

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 6, 2026

Michael Johnson, P.E.
SMA Inc
3500 Sedona Hills Parkway
Las Cruces, NM 88011

Re: Popeyes/ 840 Juan Tabo Blvd. NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 11-06-24 (K22D035A)
Certification dated 03-06-26
TRANS-2026-00065

Dear Mr. Johnson,

PO Box 1293

Based upon the information provided in your submittal received 03-03-26, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

NM 87103

Sincerely,

www.cabq.gov

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

\EA via: email
C: CO Clerk, File



3/6/2026

Mr. Ernest Armijo, P.E. C.F.M.
Principal Engineer
City of Albuquerque
400 Marquette NW
Albuquerque, New Mexico 87102

RE: Traffic Circulation Layout Certification for Popeyes Commercial Site - Popeyes Juan Tabo 840 Juan Tabo Blvd
NE

Dear Mr. Armijo:

I, MICHAEL JOHNSON, NMPE 10751, OF THE FIRM SOUDER, MILLER AND ASSOCIATES, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED JANUARY 2, 2024. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY MICHAEL JOHNSON OF THE FIRM SOUDER, MILLER AND ASSOCIATES I FURTHER CERTIFY THAT SMA STAFF HAS PERSONALLY VISITED THE PROJECT SITE AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

MICHAEL JOHNSON, NMPE 10751



March 6, 2026

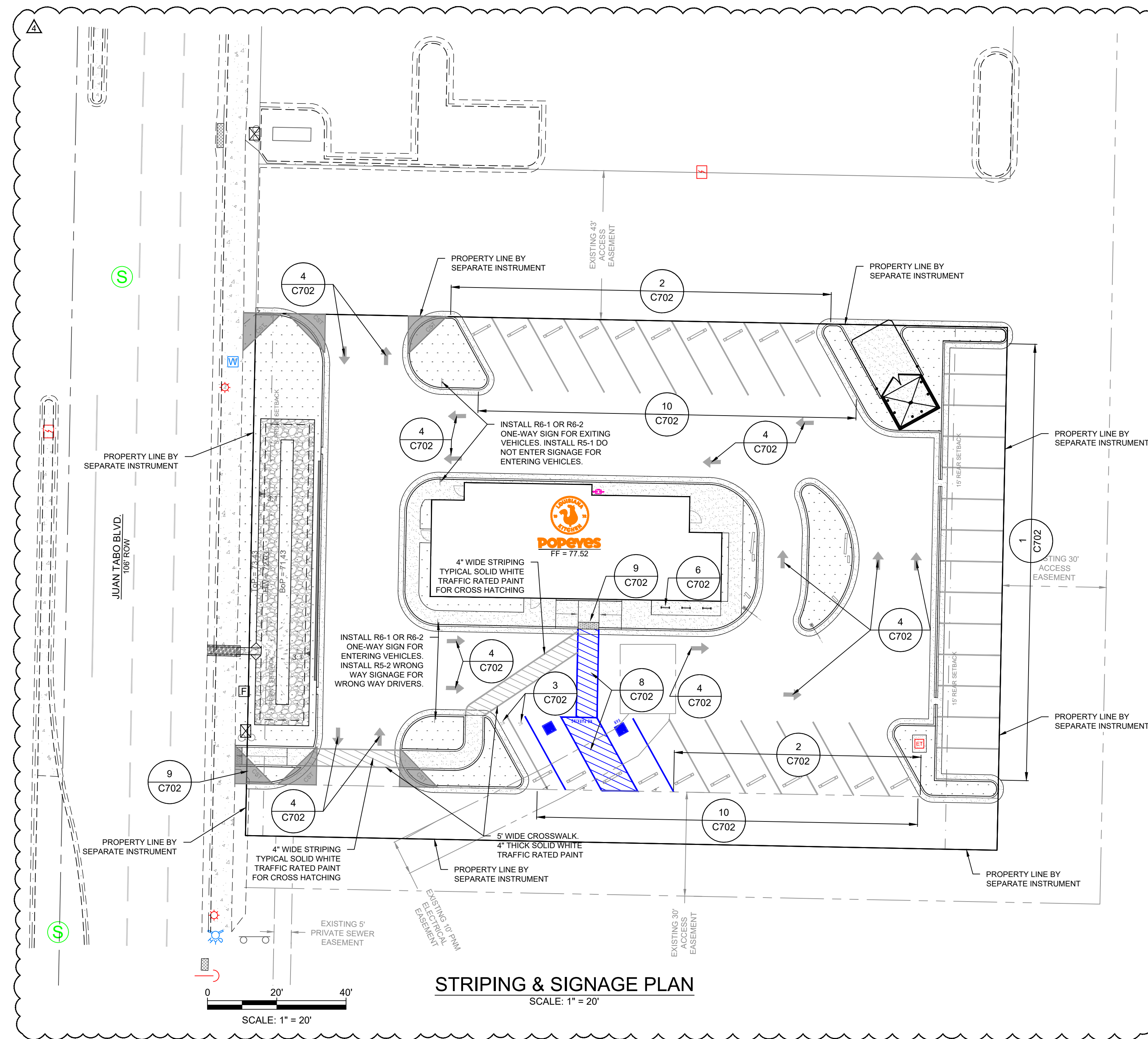
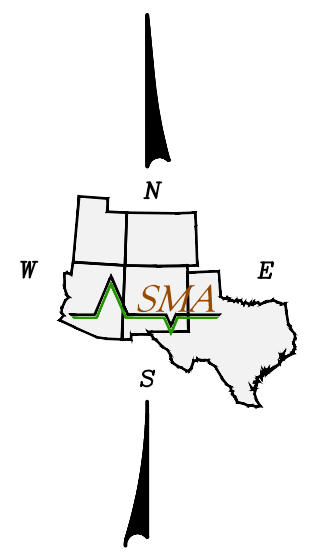
Date

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- PROPOSED 4000 PSI CONCRETE PAVEMENT
- PROPOSED LANDSCAPE AREA
- PROPOSED ASPHALT PAVEMENT
- CLEAR SIGHT TRIANGLE (CST)

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FLOWLINE OR EDGE OF CONCRETE.
2. PERPENDICULAR PARKING STALLS ARE 9'x18'. 14 SPACES ARE PROVIDED.
3. DIAGONAL PARKING STALLS ARE 21' IN DEPTH AND 9' WIDE AT A 60° ANGLE. 17 SPACES ARE PROVIDED.
4. MOTORCYCLE PARKING STALLS ARE 21' IN DEPTH AND 4.5' WIDE AT A 60° ANGLE. 2 SPACES ARE PROVIDED.
5. 1 REGULAR ADA PARKING SPACE AND 1 VAN ADA SPACE IS PROVIDED.
6. BICYCLE PARKING SPACES ARE 4'x6'. 3 SPACES ARE PROVIDED.
7. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.
8. ALL REQUIRED SITE FACILITIES AND AMENITIES SHALL BE ACCESSIBLE TO PEOPLE WITH DISABILITIES.
9. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLE (CST) REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
10. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW SIDEWALK, CURB, AND GUTTER.



STRIPING & SIGNAGE PLAN
SCALE: 1" = 20'

TRAFFIC CIRCULATION LAYOUT APPROVED
Sertil A. Kanbar 12/17/2024
Signed _____ Date _____

TRAFFIC CERTIFICATION

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MICHAEL JOHNSON, NMPE 10751

March 6, 2026
Date

NOTE: THESE DRAWINGS ARE TO BE USED TO ACQUIRE PERMITS FROM JURISDICTIONAL GOVERNMENTAL AGENCIES AND ARE NOT TO BE RELIED UPON FOR PROJECT BIDDING PURPOSES OR FOR CONSTRUCTION UNTIL APPLICABLE CONSTRUCTION PERMITS ARE ISSUED.

Rev #	Date	Description	By	CHKD
0	2/15/24	SITE PLAN SUBMITTAL	DIF	NJ
1	3/8/24	CIVIL CHECK SET	DIF	NJ
2	3/25/24	CITY OF ALBUQUERQUE INITIAL SUBMITTAL	DIF	NJ
3	9/15/24	CITY OF ALBUQUERQUE 2ND SUBMITTAL	DIF	NJ
4	11/6/24	CITY OF ALBUQUERQUE 3RD SUBMITTAL	DIF	NJ

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3500 Sedona Hills Pkwy.
Las Cruces, NM 88011
Phone (575) 647-0799 Fax (575) 647-0680
www.soudermiller.com

ALBUQUERQUE, NEW MEXICO
POPEYES COMMERCIAL SITE - 840 JUAN TABO BLVD. NE
ALBUQUERQUE, NEW MEXICO
STRIPING & SIGNAGE PLAN

POPEYES LOUISIANA KITCHEN

Designed	Drawn	Checked
MJ	DIF	MJ
Date:	November 2024	
Scale:	Horiz: AS SHOWN	
Project No:	9432731	
Sheet:	C700	



LEGEND

- PROPERTY LINE
- - - EASEMENT LINE
- ▨ PROPOSED 4000 PSI CONCRETE PAVEMENT
- ▨ PROPOSED LANDSCAPE AREA
- ▨ PROPOSED ASPHALT PAVEMENT
- A.D.A. ROUTE - NOT TO EXCEED A RUNNING SLOPE GREATER THAN 5% OR CROSS SLOPE GREATER THAN 2%.
- A.D.A. AREAS - NOT TO EXCEED A SLOPE GREATER THAN 2% IN ANY DIRECTION.
- ⊗ ADA LANDING (5' x 5' MIN.)
- FLOW LINE LOCATION POINTS (AT PC AND ADA AREAS)
- △ CLEAR SIGHT TRIANGLE (CST)

SITE DATA

PROPOSED LAND USE:	FAST FOOD RESTAURANT
LOT AREA:	32,745.99 SF
BUILDING AREA:	2,550.37 SF
ASPHALT AREA:	20,996.34 SF
CONCRETE AREA:	4,233.19 SF
LANDSCAPED AREA:	4,966.09 SF
PARKING REQUIRED:	14 SPACES
PARKING PROVIDED:	14 PERPENDICULAR PARKING SPACES 17 DIAGONAL PARKING SPACES
HC PARKING REQUIRED:	2 SPACES
HC PARKING PROVIDED:	1 REGULAR ADA PARKING SPACE, 1 VAN ACCESSIBLE PARKING SPACE
BICYCLE PARKING REQUIRED:	3
BICYCLE PARKING PROVIDED:	3
MOTORCYCLE PARKING REQUIRED:	1
MOTORCYCLE PARKING PROVIDED:	2

LEGAL DESCRIPTION (PER TITLE DOCS.):

TRACT LETTERED "C-1" IN BLOCK NUMBERED ONE HUNDRED TWENTY-FIVE (125) OF PRINCESS JEANNE PARK ADDITION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "A REPLAT OF TRACTS 'A' & 'B', BLOCK 125 OF PRINCESS JEANNE PARK ADDITION, NOW COMPRISING TRACTS 'A-1', 'B-1' & 'C-1' WITHIN SEC. 22, T. 10 N., R. 4 E., N.M.P.M., ALBUQUERQUE, NEW MEXICO," FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 25, 1985 IN PLAT BOOK C27, PAGE 182.

TOGETHER WITH NON-EXCLUSIVE RIGHTS OF EASEMENT FOR INGRESS AND EGRESS FROM THE LAND ACROSS THE THIRTY (30') FOOT ACCESS EASEMENT AND THE FORTY-THREE (43') FOOT ACCESS EASEMENT, AS SET FORTH ON THE PLAT RECORDED JULY 25, 1985 IN PLAT BOOK C27, PAGE 182; RECORDS OF BERNALILLO COUNTY, NEW MEXICO, TO THE EXTENT OF AND ONLY FOR THE DURATION AS PROVIDED FOR THEREIN.

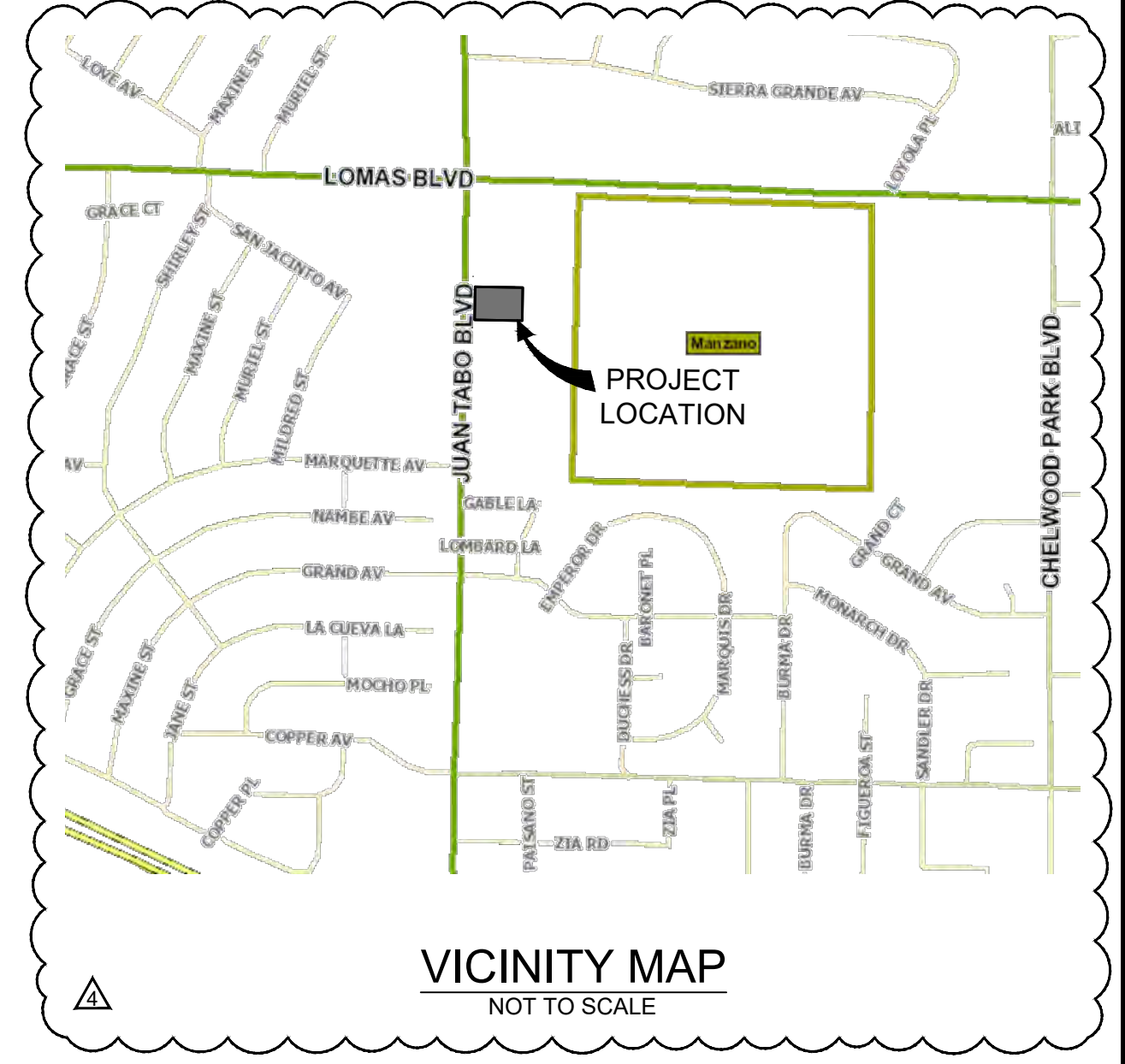
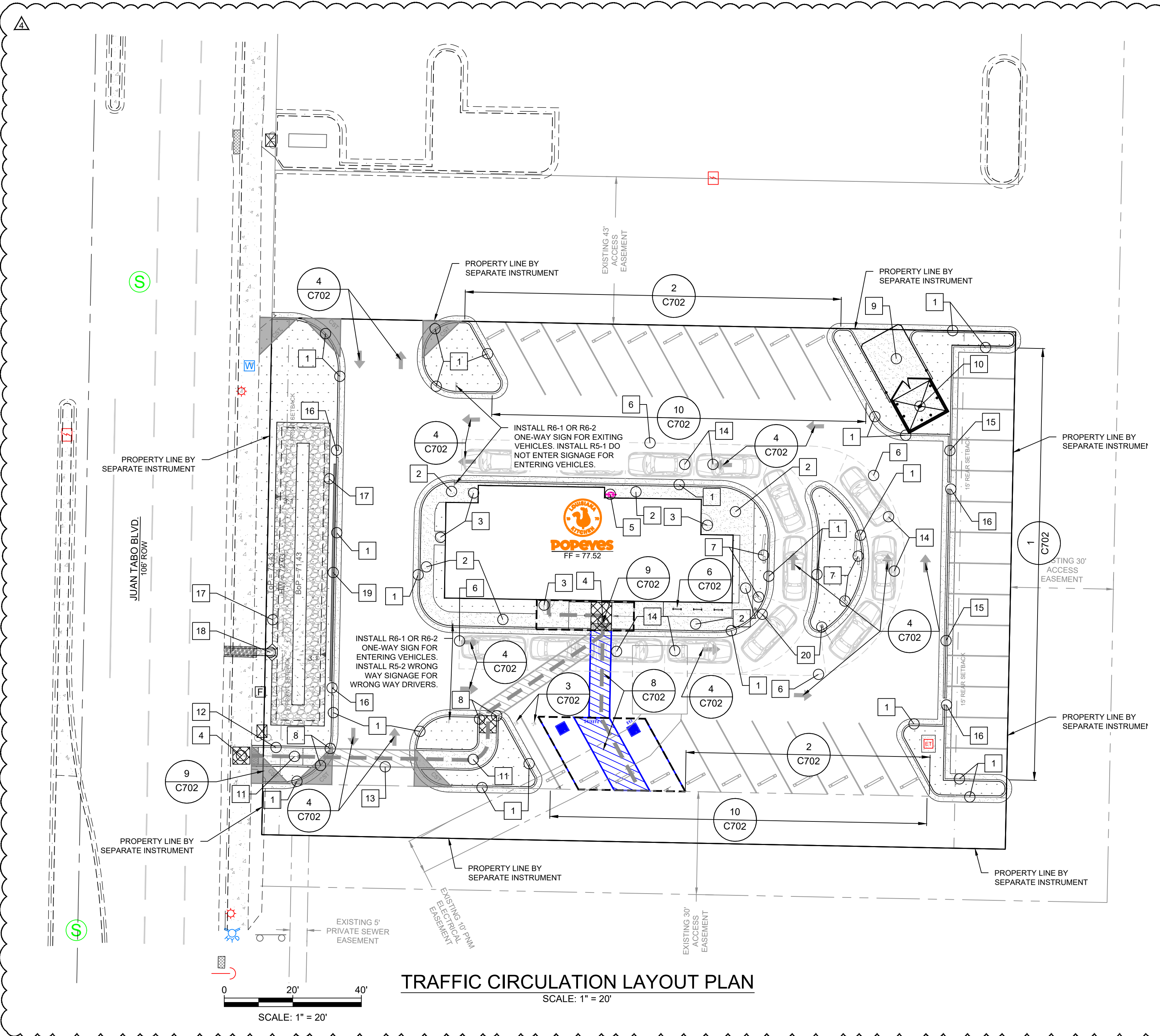
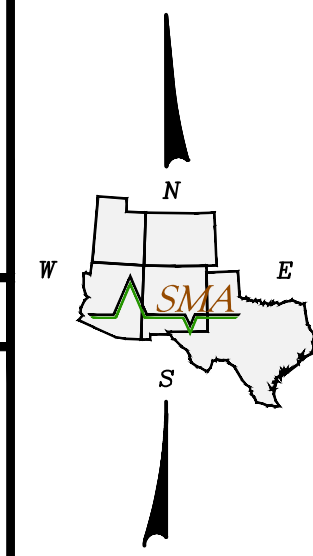
TOGETHER WITH RIGHTS FOR THE PRIVATE SEWER LINE AS SET FORTH IN THE GRANT OF SEWER EASEMENT, EASEMENT FOR SEWER SERVICE EXTENSION RECORDED JANUARY 17, 1986 IN BOOK MISC. 312-A, PAGE 869 AS DOCUMENT NO. 86-5119, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, TO THE EXTENT OR AND ONLY FOR THE DURATION AS PROVIDED FOR THEREIN.

KEYED NOTES

- 1 CURB AND GUTTER (TYP.)
- 2 CONCRETE WALKWAY
- 3 EXTERIOR DOOR
- 4 ADA RAMP W/ TRUNCATED DOMES SEE COA DETAIL 2446, SHEET C702
- 5 GAS METER
- 6 STACKING LANE OUTLINE
- 7 SPEAKERS AND MENU BOARDS (SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS)
- 8 CURB TRANSITION TO 0" CURB HEIGHT AT ALL LOCATIONS WHERE CURBS MEET WALKWAY
- 9 13.33' x 18.75' CONCRETE ACCESS PAD. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 10 SINGLE 6 YARD DUMPSTER ENCLOSURE W/ DRAIN PER CoABO STANDARDS. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 11 5' WIDE SIDEWALK
- 12 5' WIDE SIDEWALK TIED TO EXISTING SIDEWALK
- 13 5' WIDE PAINTED CROSSWALK. SEE SHEET C700
- 14 POTENTIAL STACKED CARS IN STACKING LANES
- 15 DOUBLE SIDED CURB AND GUTTER
- 16 2' WIDE CURB CUT
- 17 PROPOSED STORMWATER QUALITY POND
- 18 BROAD CRESTED WEIR
- 19 RETAINING WALL
- 20 CLEARANCE BARS (SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS)

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TRAFFIC CIRCULATION LAYOUT APPROVED
 Serfil A. Kanbar 12/17/2024
 Signed _____ Date _____

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MICHAEL JOHNSON, NMPE 10751
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POPEYES

nm811
 Professional Resources for Damage Prevention

To Request a Line Locate Dial 811

New Mexico state law requires everyone involved in any excavation to provide at least two working days' notice to owners of underground facilities when a dig is planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them.

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ALBUQUERQUE, NEW MEXICO
POPEYES COMMERCIAL SITE - 840 JUAN TABO BLVD. NE
 ALBUQUERQUE, NEW MEXICO
TRAFFIC CIRCULATION LAYOUT PLAN

MICHAEL D. JOHNSON
 PROFESSIONAL ENGINEER

Designed	Drawn	Checked
MJ	DIF	MJ
Date:	November 2024	
Scale:	Horiz: AS SHOWN Vert: AS SHOWN	
Project No:	9432731	
Sheet:	C701	