

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 17, 2024

Landon Brack, Project Coordinator
3400 College Blvd, Suite 200
Leawood, KS 66211

lbrack@plazastreetpartners.com

Re: Popeyes Juan Tabo
840 Juan Tabo Blvd NE
Traffic Circulation Layout
Engineer's/Architect's Stamp 11-6-24 (K22D035A)

Dear Brack,

The TCL submittal received 11-12-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

TYPE OF DEVELOPMENT: Plat (# of lots) _____ Single Family Home
All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:






Engineering / Architect Certification
Conceptual Grading & Drainage Plan
Grading & Drainage Plan, and/or Drainage Report
Drainage Report (Work Order)
Drainage Master Plan
Conditional Letter of Map Revision (CLOMR)
Letter of Map Revision (LOMR)
Floodplain Development Permit
Traffic Circulation Layout (TCL) – Administrative
Traffic Circulation Layout (TCL) – DFT Approval
Traffic Impact Study (TIS)
Street Light Layout
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

Pad Certification
Building Permit
Grading Permit
Paving Permit
SO-19 Permit
Foundation Permit
Certificate of Occupancy - Temp Perm
Preliminary / Final Plat
Site Plan for Building Permit - DFT
Work Order (DRC)
Release of Financial Guarantee (ROFG)
CLOMR / LOMR
Conceptual TCL - DFT
OTHER (SPECIFY) _____

DATE SUBMITTED: _____

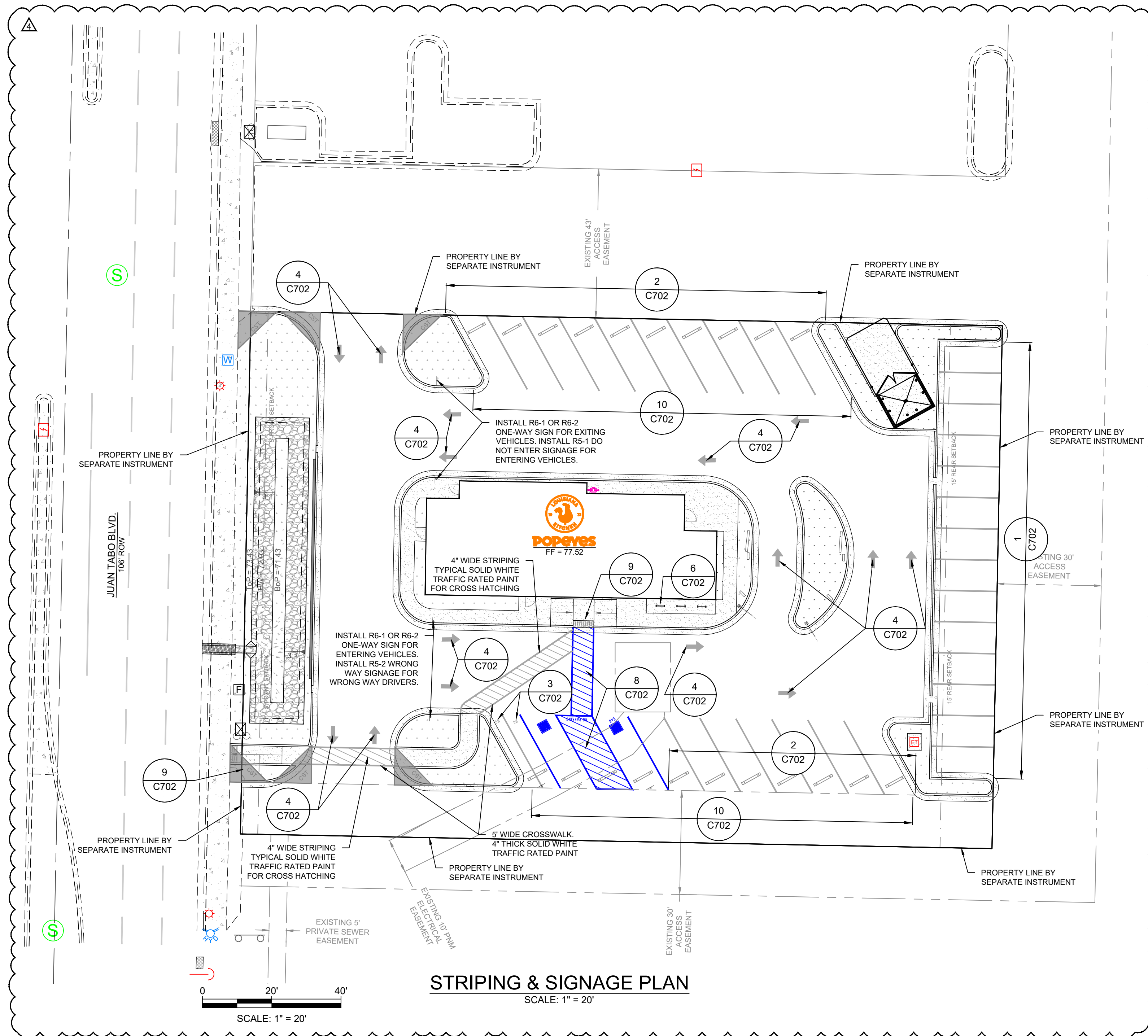
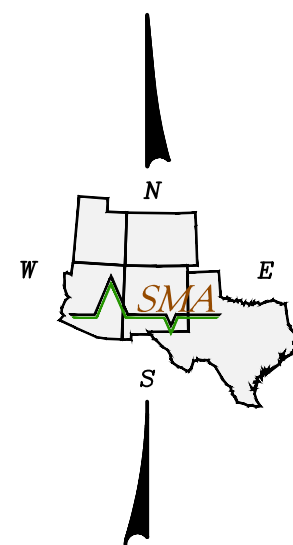
LEGEND

	PROPERTY LINE
	EASEMENT LINE
	PROPOSED 4000 PSI CONCRETE PAVEMENT
	PROPOSED LANDSCAPE AREA
	PROPOSED ASPHALT PAVEMENT

CLEAR SIGHT TRIANGLE (CST)

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FLOWLINE OR EDGE OF CONCRETE.
2. PERPENDICULAR PARKING STALLS ARE 9'x18'. 14 SPACES ARE PROVIDED.
3. DIAGONAL PARKING STALLS ARE 21' IN DEPTH AND 9' WIDE AT A 60° ANGLE. 17 SPACES ARE PROVIDED.
4. MOTORCYCLE PARKING STALLS ARE 21' IN DEPTH AND 4.5' WIDE AT A 60° ANGLE. 2 SPACES ARE PROVIDED.
5. 1 REGULAR ADA PARKING SPACE AND 1 VAN ADA SPACE IS PROVIDED.
6. BICYCLE PARKING SPACES ARE 4'x6'. 3 SPACES ARE PROVIDED
7. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER
8. ALL REQUIRED SITE FACILITIES AND AMENITIES SHALL BE ACCESSIBLE TO PEOPLE WITH DISABILITIES.
9. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLE (CST) REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
10. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW SIDEWALK, CURB, AND GUTTER.



**TRAFFIC CIRCULATION
LAYOUT APPROVED**

Sertil A. Kanbar 12/17/2024

Signed _____ Date _____

Rev #	Date	Description	By	Chkd
0	2/15/24	SITE PLAN SUBMITTAL	DIF MJ	
1	3/8/24	CIVIL CHECK SET	DIF MJ	
2	3/25/24	CITY OF ALBUQUERQUE INITIAL SUBMITTAL	DIF MJ	
3	3/13/24	CITY OF ALBUQUERQUE 2ND SUBMITTAL	DIF MJ	
4	11/6/24	CITY OF ALBUQUERQUE 3RD SUBMITTAL	DIF MJ	
5				

SMA **SOUDER, MILLER & ASSOCIATES**
Engineering • Environmental • Geomatics
Serving the Southwest & Rocky Mountains
3500 Sedona Hills Pkwy.
Las Cruces, NM 88011
Phone (575) 647-0799 Fax (575) 647-0880
www.soudermiller.com

POPEYES LOUISIANA KITCHEN

POPEYES COMMERCIAL SITE - 840 JUAN TABO BLVD. NE
ALBUQUERQUE, NEW MEXICO
STRIPING & SIGNAGE PLAN

ALBUQUERQUE, NEW MEXICO



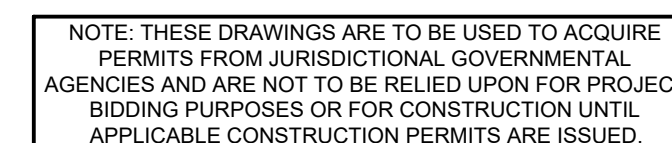
NOTE: THESE DRAWINGS ARE TO BE USED TO ACQUIRE PERMITS FROM JURISDICTIONAL GOVERNMENTAL AGENCIES AND ARE NOT TO BE RELIED UPON FOR PROJECT BIDDING PURPOSES OR FOR CONSTRUCTION UNTIL APPLICABLE CONSTRUCTION PERMITS ARE ISSUED.

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED		
Designed MJ	Drawn DIF	Checked MJ
Date: November 2024		
Scale: Horiz: AS SHOWN Vert:		
Project No: 9432731		
Sheet: C700		



To Request a Line Locate Dial 811

S New Mexico state law requires everyone involved in any excavation to provide at least two working days' notice to owners of underground facilities when a dig is planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them.



To Request a Line Locate Dial 8:

New Mexico state law requires everyone involved in any excavation to provide at least two working days' notice to owners of underground facilities when a dig is planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them.

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ALBUQUERQUE, NEW MEXICO

POPEYES COMMERCIAL SITE - 840 JUAN TABO BLVD. NE

MINERALS SITE - 340 JOAN TA
ALBUQUERQUE, NEW MEXICO

STRIPING, SIGNAGE, & TRAFFIC CIRCULATION DETAILS

JOHNSON
EX-100
51
PROFESSIONAL ENGINEER
11/6/2

11/6/2.

THIS DRAWING IS INCOMPLETE
AND NOT TO BE USED FOR
CONSTRUCTION UNLESS IT IS
STAMPED, SIGNED AND DATED

Designed MJ	Drawn DIF	Checked MJ
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Date: November 2024

Scale: Horiz: AC CROWN

Vert:	AS SHOWN
Project No:	9432731

Sheet: C702