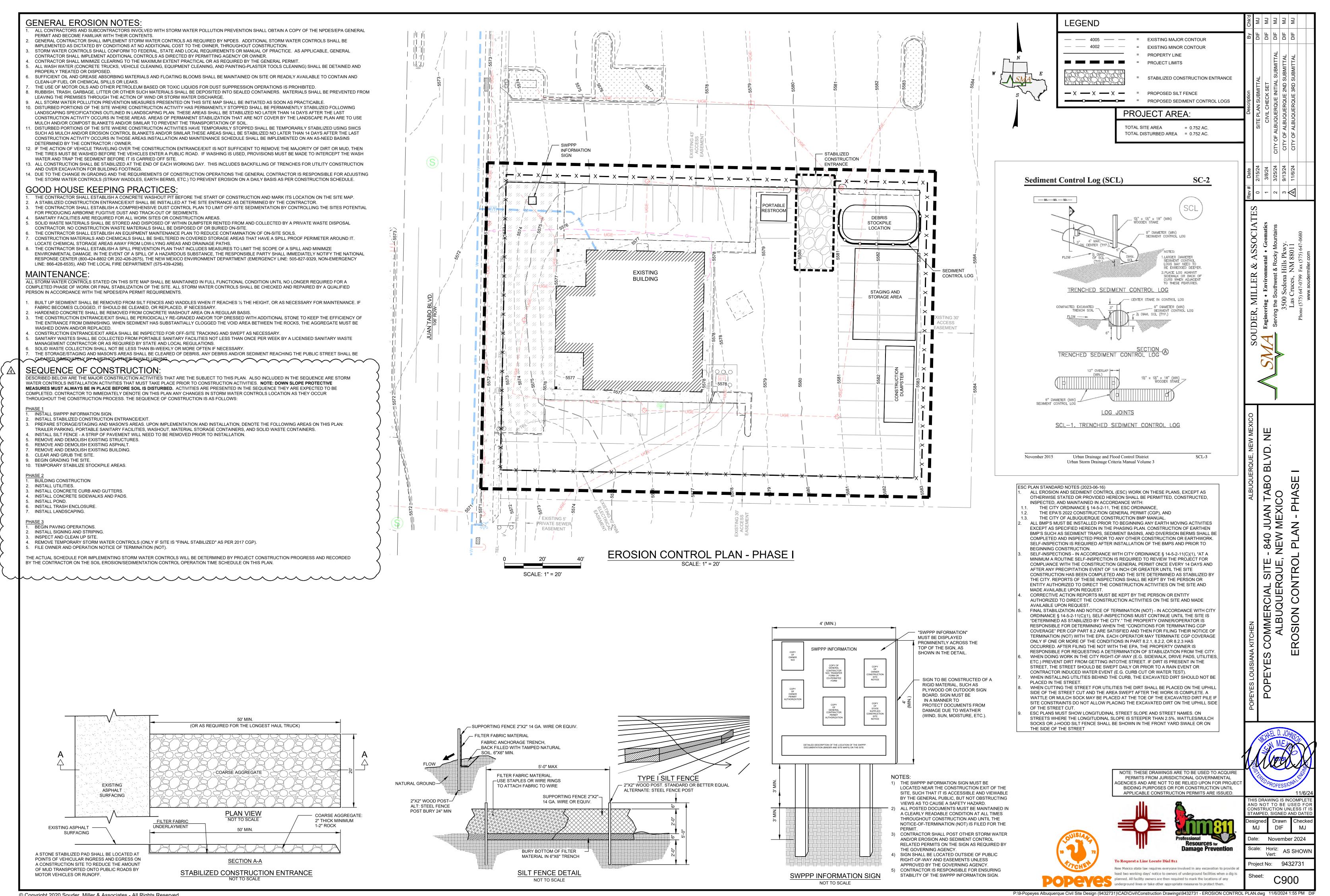
	LEGEND	
	PROPERTY LINE	
	—— — — EASEMENT LINE	
	PROPOSED 4000 PSI CONCRETE PAVEMENT	
	PROPOSED LANDSCAPE AREA	
	PROPOSED ASPHALT PAVEMENT	
	A.D.A. ROUTE - NOT TO EXCEED A RUNNING SLOPE GREATER THAN 5% OR CROSS SLOPE GREATER THAN 2%.	
	A.D.A. AREAS - NOT TO EXCEED A SLOPE GREATER THAN 2% IN ANY DIRECTION.	
	ADA LANDING (5' x 5' MIN.)	
	FLOW LINE LOCATION POINTS (AT PC AND ADA AREAS) CLEAR SIGHT TRIANGLE (CST)	
		W SMA
	PROPOSED LAND USE: FAST FOOD RESTAURANT	
	LOT AREA: 32,745.99 SF	
	BULDING AREA: 2,550.37 SF	
	ASPHALT AREA: 20,996.34 SF	
	CONCRETE AREA: 4,233.19 SF	
$\left(\right)$	LANDSCAPED AREA: 4,966.09 SF	\rangle $ $ $ $
	PARKING PROVIDED: 14 PERPENDICULAR PARKING SPACES 17 DIAGONAL PARKING SPACES	
	HC PARKING REQUIRED: 2 SPACES	
	HC PARKING PROVIDED: 1 REGULAR ADA PARKING SPACE, 1 VAN ACCESSIBLE PARKING SPACE	
	BICYCLE PARKING REQUIRED: 3	
	BICYCLE PARKING PROVIDED: 3	
	MOTORCYCLE PARKING REQUIRED: 1	
	MOTORCYCLE PARKING PROVIDED: 2	
1	LEGAL DESCRIPTION (PER TITLE DOCS.):	
	TRACT LETTERED "C-1" IN BLOCK NUMBERED ONE HUNDRED TWENTY-FIVE (125) OF PRINCESS JEANNE PARK ADDITION, AS THE SAME IS SHOWN AND	Image: Second secon
	DESIGNATED ON THE PLAT ENTITLED, "A REPLAT OF TRACTS "A" & "B", BLOCK 125 OF PRINCESS JEANNE PARK ADDITION, NOW COMPRISING TRACTS "A-1", "B-1" & "C-1" WITHIN SEC. 22, T. 10 N., R. 4 E., N.M.P.M., ALBUQUERQUE, NEW	
	MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 25, 1985 IN PLAT BOOK C27, PAGE 182.	
	TOGETHER WITH NON-EXCLUSIVE RIGHTS OF EASEMENT FOR INGRESS AND EGRESS FROM THE LAND ACROSS THE THIRTY (30') FOOT ACCESS EASEMENT	
	AND THE FORTY-THREE (43') FOOT ACCESS EASEMENT, AS SET FORTH ON THE PLAT RECORDED JULY 25, 1985 IN PLAT BOOK C27, PAGE 182, RECORDS OF	
	BERNALILLO COUNTY, NEW MEXICO, TO THE EXTENT OF AND ONLY FOR THE DURATION AS PROVIDED FOR THEREIN.	
	TOGETHER WITH RIGHTS FOR THE PRIVATE SEWER LINE AS SET FORTH IN THE GRANT OF SEWER EASEMENT, EASEMENT FOR SEWER SERVICE EXTENSION	
	RECORDED JANUARY 17, 1986 IN BOOK MISC. 312-A, PAGE 869 AS DOCUMENT NO. 86-5119, RECORDS OF BERNALILLO	
	COUNTY, NEW MEXICO, TO THE EXTENT OR AND ONLY FOR THE DURATION AS	
$\left\langle \mathbb{A} \right\rangle$	KEYED NOTES	
$\left\langle \right\rangle$	1 CURB AND GUTTER (TYP.)	
$\left.\right\rangle$	2 CONCRETE WALKWAY 3 EXTERIOR DOOR	
$\left<\right>$	4 ADA RAMP W/ TRUNCATED DOMES SEE COA DETAIL 2446, SHEET C702	$\left\{ \begin{array}{ccc} & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & $
ζ	5 GAS METER 6 STACKING LANE OUTLINE	
>	7 SPEAKERS AND MENU BOARDS (SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS)	
$\left.\right.$	 8 CURB TRANSITION TO 0" CURB HEIGHT AT ALL LOCATIONS WHERE CURBS MEET WALKWAY 9 13.33' x 18.75' CONCRETE ACCESS PAD. SEE ARCHITECTURAL PLANS FOR DETAILS. 	
$\left.\right\rangle$	10 SINGLE 6 YARD DUMPSTER ENCLOSURE W/ DRAIN PER CoABQ STANDARDS. SEE ARCHITECTURAL PLANS FOR DETAILS.	
$\langle \rangle$	11 5' WIDE SIDEWALK	
\langle	12 5' WIDE SIDEWALK TIED TO EXISTING SIDEWALK	
ζ	13 5' WIDE PAINTED CROSSWALK. SEE SHEET C700 14 POTENTIAL STACKED CARS IN STACKING LANES	$\langle \rangle$
(15 DOUBLE SIDED CURB AND GUTTER	$\left \right\rangle$
$\left \right\rangle$	16 2' WIDE CURB CUT 17 PROPOSED STORMWATER QUALITY POND	$\langle \rangle$
>	18 BROAD CRESTED WEIR	$\langle \rangle$
2	19 RETAINING WALL 20 CLEARANCE BARS (SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS)	ξ
(GENERAL NOTES:	$\langle \rangle$
ζ	1. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT	$\langle \rangle$
2	TRIANGLE (CST) REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.	
ζ	2. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW	\leq
$\left(\right)$	SIDEWALK, CURB, AND GUTTER.	
$\langle \rangle$		



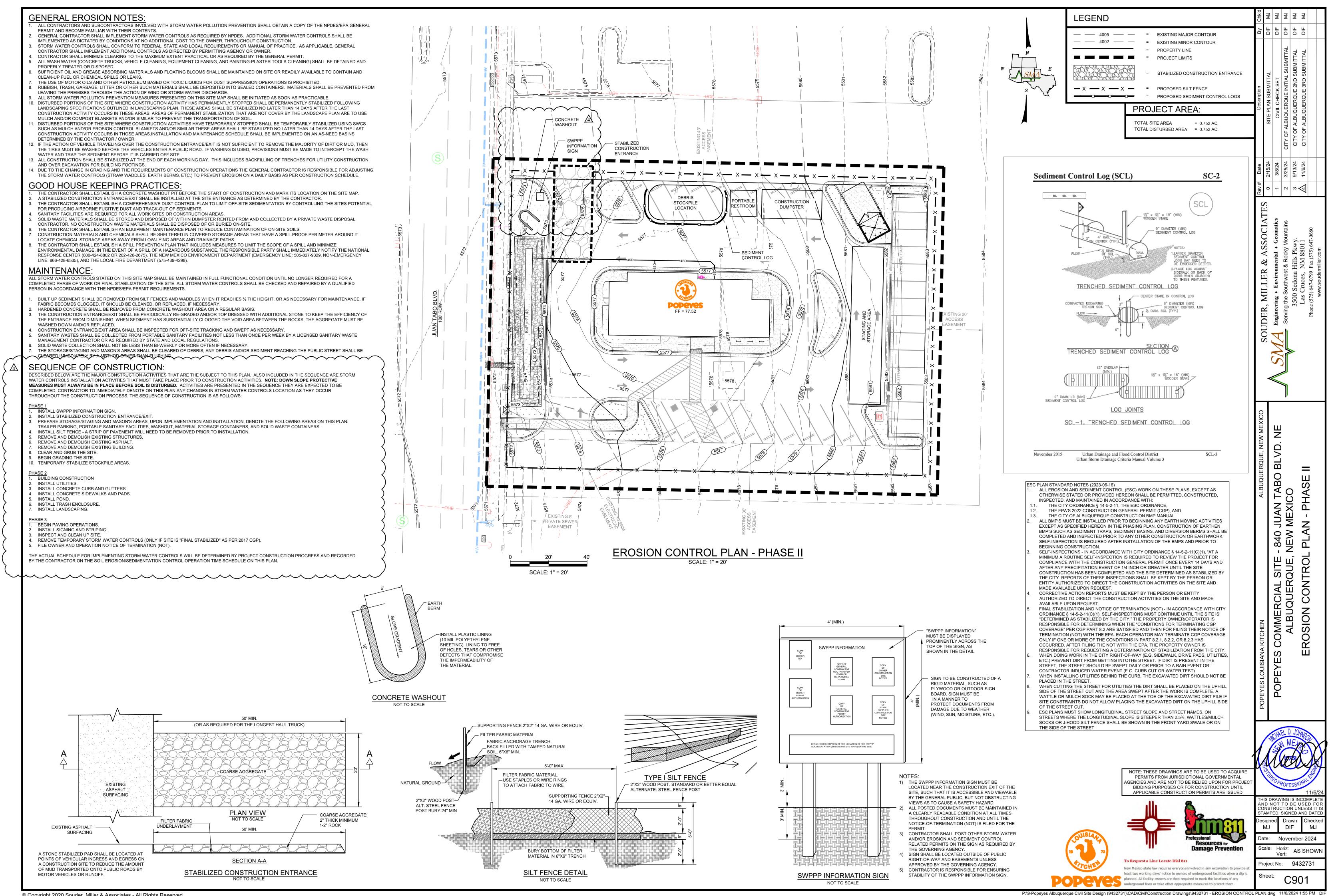




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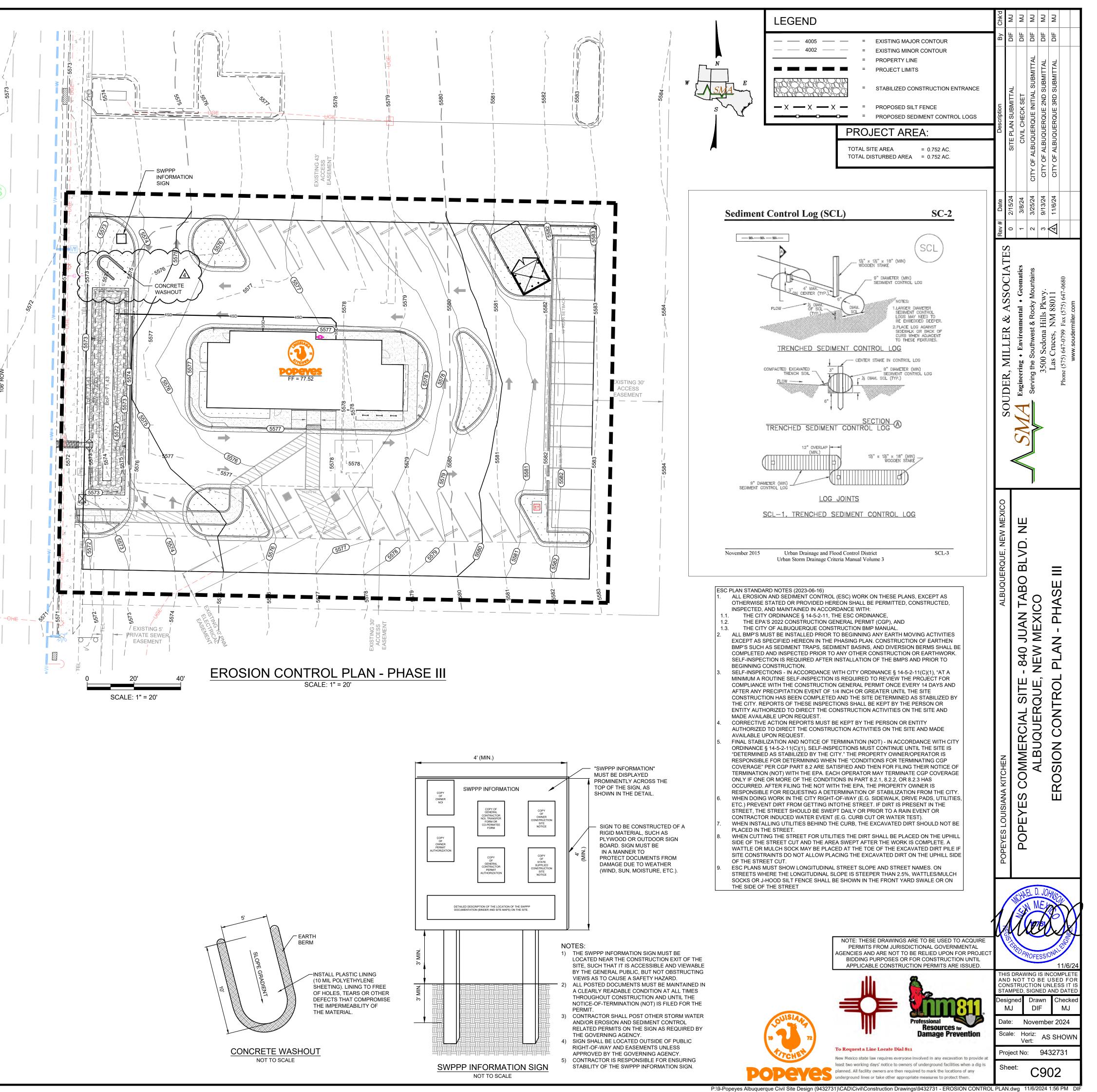


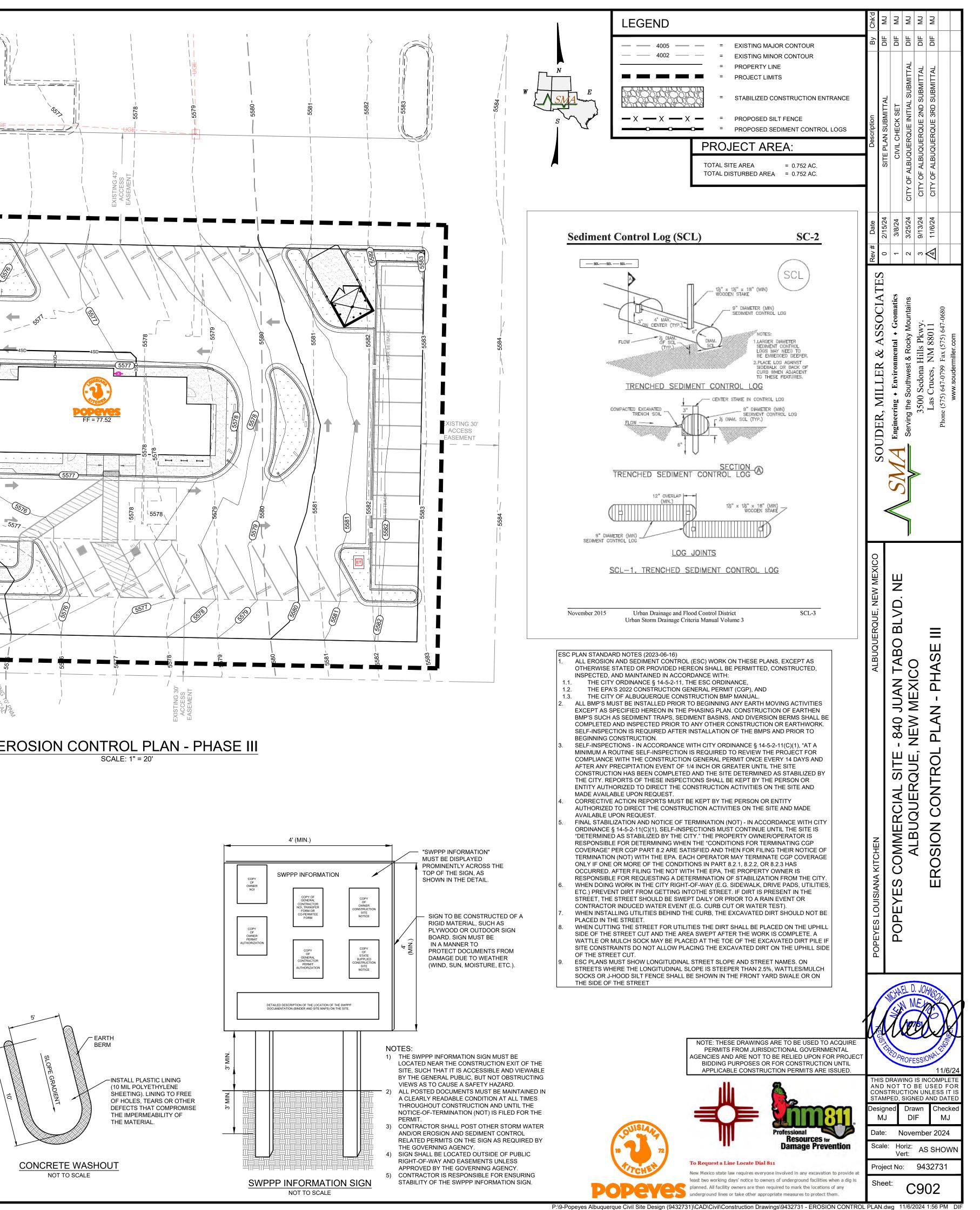
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	GENERAL EROSION NOTES: 1. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE NPDES/EPA GENERAL	
	 ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER FOLLOTION PREVENTION SHALL OBTAIN A COPT OF THE NPDES/EPA GENERAL PERMIT AND BECOME FAMILIAR WITH THEIR CONTENTS. GENERAL CONTRACTOR SHALL IMPLEMENT STORM WATER CONTROLS AS REQUIRED BY NPDES. ADDITIONAL STORM WATER CONTROLS SHALL BE 	
	IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER, THROUGHOUT CONSTRUCTION. 3. STORM WATER CONTROLS SHALL CONFORM TO FEDERAL, STATE AND LOCAL REQUIREMENTS OR MANUAL OF PRACTICE. AS APPLICABLE, GENERAL	
	CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER. 4. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.	ļ, l
	 ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, AND PAINTING-PLASTER TOOLS CLEANING) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED. 	(J
	6. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOATING BLOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS OR LEAKS.	
	 THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED. RUBBISH, TRASH, GARBAGE, LITTER OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM 	
	LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE. 9. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS SITE MAP SHALL BE INITIATED AS SOON AS PRACTICABLE.	1
	 DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED FOLLOWING LANDSCAPING SPECIFICATIONS OUTLINED IN LANDSCAPING PLAN. THESE AREAS SHALL BE STABILIZED NO LATER THAN 14 DAYS AFTER THE LAST 	
	CONSTRUCTION ACTIVITY OCCURS IN THESE AREAS. AREAS OF PERMANENT STABILIZATION THAT ARE NOT COVER BY THE LANDSCAPE PLAN ARE TO USE MULCH AND/OR COMPOST BLANKETS AND/OR SIMILAR TO PREVENT THE TRANSPORTATION OF SOIL.	
	 DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY STOPPED SHALL BE TEMPORARILY STABILIZED USING SWCS SUCH AS MULCH AND/OR EROSION CONTROL BLANKETS AND/OR SIMILAR. THESE AREAS SHALL BE STABILIZED NO LATER THAN 14 DAYS AFTER THE LAST 	
	CONSTRUCTION ACTIVITY OCCURS IN THOSE AREAS.INSTALLATION AND MAINTENANCE SCHEDULE SHALL BE IMPLEMENTED ON AN AS-NEED BASINS DETERMINED BY THE CONTRACTOR / OWNER.	
	12. IF THE ACTION OF VEHICLE TRAVELING OVER THE CONSTRUCTION ENTRANCE/EXIT IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN	
	THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF SITE.	
	13. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND OVER EXCAVATION FOR BUILDING FOOTINGS.	
	14. DUE TO THE CHANGE IN GRADING AND THE REQUIREMENTS OF CONSTRUCTION OPERATIONS THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ADJUSTING THE STORM WATER CONTROLS (STRAW WADDLES, EARTH BERMS, ETC.) TO PREVENT EROSION ON A DAILY BASIS AS PER CONSTRUCTION SCHEDULE.	1
	GOOD HOUSE KEEPING PRACTICES:	1
	 THE CONTRACTOR SHALL ESTABLISH A CONCRETE WASHOUT PIT BEFORE THE START OF CONSTRUCTION AND MARK ITS LOCATION ON THE SITE MAP. A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED AT THE SITE ENTRANCE AS DETERMINED BY THE CONTRACTOR. 	
	3. THE CONTRACTOR SHALL ESTABLISH A COMPREHENSIVE DUST CONTROL PLAN TO LIMIT OFF-SITE SEDIMENTATION BY CONTROLLING THE SITES POTENTIAL	
	FOR PRODUCING AIRBORNE FUGITIVE DUST AND TRACK-OUT OF SEDIMENTS. 4. SANITARY FACILITIES ARE REQUIRED FOR ALL WORK SITES OR CONSTRUCTION AREAS. 5. SOLID WASTE MATERIAL S SHALL BE STORED AND DISPOSED OF WITHIN DUMPSTER PENTED FROM AND COLLECTED BY A DRIVATE WASTE DISPOSAL	
	 SOLID WASTE MATERIALS SHALL BE STORED AND DISPOSED OF WITHIN DUMPSTER RENTED FROM AND COLLECTED BY A PRIVATE WASTE DISPOSAL CONTRACTOR. NO CONSTRUCTION WASTE MATERIALS SHALL BE DISPOSED OF OR BURIED ON-SITE. THE CONTRACTOR SHALL ESTABLISH AN FOURDMENT MAINTENANCE PLAN TO REPLICE CONTAMINATION OF ON SITE SOLID. 	
	 THE CONTRACTOR SHALL ESTABLISH AN EQUIPMENT MAINTENANCE PLAN TO REDUCE CONTAMINATION OF ON-SITE SOILS. CONSTRUCTION MATERIALS AND CHEMICALS SHALL BE SHELTERED IN COVERED STORAGE AREAS THAT HAVE A SPILL PROOF PERIMETER AROUND IT. 	5573
	LOCATE CHEMICAL STORAGE AREAS AWAY FROM LOW-LYING AREAS AND DRAINAGE PATHS. 8. THE CONTRACTOR SHALL ESTABLISH A SPILL PREVENTION PLAN THAT INCLUDES MEASURES TO LIMIT THE SCOPE OF A SPILL AND MINIMIZE	
	ENVIRONMENTAL DAMAGE. IN THE EVENT OF A SPILL OF A HAZARDOUS SUBSTANCE, THE RESPONSIBLE PARTY SHALL IMMEDIATELY NOTIFY THE NATIONAL RESPONSE CENTER (800-424-8802 OR 202-426-2675), THE NEW MEXICO ENVIRONMENT DEPARTMENT (EMERGENCY LINE: 505-827-9329, NON-EMERGENCY	
	LINE: 866-428-6535), AND THE LOCAL FIRE DEPARTMENT (575-439-4298).	
	MAINTENANCE: All storm water controls stated on this site map shall be maintained in full functional condition until no longer required for a	
	COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL STORM WATER CONTROLS SHALL BE CHECKED AND REPAIRED BY A QUALIFIED	
	 BUILT UP SEDIMENT SHALL BE REMOVED FROM SILT FENCES AND WADDLES WHEN IT REACHES ½ THE HEIGHT, OR AS NECESSARY FOR MAINTENANCE. IF FABRIC BECOMES CLOGGED, IT SHOULD BE CLEANED, OR REPLACED, IF NECESSARY. 	
	 HARDENED CONCRETE SHALL BE REMOVED FROM CONCRETE WASHOUT AREA ON A REGULAR BASIS. THE CONSTRUCTION ENTRANCE/EXIT SHALL BE PERIODICALLY RE-GRADED AND/OR TOP DRESSED WITH ADDITIONAL STONE TO KEEP THE EFFICIENCY OF 	4
	THE ENTRANCE FROM DIMINISHING. WHEN SEDIMENT HAS SUBSTANTIALLY CLOGGED THE VOID AREA BETWEEN THE ROCKS, THE AGGREGATE MUST BE WASHED DOWN AND/OR REPLACED.	
	 CONSTRUCTION ENTRANCE/EXIT AREA SHALL BE INSPECTED FOR OFF-SITE TRACKING AND SWEPT AS NECESSARY. SANITARY WASTES SHALL BE COLLECTED FROM PORTABLE SANITARY FACILITIES NOT LESS THAN ONCE PER WEEK BY A LICENSED SANITARY WASTE 	
	MANAGEMENT CONTRACTOR OR AS REQUIRED BY STATE AND LOCAL REGULATIONS. 6. SOLID WASTE COLLECTION SHALL NOT BE LESS THAN BI-WEEKLY OR MORE OFTEN IF NECESSARY.	
	7. THE STORAGE/STAGING AND MASON'S AREAS SHALL BE CLEARED OF DEBRIS, ANY DEBRIS AND/OR SEDIMENT REACHING THE PUBLIC STREET SHALL BE	
4	SEQUENCE OF CONSTRUCTION:	
	DESCRIBED BELOW ARE THE MAJOR CONSTRUCTION ACTIVITIES THAT ARE THE SUBJECT TO THIS PLAN. ALSO INCLUDED IN THE SEQUENCE ARE STORM WATER CONTROLS INSTALLATION ACTIVITIES THAT MUST TAKE PLACE PRIOR TO CONSTRUCTION ACTIVITIES. NOTE: DOWN SLOPE PROTECTIVE	2
	MEASURES MUST ALWAYS BE IN PLACE BEFORE SOIL IS DISTURBED. ACTIVITIES ARE PRESENTED IN THE SEQUENCE THEY ARE EXPECTED TO BE	
	COMPLETED. CONTRACTOR TO IMMEDIATELY DENOTE ON THIS PLAN ANY CHANGES IN STORM WATER CONTROLS LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS. THE SEQUENCE OF CONSTRUCTION IS AS FOLLOWS:	2 5572 ₹
	PHASE 1	
	 INSTALL SWPPP INFORMATION SIGN. INSTALL STABILIZED CONSTRUCTION ENTRANCE/EXIT. 	
	3. PREPARE STORAGE/STAGING AND MASON'S AREAS. UPON IMPLEMENTATION AND INSTALLATION, DENOTE THE FOLLOWING AREAS ON THIS PLAN: TRAILER PARKING, PORTABLE SANITARY FACILITIES, WASHOUT, MATERIAL STORAGE CONTAINERS, AND SOLID WASTE CONTAINERS.	
	 INSTALL SILT FENCE - A STRIP OF PAVEMENT WILL NEED TO BE REMOVED PRIOR TO INSTALLATION. REMOVE AND DEMOLISH EXISTING STRUCTURES. 	
	 REMOVE AND DEMOLISH EXISTING ASPHALT. REMOVE AND DEMOLISH EXISTING BUILDING. 	
	8. CLEAR AND GRUB THE SITE. 9. BEGIN GRADING THE SITE.	
	10. TEMPORARY STABILIZE STOCKPILE AREAS.	
	PHASE 2 1. BUILDING CONSTRUCTION	
	 INSTALL UTILITIES. INSTALL CONCRETE CURB AND GUTTERS. 	
	 INSTALL CONCRETE SIDEWALKS AND PADS. INSTALL POND. 	< ₩
	 6. INSTALL TASH ENCLOSURE. 7. INSTALL LANDSCAPING. 	212 >
	PHASE 3	
	1. BEGIN PAVING OPERATIONS. 2. INSTALL SIGNING AND STRIPING.) . 🕑 📗
	 INSTALL SIGNING AND STRIFTING. INSPECT AND CLEAN UP SITE. REMOVE TEMPORARY STORM WATER CONTROLS (ONLY IF SITE IS "FINAL STABILIZED" AS PER 2017 CGP). 	
	 FILE OWNER AND OPERATION NOTICE OF TERMINATION (NOT). 	<
	THE ACTUAL SCHEDULE FOR IMPLEMENTING STORM WATER CONTROLS WILL BE DETERMINED BY PROJECT CONSTRUCTION PROGRESS AND RECORDED	
	BY THE CONTRACTOR ON THE SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE ON THIS PLAN.)
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LANDSCAPE GENERAL NOTES

GENERAL NOTES

- THE CONTRACTOR SHALL VISIT AND FAMILIARIZE THEMSELVES WITH THE PROJECT SITE PRIOR TO SUBMITTING THEIR BID CONTRACTOR SHALL RECEIVE THE SITE IN EXISTING CONDITION
- WARNING! BEFORE EXCAVATING, CONTRACTOR SHALL LOCATE AND PROTECT ALL UNDERGROUND UTILITIES LINES INCLUDING SERVICE CONNECTIONS. CONTRACTOR SHALL REPLACE ANY UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES DURING CONSTRUCTION AT NO ADDITIONAL COST TO OWNER. ALL EXCAVATION SHALL BE BACKFILLED.
- EXISTING UTILITY LINES ARE TO BE BLUE STAKED PRIOR TO EXCAVATION, CHECK AND FIELD VERIFY ALL SITE CONDITIONS, UTILITIES AND SERVICES PRIOR TO EXCAVATION. CONSTRUCTION WORK IN CLOSE PROXIMITY TO UNDERGROUND UTILITIES SHALL BE COORDINATED WITH APPROPRIATE AGENCY. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IF ANY CONFLICTS EXIST PRIOR TO THE COMMENCEMENT OF WORK.
- PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO VERIFY LOCATION OF EXISTING UTILITIES & CONTRACTOR SHALL CALL THE RESPECTIVE "1-CALL" NUMBER AT LEAST THREE WEEKS IN ADVANCE FOR SUCH UTILITIES.
- THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH OWNER, ALL AFFECTED UTILITY COMPANIES, AND ALL 5. OTHER ENTITIES HAVING JURISDICTION OVER THE PROJECT
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXCESS PLANTING SOIL, SUBSOIL, MULCH, PLANTS, PACKAGING, AND OTHER EXCESS MATERIAL, TRASH OR DEBRIS, WHICH WAS EITHER BROUGHT TO THE SITE BY THE CONTRACTOR OR EXCAVATED OR DEMOLISHED FROM THE SITE. THIS SHALL HAPPEN DAILY
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES PRIOR TO COMMENCING WITH THE WORK. ANY DISCREPANCY NOTED SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE. FAILURE OF THE CONTRACTOR TO REPORT ANY FIELD AND PLAN DISCREPANCIES SHALL MAKE THE CONTRACTOR RESPONSIBLE FOR WORK THAT IS PERFORMED.
- 8. VIBRATORY ROLLERS SHALL NOT BE PERMITTED ON ANY PHASE OF THIS PROJECT. UNLESS APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN STRICT CONFORMANCE WITH ALL CURRENT SAFETY CODES AND STANDARDS, INCLUDING BUT NOT LIMITED TO OSHA REQUIREMENTS. 10. CONTRACTOR SHALL WATER THE SITE TWICE DAILY, IN THE MORNING AND IN THE AFTERNOON, IN ORDER TO KEEP DOWN DUST. THIS
- SHALL INCLUDE WATERING ON WEEKENDS AND HOLIDAYS, NO EXCEPTIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING IMPROVEMENTS IN THE PROJECT AREA AND ITS VICINITY
- ANY DAMAGE RESULTING FROM CONTRACTOR'S WORK SHALL BE RESTORED AT NO COST TO OWNER 12. CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL ENVIRONMENTAL REGULATIONS DURING CONSTRUCTION
- ACTIVITY. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ENVIRONMENTAL FINES RESULTING FROM THEIR WORK AND HOLD THE OWNER HARMLESS IN SUCH CASES.
- 14. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD-VERIFYING THE LOCATION (AND ELEVATION, WHERE RELEVANT) OF THE EXISTING SITE FEATURES. IF CONFLICTS ARE DISCOVERED BETWEEN WHAT IS SHOWN ON THE DRAWINGS AND WHAT IS PRESENT IN THE FIELD. THE CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THE AFFECTED AREA. REPORT THE DISCREPANCY TO THE OWNER'S REPRESENTATIVE, AND NOT PROCEED WITHOUT SPECIFIC WRITTEN DIRECTION.

PLANTING NOTES

- 1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PREVENT PLANTS FROM FALLING OR BEING BLOWN OVER AND TO STRAIGHTEN OR REPLANT ALL PLANTS WHICH ARE DAMAGED DUE TO WIND. PLANTS BLOWN OVER BY HIGH WINDS SHALL NOT BE A CAUSE FOR ADDITIONAL EXPENSE TO THE OWNER. BUT SHALL BE THE FINANCIAL RESPONSIBILITY OF CONTRACTOR.
- TOPSOIL MATERIAL FOR PLANTING. SHALL BE FREE FROM HARD CLODS. STIFF CLAY. HARD PAN. STONES LARGER THAN 1" IN 2. DIAMETER, NOXIOUS WEEDS AND PLANTS, SOD, PARTIALLY DISINTEGRATED DEBRIS, INSECTS OR ANY OTHER UNDESIRABLE MATERIAL INCLUDING PLANTS OR SEEDS THAT WOULD BE TOXIC OR HARMFUL TO GROWTH.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF MATERIAL AND PLANT AND TREE QUANTITIES. IN THE EVENT OF VARIATION BETWEEN THE PLANT QUANTITIES SHOWN ON THE PLANT LEGEND AND THE QUANTITIES SHOWN ON THE PLANS, THE PLANS SHALL CONTROL IMPROPER PLANT COUNT LISTED ON THE PLANT LEGEND MADE BY THE LANDSCAPE ARCHITECT
- SHALL BE NO CAUSE FOR ADDITIONAL COSTS TO THE OWNER. THE CONTRACTOR SHALL MEET BOTH THE CONTAINER SIZE AND CALIPER SIZE. AS WELL AS HEIGHT AND SPREAD SPECIFICATIONS
- SPECIFIED. EXCAVATE TWO TIMES GREATER THAN THE ROOT BALL-DIAMETER OF THE SHRUB, TWO TIMES GREATER THAN THE ROOT BALL FOR
- TREES. SCARIFY BOTTOM OF PLANTING PIT BEFORE PLACING PLANT. PLACEMENT OF PLANT SHALL BE PERPENDICULAR TO GROUND CONTRACTOR WILL NOT PLANT MATERIAL SHOWN ON PLANS WHEN IT IS EVIDENT THAT FIELD CONDITIONS HAVE CHANGED SINCE PLANS WERE DRAWN, ANY CHANGES ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE BEFORE ANY
- PLANTING IS DONE IN THE AREA. 8. STEMS AND LEAVES TO BE REMOVED FROM LOWER PORTION OF TRUNKS OF TREES TO LEAVE A CLEAN APPEARANCE AND SO TREES APPEAR LESS LIKE SHRUBS AND MORE LIKE TREES
- PLANT SUBSTITUTIONS WILL BE PERMITTED WITH WRITTEN APPROVAL OF OWNER'S REPRESENTATIVE. REQUEST SUBSTITUTIONS IN WRITING GIVING REASONS FOR SUCH SUBSTITUTIONS. DOCUMENT THAT REASONABLE EFFORT HAS BEEN MADE TO LOCATE SPECIES ORIGINALLY SPECIFIED. NO PLANT OR TREE SUBSTITUTIONS ALLOWED UNLESS PRIOR APPROVAL FROM OWNER'S REPRESENTATIVE
- 10. FOR MULTI-TRUNK TREES IN LANDSCAPE AREAS NARROWER THAN 10', ROTATE TREE SO THAT TRUNKS ARE AIMED PERPENDICULAR TO NARROW DIMENSION.
- 11. TREAT ALL PLANTING AREAS WITH AN APPLICATION OF SURF. FOLLOW MANUFACTURER'S INSTRUCTIONS FOR APPLICATION 12. REMOVE ALL WIRE, STRING, WIRE BASKETS, BURLAP, CONTAINERS, ETC., FROM THE ROOTBALL OF PLANTS BEFORE BACKFILLING THE PLANTING HOLE.
- FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT. 13. 14. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE 48 HOURS IN ADVANCE OF COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.
- 15. CONTRACTOR SHALL PROVIDE ONE YEAR WARRANTY ON PLANT MATERIAL FROM DATE OF SUBSTANTIAL COMPLETION. DEAD OR DAMAGED PLANT MATERIAL SHALL BE REPLACED AT NO COST TO THE OWNER UNLESS CAUSED BY FACTORS OUTSIDE THE CONTROL OF THE CONTRACTOR.
- 16. ALL AREAS TO RECEIVE LANDSCAPE ROCK WITH WEED BARRIER FABRIC SHALL RECEIVE PENDULUM OR OTHER APPROVED EQUAL PRE-EMERGENT OR COMBINATION OF PRE-EMERGENTS. APPLICATION SHALL TAKE PLACE AFTER SOIL PREPARATION AND PRIOR TO INSTALLATION OF WEED BARRIER FABRIC AND SHALL BE APPLIED BY LICENSED APPLICATOR PROVIDED BY CONTRACTOR. PRE-EMERGENT TO PROVIDE PREVENTION OF ALL INVASIVE WEEDS AND GRASSES. INCLUDING BERMUDA GRASS. BUT SHALL NOT HARM EXISTING DESIRABLE PLANTS OR NEW PLANTS. PROTECTION OF EXISTING PLANTS AND TREE ROOTS SYSTEMS SHALL BE PROVIDED PRIOR TO APPLICATION AND AS PER MANUFACTURER RECOMMENDATIONS. SUBMIT PRE-EMERGENT MSDS INFORMATION TO OWNER
- 17. ALL ROCK TO BE PROVIDED CLEAN, FREE OF EXCESSIVE DIRT AND DUST. ALL ROCK TO BE RAKED SMOOTH. 18. ALL VINES TO BE PLANTED DIRECTLY ADJACENT TO WALL OR FENCE WITH VINE LEANING ONTO WALL OR FENCE, EVEN IF SHOWN FURTHER FROM WALL OR FENCE ON PLAN.
- 19. ALL LANDSCAPE AREAS ADJACENT TO BUILDING TO BE SLOPED 3% AWAY FROM BUILDING FOR DRAINAGE.

IRRIGATION NOTES

- ASSUMED SYSTEM PRESSURE AND FLOW AT THE POINT OF CONNECTION IS LISTED ON LEGEND. CONTRACTOR SHALL TEST AVAILABLE PRESSURE AND FLOW AND SUBMIT RES REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO COMMENCING WORK. IN NO (CONTRACTOR COMMENCE WITH CONSTRUCTION IF MEASURED VALUES AT POINT OF CO THAN ASSUMED VALUES. FAILURE TO CONTACT THE OWNER'S REPRESENTATIVE SHOU OCCUR, WILL RESULT IN THE CONTRACTOR MAKING NECESSARY CHANGES TO THE IRR THE SATISFACTION OF THE OWNERS REPRESENTATIVE WITHOUT ADDITIONAL COST TO
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS FOR IRRIGATION WORK. IRRIGATION PLAN IS DIAGRAMMATIC IN NATURE. PIPE, VALVE AND IRRIGATION SYSTEM 3 LOCATIONS MAY BE SHOWN IN PAVED AREAS FOR DESIGN CLARIFICATION. ALL SYSTEM IN TURF OR LANDSCAPED AREAS WHERE POSSIBLE. ADJUST LOCATION OF ALL COMPON COMPENSATE FOR FINAL SITE CONDITIONS AND PROVIDE OPTIMAL WATER COVERAGE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ACCOMPLISHING FULL COVERAGE IN ALL A 4. EQUIPMENT. ANY DISCREPANCIES IN THE PLAN SHOULD BE BROUGHT TO THE ATTENTI REPRESENTATIVE DURING CONSTRUCTION.
- ALL FITTINGS AND NECESSARY EQUIPMENT REQUIRED TO MAKE THE IRRIGATION SYSTE PROPERLY AND TO COMPLY WITH LOCAL AND STATE CODES ARE INCIDENTAL TO THESE CONTRACTOR'S RESPONSIBILITY.
- ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE LOCAL CODES AND CONTRACTOR WILL BE HELD LIABLE FOR GAINING ACCESS UNDER ALL HARD SURFACES
- 8. SLEEVES SHOWN ON THE PLANS SHOULD BE VERIFIED FOR ACCESSIBILITY AND FEASIB MADE
- THE CONTRACTOR SHALL LOCATE AND VERIFY EACH WATER TAP TO WHICH THE IRRIGA 9. CONNECT. ALL EQUIPMENT AND INSTALLATION METHODS SHALL COMPLY WITH THE ST. OF EL PASO.
- 10. CONTRACTOR IS RESPONSIBLE FOR ALL CONNECTIONS AND VALVES REQUIRED FOR TH IMPLEMENTATION OF THE SYSTEM.
- THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR 12. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE OR INTERRUPTION IN SER EXCAVATIONS AND/OR WORK.
- CONTROLLER WILL HAVE AN INDEPENDENT COMMON WIRE LOOPED TO THE VALVES CC 14. ALL REMOTE CONTROL VALVE WIRES NEED TO BE LABELED AT VALVE W/ WATERPROOF CONTROLLER WITH CORRESPONDING LABEL. LETTER AND/OR NUMBER TAGS IN SEQUE PROVIDED BY CONTRACTOR. CONTRACTOR SHALL PROVIDE WATERPROOF ZONE MAP I ENCLOSURE WITH EACH ZONE CLEARLY IDENTIFIED.
- 15. SPLICING OF REMOTE CONTROL VALVE WIRES IS NOT ALLOWED BETWEEN CONTROLLE MUST BE CONTINUOUS FROM CONTROLLER TO REMOTE CONTROL VALVE WITHOUT SPL
- 16. VALVE BOXES AND CANS SHALL NOT BE LOCATED WITHIN 6" OF BACK OF CURB OR ANY SYMBOL ON PLAN IS SHOWN CLOSER.
- TRENCHES FOR MAIN LINE SHALL BE OF SUFFICIENT DEPTH TO ALLOW MAINLINE TO BE 18" BELOW FINISHED GRADE. TRENCHES FOR LATERAL LINES SHALL BE OF SUFFICIENT LATERALS TO BE A MINIMUM OF 12" BELOW FINISHED GRADE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO PLANT MATERIAL DUE TO SYS 18 INFERIOR WORKMANSHIP DURING THE INSTALLATION OF PLANTS AND MAINTENANCE PLANTS AND MAINTENANTEN AND MAINTENANTENANTEN AND MAINTENANTENANTENANTENT AND MAINTENANCE 19. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL ELECTRICAL CO
- CONTROLLERS. THIS SHALL INCLUDE ALL NECESSARY FUSE BOXES OR OTHER ELECTE 20. IRRIGATION CONTRACTOR SHALL COORDINATE OPERATIONAL REQUIREMENTS OF THE
- WITH THE IRRIGATION CONTROLLER(S) AND INSTRUCT THE OWNER ON IT'S PROPER US 21. CONTRACTOR TO PROVIDE ONE YEAR WARRANTY OF MATERIALS AND WORKMANSHIP (FROM DATE OF SUBSTANTIAL COMPLETION. DAMAGED MATERIALS AND DEFECTIVE WOF REPLACED AT NO COST TO THE OWNER. UNLESS CAUSED BY FACTORS OUTSIDE THE CO CONTRACTOR.

				By Chk'd DIF M.I	
THE IRRIGATION				Description	
SULTS TO OWNER'S CASE SHALL ONNECTION ARE LESS LD A DISCREPANCY IGATION SYSTEM TO THE OWNER. COMPONENT				# Date 2/15/24	
COMPONENTS WILL BE NENTS TO REAS WITH SPECIFIED ON OF THE OWNER'S EM OPERATE PLANS AND ARE THE REQUIREMENTS. ILITY BEFORE BID IS ATION SYSTEM WILL ANDARDS OF THE CITY HE FULL TO INITIATING WORK. VICE CAUSED BY THEIR ONNECTED TO IT. LABELS AND AT NTIAL ORDER SHALL BE N THE CONTROLLER. R & VALVE BOX. WIRES LICING. HARDSCAPE EVEN IF				SOUDER, MILLER & ASSOCIATES	Engineering • Environmental • Geomatics Serving the Southwest & Rocky Mountains 3500 Sedona Hills Pkwy. Las Cruces, NM 88011 Phone (575) 647-0799 Fax (575) 647-0680 www.soudermiller.com
ARDSCAPE EVENTP A MINIMUM DEPTH OF DEPTH TO ALLOW FOR FINDER FRIDE ONNECTION FOR CAL REQUIREMENTS. IRRIGATION SYSTEM E. OF IRRIGATION SYSTEM RK SHALL BE ONTROL OF THE				ALBUQUERQUE, NEW MEXICO	COMMERCIAL SITE - 840 JUAN TABO BLVD. NE ALBUQUERQUE, NEW MEXICO LANDSCAPE GENERAL NOTES
		JONATHAN MATTHEWS JONATHAN MATTHEWS JONATHAN MATTHEWS JOSTERENT CAPE ARCHINE MACH, MALLAN, T.3.24		POPEYES LOUISIANA KITCHEN	POPEYES COMME ALBL LAND:
		THE DRY L LANDSCAPE ARCHITECTURE 110 MONTECILLO, SUITE 1C EL PASO, TEXAS 79912 915.887.7893 INFO@THEDRYLAND.COM		AND CONS	J DL MJ
	POPEYES	To Request a Line Locate Dial 811 New Mexico state law requires everyone involved in any e least two working days' notice to owners of underground f planned. All facility owners are then required to mark the underground lines or take other appropriate measures to p	Prevention xcavation to provide at facilities when a dig is locations of any protect them.	Proje She	e: Horiz: Vert: ect No: 9432731 et: L100

LANDSCAPE ORDINANCE CALCULATIONS

NET LOT AREA = 32,746 SF NEW BUILDING FOOTPRINT = 2,515 SF

LANDSCAPE OUTSIDE OF THE PROPERTY = 441 SF

LANDSCAPE AREA REQUIRED = 4,469 SF (32,746 SF - 2,515 SF - 441 SF X .15 = 4,469 SF) LANDSCAPE AREA PROVIDED = 4,997 SF

TOTAL VEGETATION COVERAGE REQUIRED = 3,354 SF (75%)

- 50% OF TOTAL VEGETATION COVERAGE FROM TREES REQUIRED = 1,677 SF 25% OF TOTAL VEGETATION COVERAGE FROM SHRUBS REQUIRED = 839 SF
- TOTAL VEGETATION COVERAGE PROVIDED = 5,880 SF (132%)

TREE VEGETATION COVERAGE PROVIDED = 4,398 SF TREES SHRUB VEGETATION PROVIDED = 1,482 SF SHRUBS

	REQUIRED	PROVIDED	NOTES
STREET TREES	6	6	135 LINEAR FEET OF FRONTAGE ALONG JUAN TABO BLVD. 130 / 25 = 6
CANOPY TREES	3	3	34 PARKING SPACES / 10 = 3
PROJECT TREES	5	5	50% OF TOTAL VEGETATION COVERAGE REQUIRED = 1,677 SF TREE VEGETATION PROVIDED = 4,398 SF
TOTAL TREES	14	14	
PROJECT SHRUBS	67	118	25% OF TOTAL VEGETATION COVERAGE REQUIRED = 839 SF SHRUB VEGETATION PROVIDED = 1,482 SF

PLANT LEGEND

TREE	COMMON NAME	BOTANICAL NAME	MIN. SIZE	MIN. HEIGHT	QTY
TREE NH HIM HIM HIM HIM HIM HIM HIM HIM HIM HI	AFGHAN PINE	PINUS ELDARICA	2" CAL. / 24" BOX	10`	2
Contraction of the second seco	DESERT MUSEUM PALO VERDE	CERCIDIUM X 'DESERT MUSEUM'	2" CAL. / 24" BOX	10`	1
	SWEET ACACIA MULTI-TRUNK	ACACIA FARNESIANA	2" CAL. / 24" BOX	10`	10

NOTE: MULTI-TRUNK TREES SHALL BE 2" CALIPER, WITH CALIPER EQUALING THE DIAMETER OF THE LARGEST TRUNKS

TRUNK PLUS H	IALF THE DIAMETER OF THE N	IEXT THREE LARGEST TRUNKS			
SHRUBS	COMMON NAME	BOTANICAL NAME	SIZE	MIN. HEIGHT	QTY
\odot	GOLDEN BARREL CACTUS*	ECHINOCACTUS GRUSONII	5 GALLON LOW WATER	18"	25
\oplus	GERMANDER	TEUCRIUM SCORODONIA	5 GALLON	18"	7
\odot	MEXICAN PETUNIA	RUELLIA BRITTONIANA	5 GALLON	18"	8
\bigcirc	RUSSIAN SAGE	PEROVSKIA ABROTANOIDES	5 GALLON	18"	5
	ARIZONA ROSEWOOD	VAUQUELINIA CALIFORNICA	5 GALLON	18"	3
	SOTOL*	DASYLIRION WHEELERI	5 GALLON LOW WATER	18"	19
Ŷ.	SANTA RITA PRICKLY PEAR*	OPUNTIA	5 GALLON LOW WATER	18"	10
\odot	UPRIGHT ROSEMARY	ROSMARINUS OFFICINALIS 'ARP'	5 GALLON	18"	5
Ō	HOMESTEAD PURPLE VERBENA	VERBENA CANADENSIS 'HOMESTEAD PURPLE'	5 GALLON	18"	22
\bigcirc	AFRICAN IRIS	DIETES VEGETA	5 GALLON	18"	5
ર્દ્ધ	NEW MEXICO AGAVE	AGAVE NEOMEXICANA	5 GALLON LOW WATER	18"	9

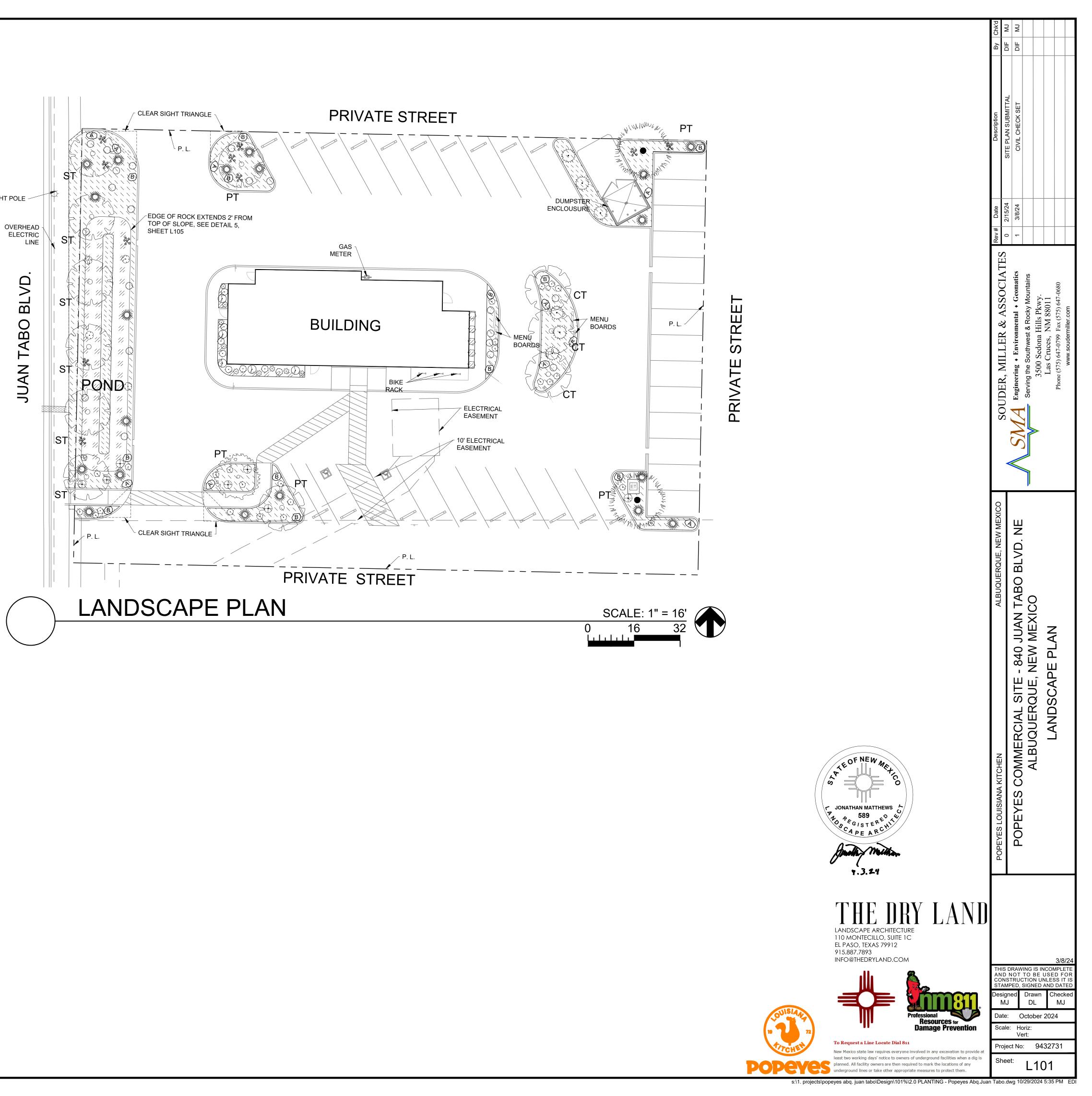
*SEE IRRIGATION LEGEND FOR WATER REQUIREMENTS FOR LOW WATER-USE PLANTS PT = PROJECT TREE ST = STREET TREE CT = CANOPY TREE

MATERIALS LEGEND

AMENITIES								
SYMBOL	SYMBOL DESCRIPTION		MODEL	COLOR	DETAIL			
A	BOULDER A	10	3` MIN.	DESERT TAN	SEE DETAIL 4, SHEET L105			
B	BOULDER B	12	EQUAL MIX OF 1` & 2`	DESERT TAN	SEE DETAIL 4, SHEET L105			
ROCK								
	3/8" ROCK	3,658 SF	GOLDEN BROWN	3"	WITH WEED-BARRIER FABRIC. SEE DETAIL 3, SHEET L105			
4, 4, 4, 4, 4, 4, 4, 4, 4, 4, 4, 4, 4, 4, 4, 4,	ROCK MIX 75% 2"-4" 25% 3/4"	1,339 SF	TRAIL MIX	4"	WITH WEED-BARRIER FABRIC. SEE DETAIL 3, SHEET L105			

CLEAR SIGHT NOTE

 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.





SWEET ACACIA Acacia Farnesiana 25' H x 25' W



PALO VERDE 'DESERT MUSEUM' Cercidium x 'Desert Museum' 25' H x 25' W



SOTOL Dasylirion Wheeleri 5' H x 5' W



ROSEMARY UPRIGHT RUSSIAN SAGE Rosmarinus officinalis 'Arp' 4' H x 4' W



Perovskia Abrotanoides 5' H x 5' W



PURPLE PRICKLEY PEAR Santa Rita Prickly Pear' 5' H x 5' W



HOMESTEAD VERBENA Verbena Canadensis 1' H x 3' W



MEXICAN PETUNIA Ruellia Brittoniana 3' H x 3' W



AFGHAN PINE Pinus Eldarica 40' H x 30' W

GOLDEN BARREL CACTUS Echinocactus Grusonii



GERMANDER Teucrium chamaedrys 2' H x 2' W

4' H x 3' W



NEW MEXICO AGAVE Agave Parryi V. Neomexicana 1.5' H x 2' W AFRICAN IRIS



Dietes Vegeta 2' H x 2' W

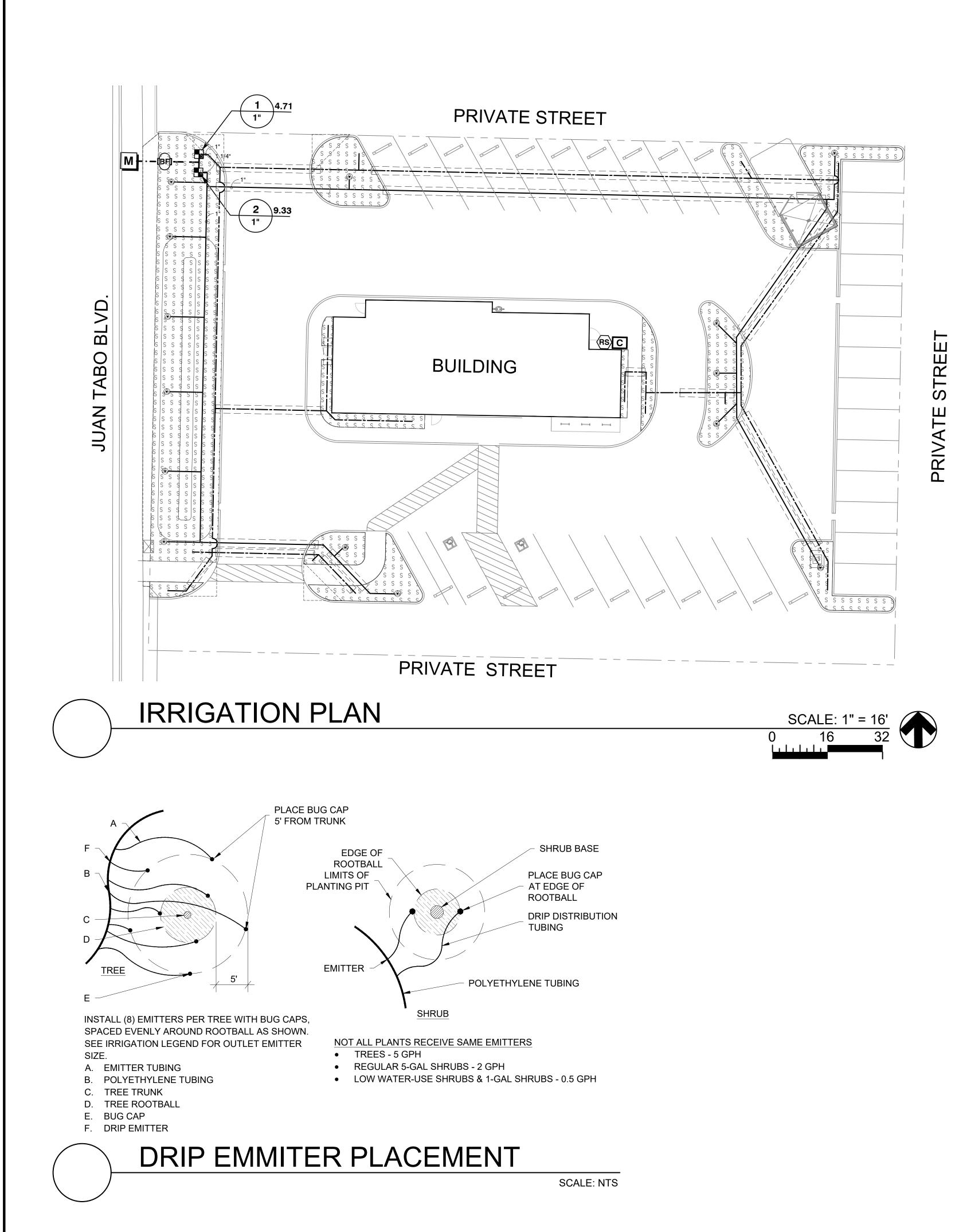
	By Chk'd	DIF MJ	DIF
	Description	SITE PLAN SUBMITTAL	CIVIL CHECK SET
	Rev # Date	0 2/15/24	1 3/8/24
	SOUTHER MILLER & ASSOCIATES	ADDUER, MILLER & ADDUCIATED	Engineering • Environmental • Geomatics Serving the Southwest & Rocky Mountains 3500 Sedona Hills Pkwy. Las Cruces, NM 88011 Phone (575) 647-0799 Fax (575) 647-0680 www.soudermiller.com
$K_{1,3,2,4}$	POPEYES LOUISIANA KITCHEN ALBUQUERQUE, NEW MEXICO		POPEYES COMMERCIAL SITE - 840 JUAN TABO BLVD. NE ALBUQUERQUE, NEW MEXICO PLANT IMAGES
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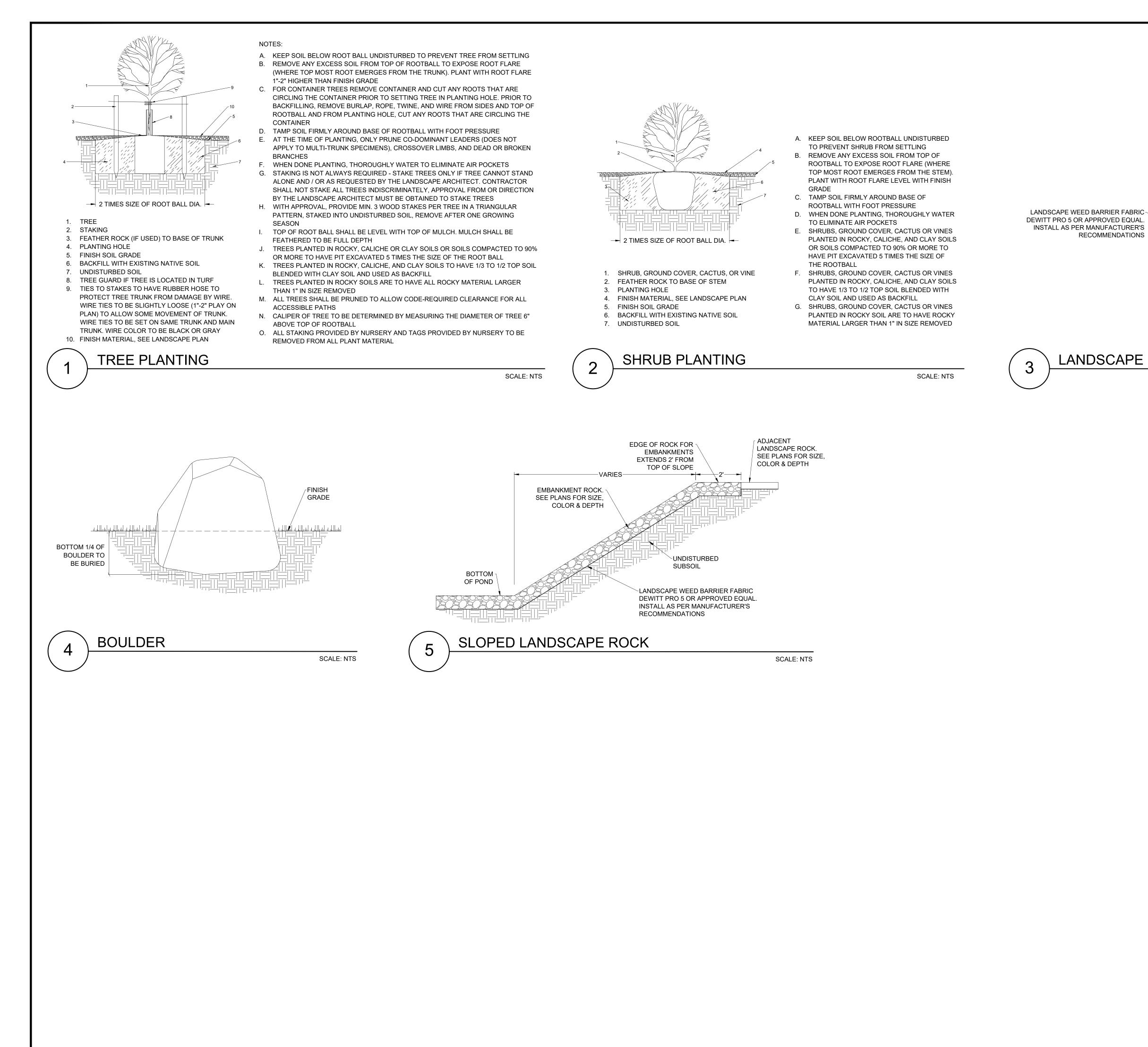
LANDSCAPE ARCHITECTURE 110 MONTECILLO, SUITE 1C EL PASO, TEXAS 79912 915.887.7893 INFO@THEDRYLAND.COM

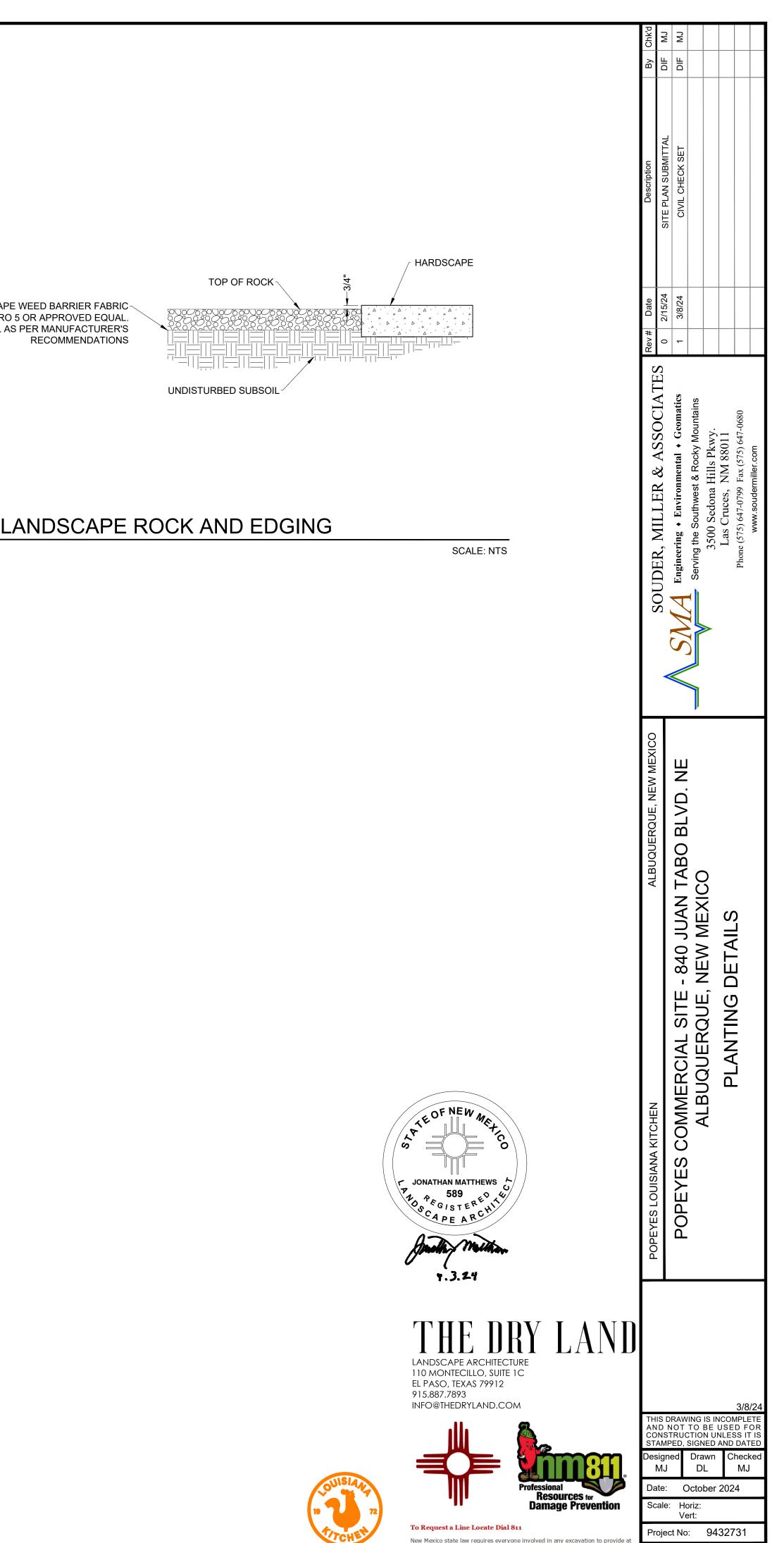






			By Chkd DIF MJ DIF MJ
			on BMITTAL K SET
IRRIC	SATION LEGEND		Description SITE PLAN SUBMITTAL CIVIL CHECK SET
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION		SITE
-	RAIN BIRD XCZ-100-PRB-COM RAINBIRD CONTROL ZONE KIT MODEL XCZ-100-PRB-COM.		
	SEE DETAIL 3, SHEET L106 TREE DRIP EMITTERS		Date //15/24 //15/24 //15/24
S S S S S S S S S S S S S S S S S S S	3/4" POLY TUBING FEEDING RAINBIRD PC-05 EMITTERS, 8 PER TREE. SEE DETAIL ON THIS SHEET AND DETAIL 4, SHEET L106		# 7 7
S S S S S S S S S S S S S S S S S S S S	AREA TO RECEIVE DRIP EMITTERS FOR SHRUBS 3/4" POLY TUBING FEEDING RAINBIRD EMITTERS FOR SHRUBS IN THIS		
S S S S S S S S S S S S S S S S S S S	AREA. EACH PORTION OF POLY TUBING NOT TO FEED MORE THAN 70 SHRUBS, POLY TUBING TO NOT RUN LONGER THAN 50 FT. EXTEND		IATE tics ins
S S S S S S S S S S S S S S S S S S S	PVC LATERALS AS NEEDED. RAIN BIRD XB-20PC FOR 5 GALLON SHRUBS RAIN BIRD XB-05PC FOR 5 GALLON LOW-WATER USE SHRUBS		SOC Geoma Mountai Vy. 11 547-0680
S S S S S S S S S S S S S S S S S S S	SEE DETAIL ON THIS SHEET AND DETAIL & SHEET L106		JR & AS ronmental • est & Rocky na Hills Pkv s, NM 880 99 Fax (575) 6 dermiller.com
	0.5 GPH emitters (2 assigned to each 5 GALLON LOW WATER plant)2.0 GPH emitters (2 assigned to each 5 GALLON plant)		LER , nvironn thwest 8 thwest 8 dona H dona H tccs, N rccs, N rccs, N rccs, N rccs, N rccs, N
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION		MIL] ing + El the Sout 500 Se Las Cru (575) 647 www.s
(BF)	RP BACKFLOW: FEBCO 825Y 3/4" RP BACKFLOW PREVENTER WITH BROWN HUBBELL ENCLOSURE WITH HEAVY DUTY LOCK. BACKFLOW TO MEET CLASS 2, ASSE #1060. SEE DETAIL 5, SHEET L106		DUDER, MI Engineering • Serving the S 3500 Las (Phone (575) ww
C	CONTROLLER RAIN BIRD ESP4ME3 IN METAL CABINET 4 STATION, HYBRID MODULAR OUTDOOR CONTROLLER. LNK WIFI MODULE. SEE DETAIL 6, SHEET L106		SMA
	RAIN SENSOR: RAIN BIRD RSD-BEX, BRACKET MOUNT, WITH THREADED ADAPTER, EXTENSION WIRE. SEE DETAIL 7, SHEET L106 WATER METER 1"		
Μ	SEE CIVIL / PLUMBING SHEETS. ASSUMED EXISTING PRESSURE IS 50 PSI AND FLOW IS 30 GPM		"
	- IRRIGATION LATERAL LINE: PVC CLASS 200 FOR TREES SEE PLAN FOR PIPE SIZE. SEE DETAIL 1, SHEET L106		
	IRRIGATION LATERAL LINE: PVC CLASS 200 FOR SHRUBS SEE PLAN FOR PIPE SIZE. SEE DETAIL 1, SHEET L106		ALBUQUERQUE, NEW MEXICO TABO BLVD. NE O
	- IRRIGATION MAINLINE: PVC SCHEDULE 40 IRRIGATION MAINLINE, 1.5" SEE DETAIL 1, SHEET L106		D BL
	 IRRIGATION MAINLINE: TYPE K COPPER SERVICE LINE FROM METER TO BACKFLOW, 1.5" 		
	SEE DETAIL 1, SHEET L106 PIPE SLEEVE: PVC SCHEDULE 40		JUAN MEXI AN
	 SIZED 2 SIZES LARGER THAN TOTAL DIAMETER OF PIPES WITHIN. HARDSCAPE. IF DISTURBED, CONTRACTOR IS RESPONSIBLE TO PATCH AND REPAIR. SEE DETAIL 2, SHEET L106 		- 840 JI NEW N N PLA
VALVE CALLOUT	VALVE NUMBER		́ш_́
<i>(</i> #●)#● #"●			
			RCIAL (QUER(IRRIG,
		OFNEW	TCHEN OMMERCIAL ALBUQUER IRRIG
		AN ET CONEW MET ICO	CO KITO
		JONATHAN MATTHEWS	EYES
		PL P 589 OSCAPE ARCHI	
		Amoth mellion	POPEYES
		7.3.24	
		LANDSCAPE ARCHITECTURE 110 MONTECILLO, SUITE 1C	J
		EL PASO, TEXAS 79912 915.887.7893 INFO@THEDRYLAND.COM	3/8/24
			THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED
			Designed Drawn Checked MJ DL MJ
		Professional Resources for Damage Prevention	Date: October 2024 Scale: Horiz: Vert:
		To Request a Line Locate Dial 811 New Mexico state law requires everyone involved in any excavation to provide a least two working days' notice to owners of underground facilities when a dig is	Project No: 9432731
		planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them. s:\1. projects\popeyes abg. juan tabo\Design\101%\3.0 IRRIGATION - Popeyes Abg.	L104



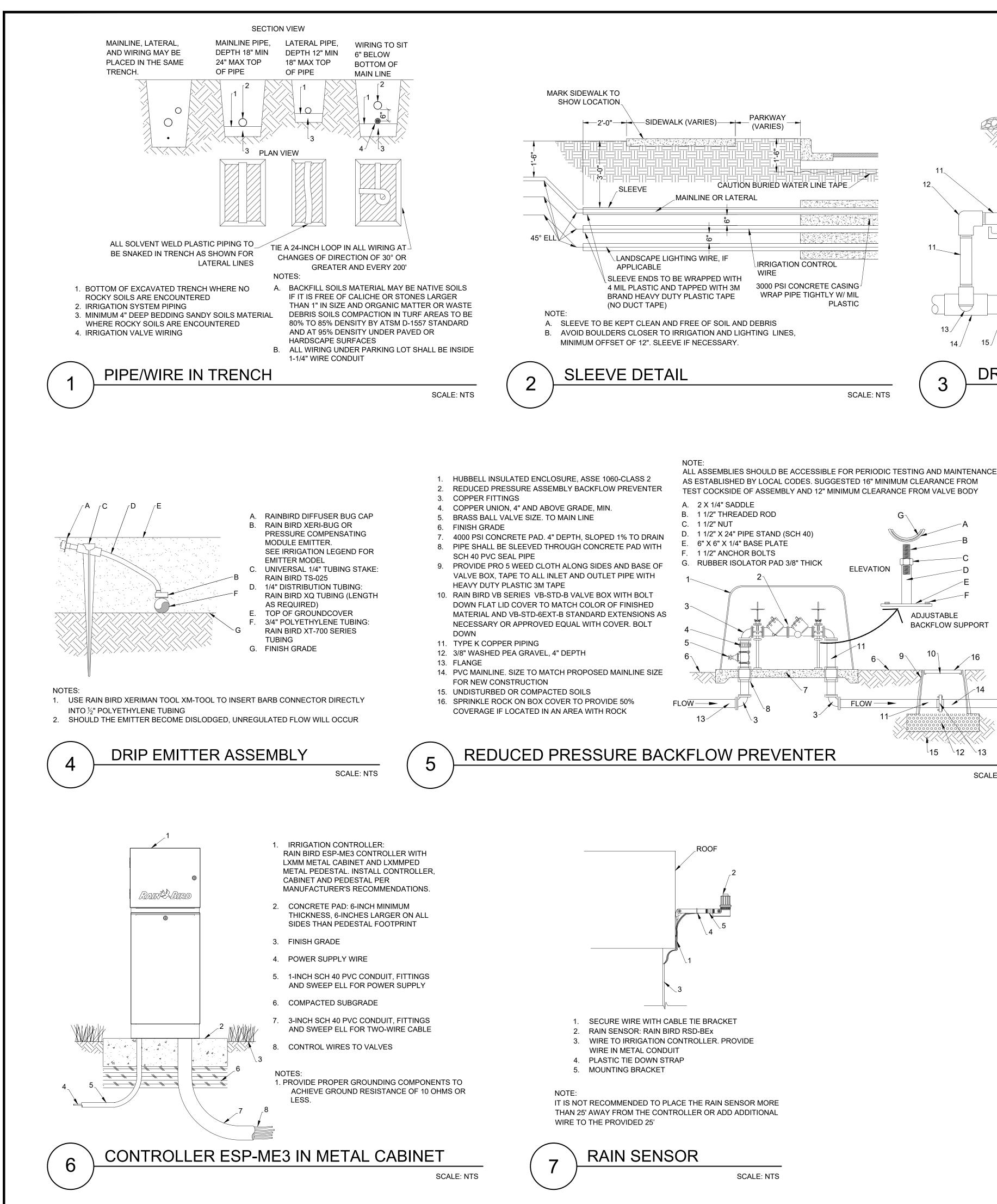


least two working days' notice to owners of underground facilities when a dig is planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them.

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L105

Sheet:



SCALE: NTS

1. FINISH GRADE/TOP OF MULCH 2. RAIN BIRD VB SERIES VB-STD-B VALVE BOX WITH BOLT DOWN FLAT LID COVER TO MATCH COLOR OF FINISHED MATERIAL AND VB-STD-6EXT-B STANDARD EXTENSIONS AS NECESSARY OR APPROVED EQUAL WITH COVER. BOLT DOWN 30-INCH LINEAR LENGTH OF WIRE, COILED WATERPROOF CONNECTION: RAIN BIRD DB SERIES 5. 1-INCH BALL VALVE (INCLUDED IN XCZ-PRB-100-COM KIT) 6. ID TAG 7. REMOTE CONTROL VALVE: RAIN BIRD PESB (INCLUCED IN XCZ-PRB-100-COM KIT) 8. PRESSURE REGULATING QUICK CHECK BASKET FILTER: RAIN BIRD PRB-QKCHK-100 (INCLUDED IN XCZ-PRB-100-COM KIT) 9. PVC SCH 40 FEMALE ADAPTOR 10. LATERAL PIPE 11. PVC SCH 80 NIPPLE (LENGTH AS REQUIRED) 12. PVC SCH 40 ELL 13. PVC SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND PVC SCH 40 ELL 14. PVC SCH 40 TEE OR ELL 15. MAINLINE PIPE 16. 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL 17. PVC SCH 80 NIPPLE, CLOSE (INCLUDED IN XCZ-PRB-100-COM KIT) 18. SPRINKLE ROCK ON BOX COVER TO PROVIDE 50%

COVERAGE IF LOCATED IN AN AREA WITH ROCK

DRIP VALVE KIT TRADITIONAL WIRING

3_4

11

13

3

ADJUSTABLE

^L15

¹12 ¹3

SCALE: NTS

BACKFLOW SUPPORT

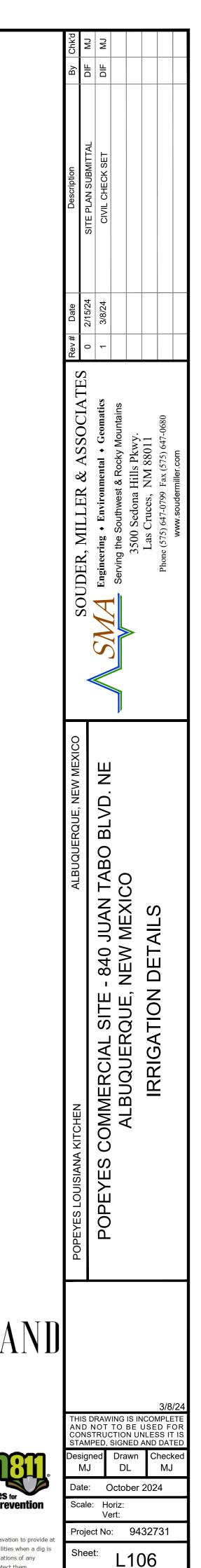
PLASTIC

SCALE: NTS

ELEVATION

FLOW

SCALE: NTS





THE DRY LAND LANDSCAPE ARCHITECTURE 110 MONTECILLO, SUITE 1C

EL PASO, TEXAS 79912 915.887.7893 INFO@THEDRYLAND.COM





To Request a Line Locate Dial 811 New Mexico state law requires everyone involved in any excavation to provide a least two working days' notice to owners of underground facilities when a dig is planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them.

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