

PROPERTY LINE

EASEMENT LINE

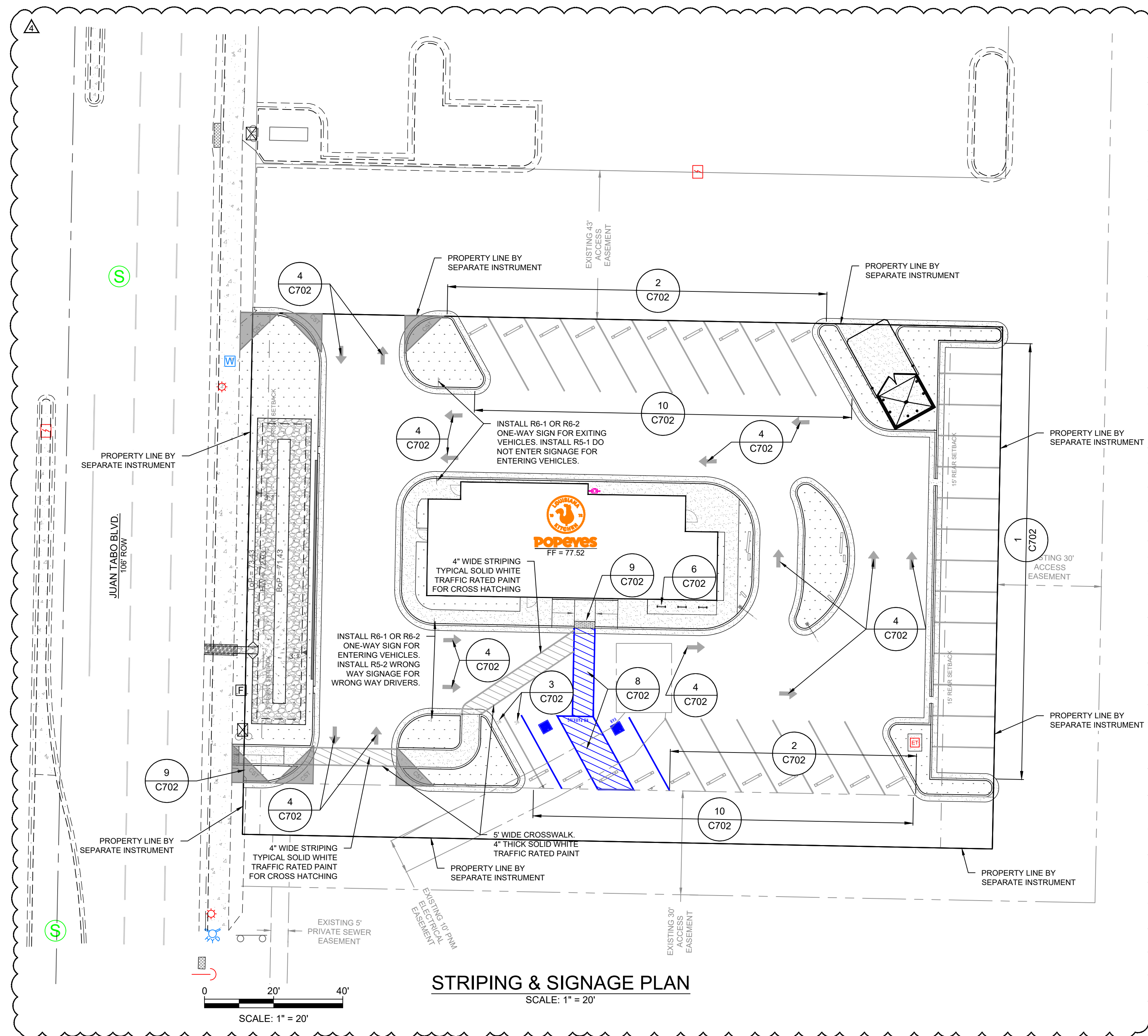
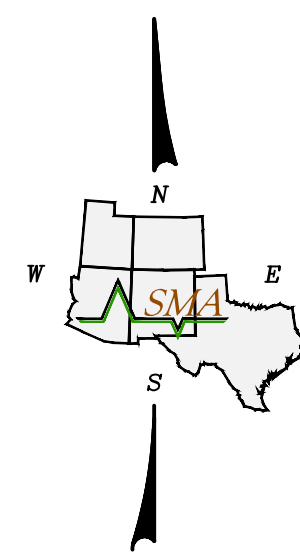
PROPOSED 4000 PSI CONCRETE PAVEMENT

PROPOSED LANDSCAPE AREA

PROPOSED ASPHALT PAVEMENT

CLEAR SIGHT TRIANGLE (CST)

1. ALL DIMENSIONS ARE TO FLOWLINE OR EDGE OF CONCRETE.
2. PERPENDICULAR PARKING STALLS ARE 9'x18'. 14 SPACES ARE PROVIDED.
3. PERPENDICULAR PARKING STALLS ARE 21' IN DEPTH AND 9' WIDE AT A 60° ANGLE. 17 SPACES ARE PROVIDED.
4. MOTORCYCLE PARKING STALLS ARE 21' IN DEPTH AND 4.5' WIDE AT A 60° ANGLE. 2 SPACES ARE PROVIDED.
5. 1 REGULAR ADA PARKING SPACE AND 1 VAN ADA SPACE IS PROVIDED.
6. BICYCLE PARKING SPACES ARE 4'x6'. 3 SPACES ARE PROVIDED
7. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER
8. ALL REQUIRED SITE FACILITIES AND AMENITIES SHALL BE ACCESSIBLE TO PEOPLE WITH DISABILITIES.
9. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLE (CST) REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
10. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW SIDEWALK, CURB, AND GUTTER.



NOTE: THESE DRAWINGS ARE TO BE USED TO ACQUIRE PERMITS FROM JURISDICTIONAL GOVERNMENTAL AGENCIES AND ARE NOT TO BE RELIED UPON FOR PROJECT BIDDING PURPOSES OR FOR CONSTRUCTION UNTIL APPLICABLE CONSTRUCTION PERMITS ARE ISSUED.



**To Request a Line Locate Dial 811**

New Mexico state law requires everyone involved in any excavation to provide at least two working days' notice to owners of underground facilities when a dig is planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them.

Rev #	Date	Description	By	Ckd
0	2/15/24	SITE PLAN SUBMITTAL	DIF MJ	
1	3/8/24	CIVIL CHECK SET	DIF MJ	
2	3/25/24	CITY OF ALBUQUERQUE INITIAL SUBMITTAL	DIF MJ	
3	3/13/24	CITY OF ALBUQUERQUE AND SUBMITTAL	DIF MJ	
4	11/16/24	CITY OF ALBUQUERQUE 3RD SUBMITTAL	DIF MJ	

**SMA**  
Engineering • Environmental • Geomatics  
Serving the Southwest & Rocky Mountains  
3500 Sedona Hills Pkwy.  
Las Cruces, NM 88011  
Phone (575) 647-0799 Fax (575) 647-0680  
[www.soudermiller.com](http://www.soudermiller.com)

POPEYES LOUISIANA KITCHEN

---

POPEYES COMMERCIAL SITE - 840 JUAN TABO BLVD. NE  
ALBUQUERQUE, NEW MEXICO  
STRIPING & SIGNAGE PLAN



THIS DRAWING IS INCOMPLETE  
AND NOT TO BE USED FOR  
CONSTRUCTION UNLESS IT IS  
STAMPED, SIGNED AND DATED

Designed MJ	Drawn DIF	Checked MJ
----------------	--------------	---------------

Date: November 2024

Scale: Horiz: AS SHOWN  
Vert:

Project No: 9432731

Sheet: C700



## LEGEND

\_\_\_\_\_ PROPERTY LINE

— — — — EASEMENT LINE



PROPOSED 4000 PSI CONCRETE PAVEMENT

PROPOSED LANDSCAPE AREA

	PROPOSED ASPHALT PAVEMENT
--	---------------------------

— — — — A.D.A. ROUTE - NOT TO EXCEED A RUNNING SLOPE  
GREATER THAN 5% OR CROSS SLOPE GREATER  
THAN 2%.

A.D.A. AREAS - NOT TO EXCEED A SLOPE GREATER THAN 2% IN ANY DIRECTION.

 (  ADA LANDING (5' x 5' MIN.)

22 FLOW LINE LOCATION POINTS (AT PC AND ADA AREAS)

(  CLEAR SIGHT TRIANGLE (CST)

## SITE DATA

PROPOSED LAND USE: FAST FOOD RESTAURANT

LOT AREA: 32,745.99 SF

BUILDING AREA: 2,550.37 SF

ASPHALT AREA: 20,996.34 SF

CONCRETE AREA: 4,233.19 SF

LANDSCAPED AREA: 4,966.09 SF

PARKING REQUIRED. 14 SPACES

17 DIAGONAL PARKING SPACES

HC PARKING REQUIRED: 2 SPACES

HC PARKING PROVIDED: 1 REGULAR ADA PARKING SPACE, 1 VAN ACCESSIBLE PARKING SPACE

BICYCLE PARKING REQUIRED:

BICYCLE PARKING PROVIDED:

MOTORCYCLE PARKING REQUIRED:

MOTORCYCLE PARKING PROVIDED: 2

LEGAL DESCRIPTION (PER TITLE DOCS.):

TRACT LETTERED "C-1" IN BLOCK NUMBERED ONE HUNDRED TWENTY-FIVE (125) OF PRINCESS JEANNE PARK ADDITION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED, "A REPLAT OF TRACTS "A" & "B", BLOCK 125 OF PRINCESS JEANNE PARK ADDITION, NOW COMPRISING TRACTS "A-1", "B-1" & "C-1" WITHIN SEC. 22, T. 10, N. 4 E., N.M.P.M., ALBUQUERQUE, NEW MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY NEW MEXICO ON JULY 25, 1985 IN PLAT BOOK C27, PAGE 182.

TOGETHER WITH NON-EXCLUSIVE RIGHTS OF EASEMENT FOR INGRESS AND EGRESS FROM THE LAND ACROSS THE THIRTY (30') FOOT ACCESS EASEMENT AND THE FORTY-THREE (43') FOOT ACCESS EASEMENT, AS SET FORTH ON THE PLAT RECORDED JULY 25, 1985 IN PLAT BOOK C27, PAGE 182, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, TO THE EXTENT OF AND ONLY FOR THE DURATION AS PROVIDED FOR THEREIN.

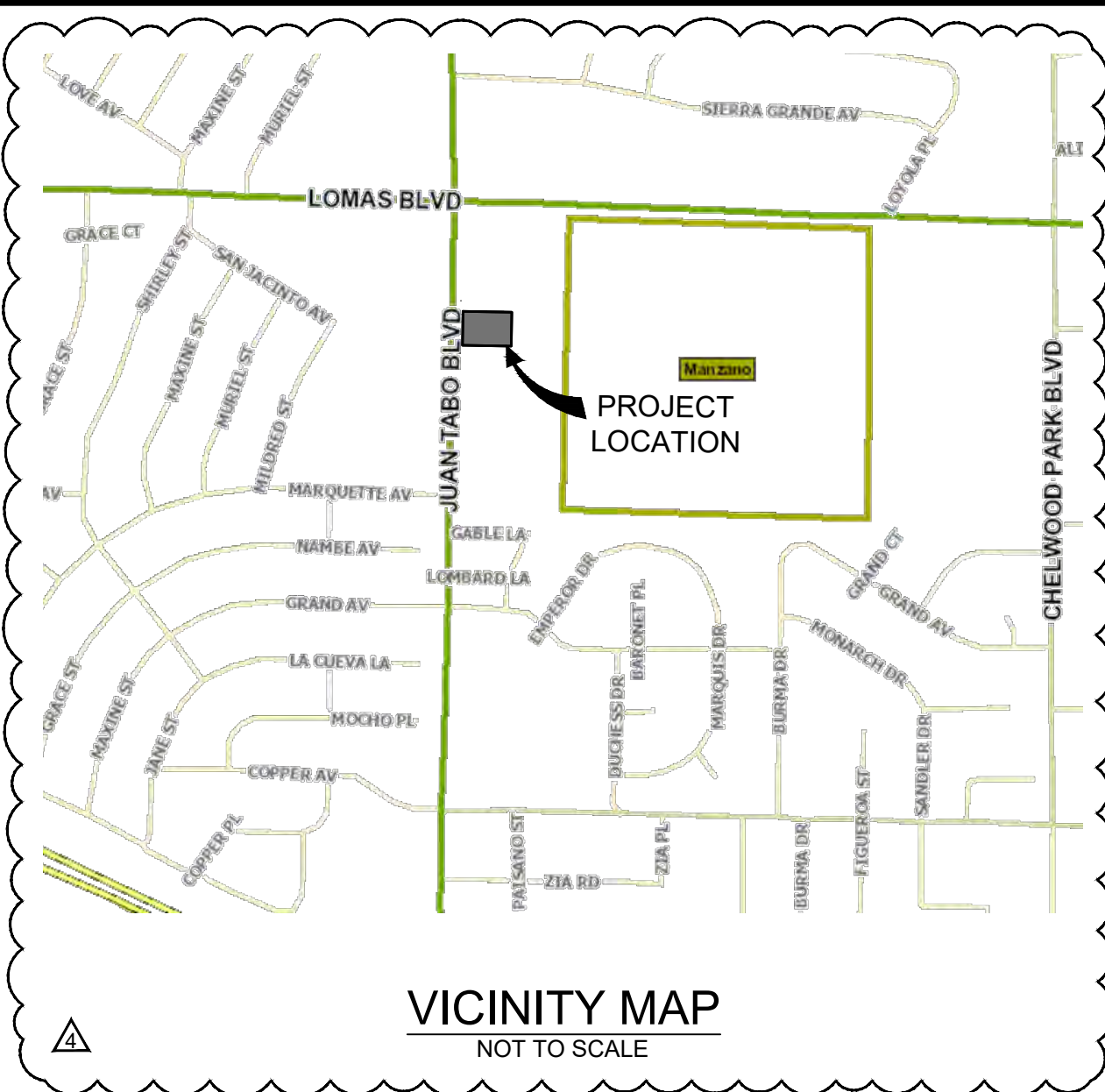
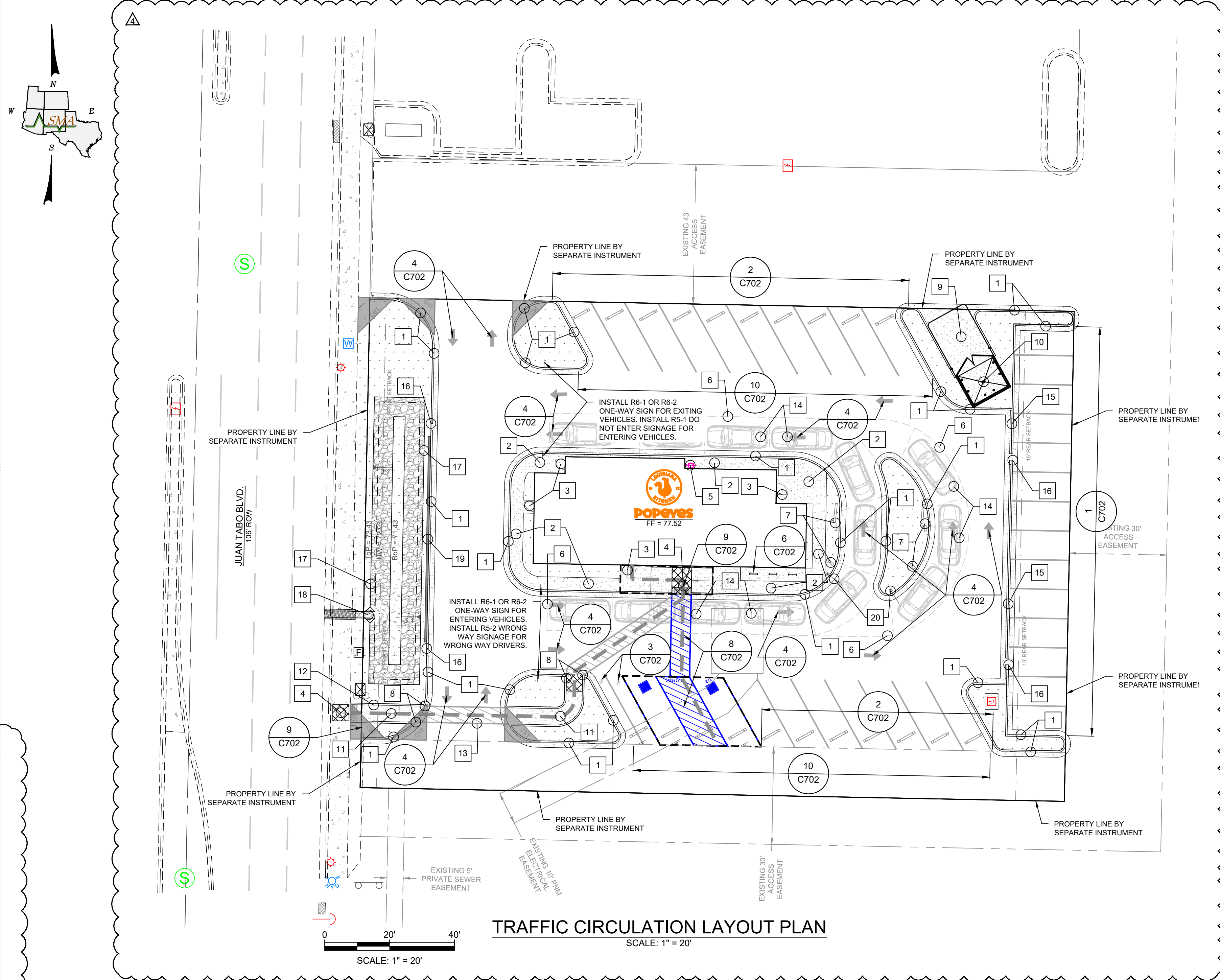
TOGETHER WITH RIGHTS FOR THE PRIVATE SEWER LINE AS SET FORTH IN THE GRANT OF SEWER EASEMENT, EASEMENT FOR SEWER SERVICE EXTENSION RECORDED JANUARY 17, 1986 IN BOOK MISC. 312-A. PAGE 869 AS DOCUMENT NO. 86-5119, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, TO THE EXTENT OR AND ONLY FOR THE DURATION AS PROVIDED FOR THEREIN.

## KEYED NOTES

- |    |   |
|----|---|
| 1  | CURB AND GUTTER (TYP.)  |
| 2  | CONCRETE WALKWAY  |
| 3  | EXTERIOR DOOR   |
| 4  | ADA RAMP W/ TRUNCATED DOMES SEE COA DETAIL 2446, SHEET C702   |
| 5  | GAS METER   |
| 6  | STACKING LANE OUTLINE   |
| 7  | SPEAKERS AND MENU BOARDS (SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS)                              |
| 8  | CURB TRANSITION TO 0" CURB HEIGHT AT ALL LOCATIONS WHERE CURBS MEET WALKWAY                         |
| 9  | 13.33' x 18.75' CONCRETE ACCESS PAD. SEE ARCHITECTURAL PLANS FOR DETAILS.                           |
| 10 | SINGLE 6 YARD DUMPSTER ENCLOSURE W/ DRAIN PER CoABQ STANDARDS. SEE ARCHITECTURAL PLANS FOR DETAILS. |
| 11 | 5' WIDE SIDEWALK  |
| 12 | 5' WIDE SIDEWALK TIED TO EXISTING SIDEWALK  |
| 13 | 5' WIDE PAINTED CROSSWALK. SEE SHEET C700   |
| 14 | POTENTIAL STACKED CARS IN STACKING LANES  |
| 15 | DOUBLE SIDED CURB AND GUTTER  |
| 16 | 2' WIDE CURB CUT  |
| 17 | PROPOSED STORMWATER QUALITY POND  |
| 18 | BROAD CRESTED WEIR  |
| 19 | RETAINING WALL  |
| 20 | CLEARANCE BARS (SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS)  |

## GENERAL NOTES:

1. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLE (CST) REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
2. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW SIDEWALK, CURB, AND GUTTER.



Rev #	Date	Description	By	Chkd
0	2/15/24	SITE PLAN SUBMITTAL	DIF	MJ
1	3/8/24	CIVIL CHECK SET	DIF	MJ
2	3/25/24	CITY OF ALBUQUERQUE INITIAL SUBMITTAL	DIF	MJ
3	3/19/24	CITY OF ALBUQUERQUE 2ND SUBMITTAL	DIF	MJ
4	1/16/24	CITY OF ALBUQUERQUE 3RD SUBMITTAL	DIF	MJ

**SMA**  
Engineering • Environmental • Geomatics  
Serving the Southwest & Rocky Mountains  
3500 Sedona Hills Pkwy.  
Las Cruces, NM 88011  
Phone: (575) 647-0759 Fax: (575) 647-0680  
[www.soudermiller.com](http://www.soudermiller.com)

POPEYES LOUISIANA KITCHEN ALBUQUERQUE, NEW MEXICO

---

POPEYES COMMERCIAL SITE -- 840 JUAN TABO BLVD. NE  
ALBUQUERQUE, NEW MEXICO

TRAFFIC CIRCULATION LAYOUT PLAN

THIS DRAWING IS INCOMPLETE  
AND NOT TO BE USED FOR  
CONSTRUCTION UNLESS IT IS  
STAMPED, SIGNED AND DATED

Designed MJ	Drawn DIF	Checked MJ
Date: November 2024		
Scale: Horiz: AS SHOWN Vert:		
Project No: 9432731		
Sheet: C701		

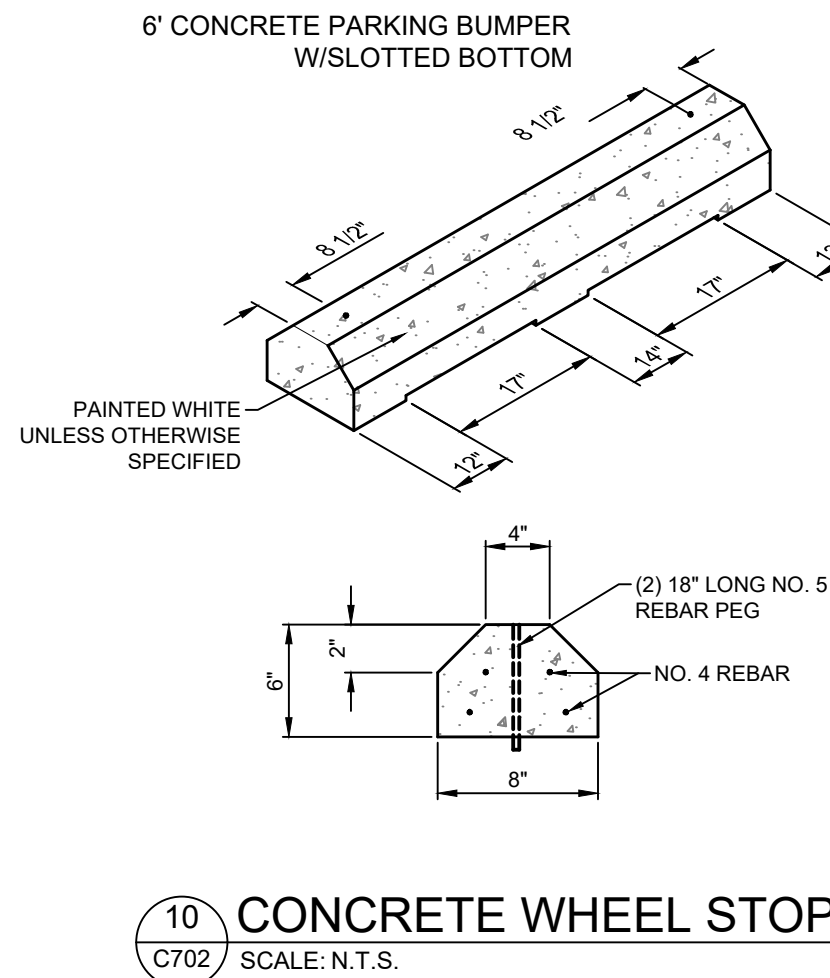
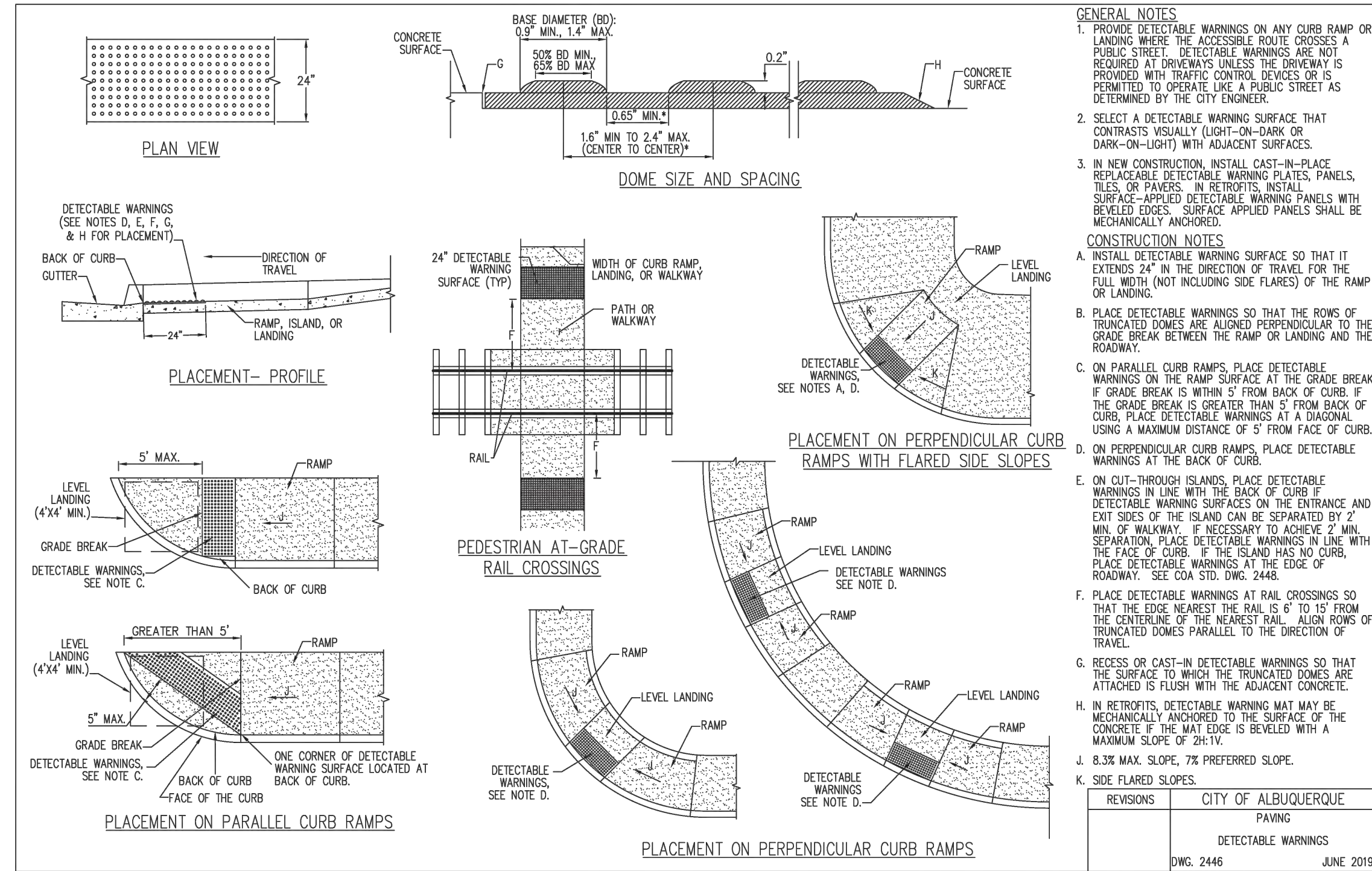
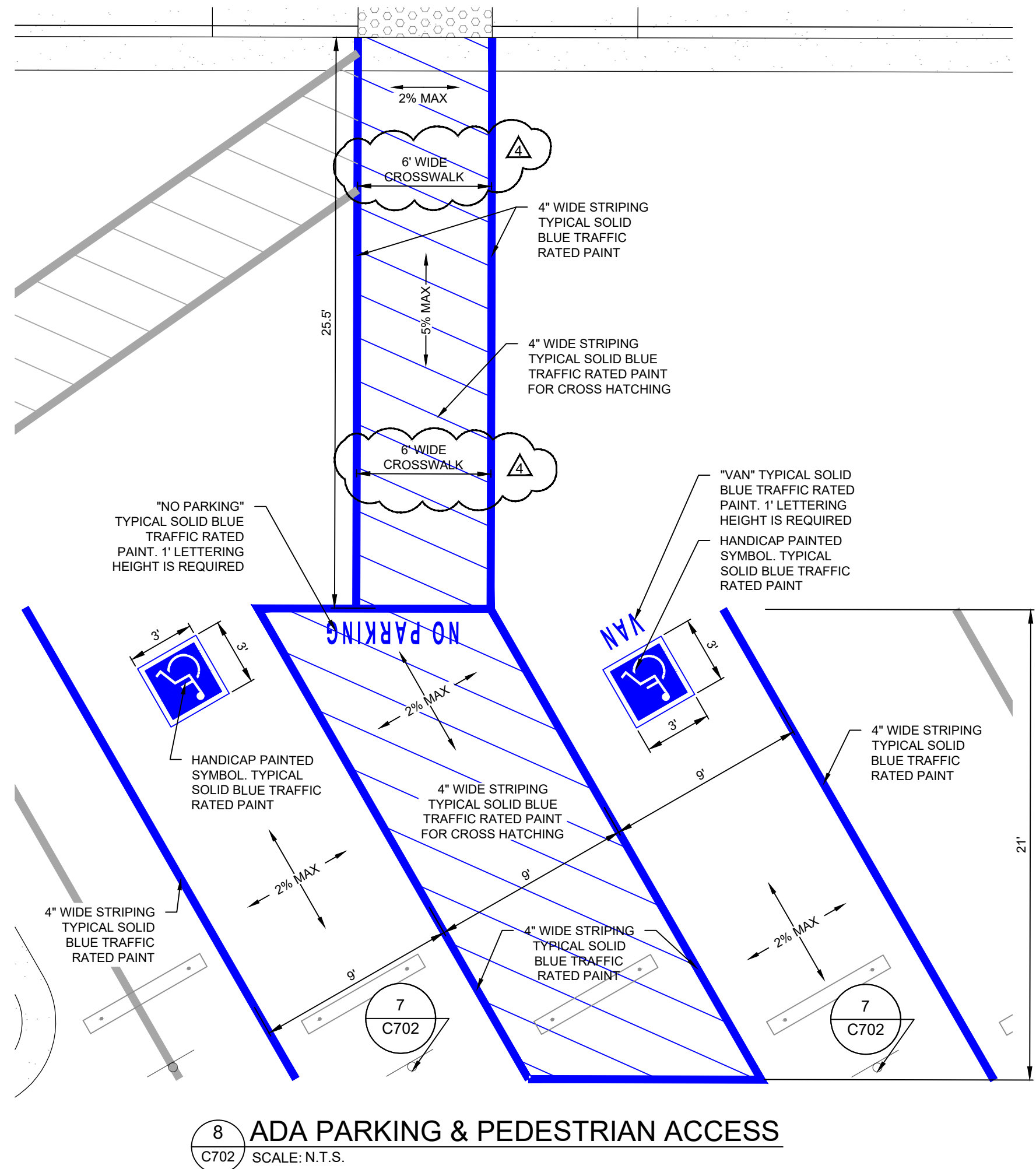
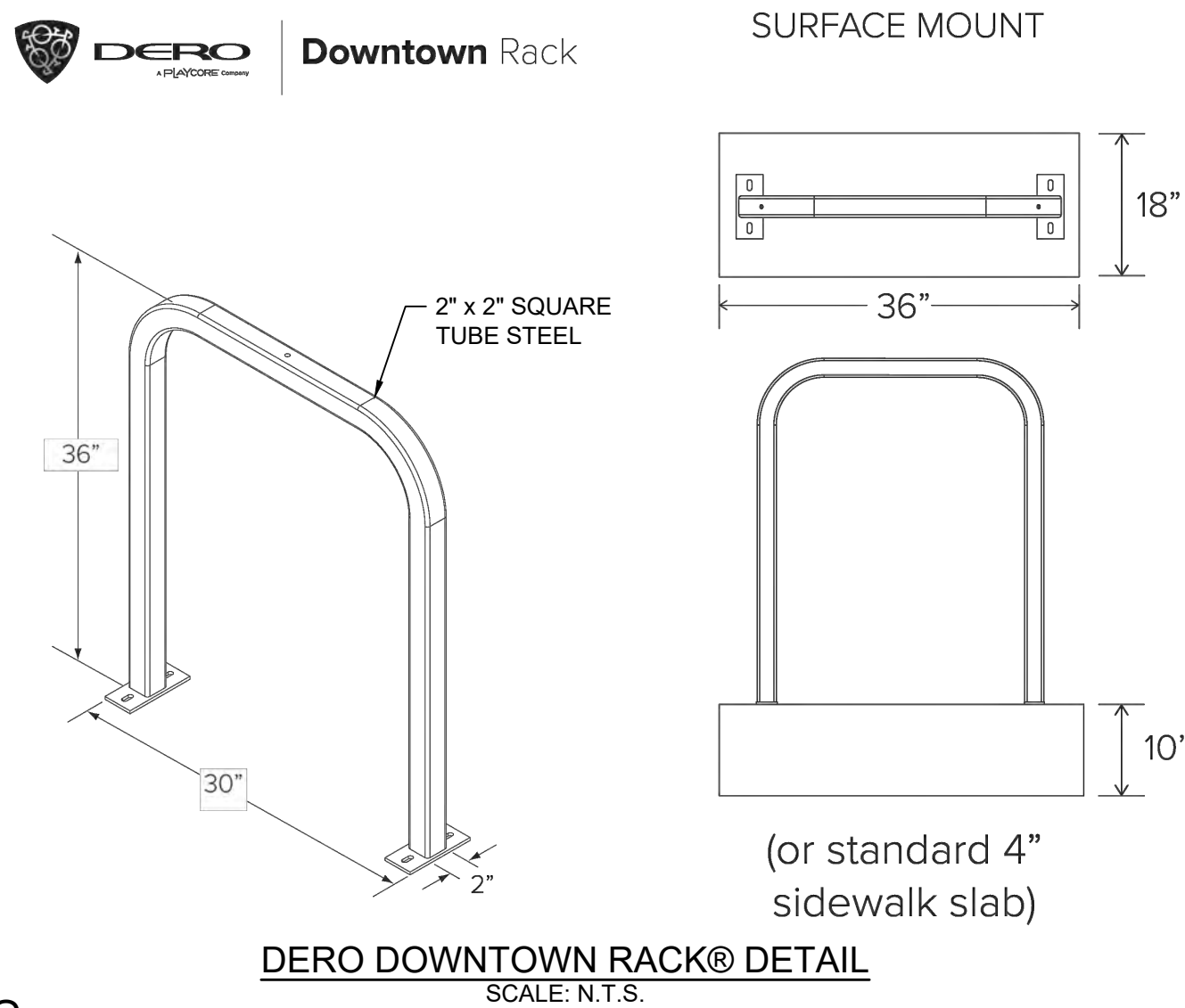
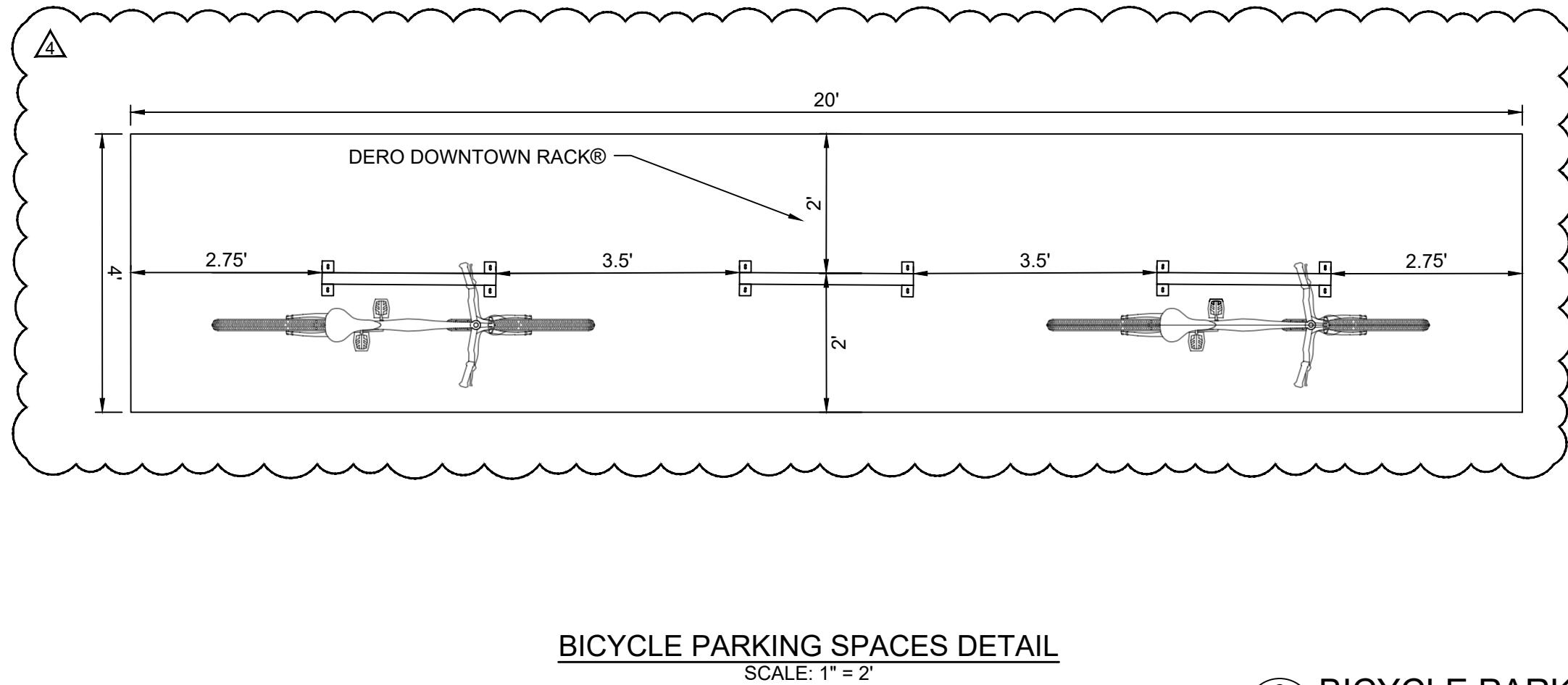
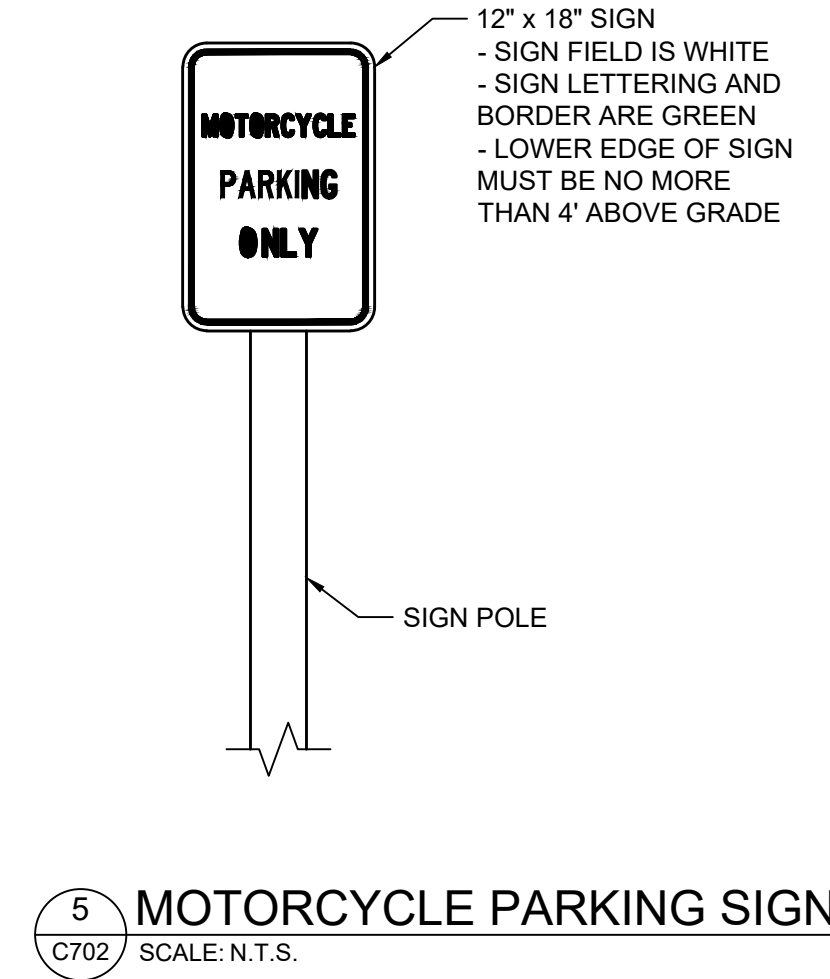
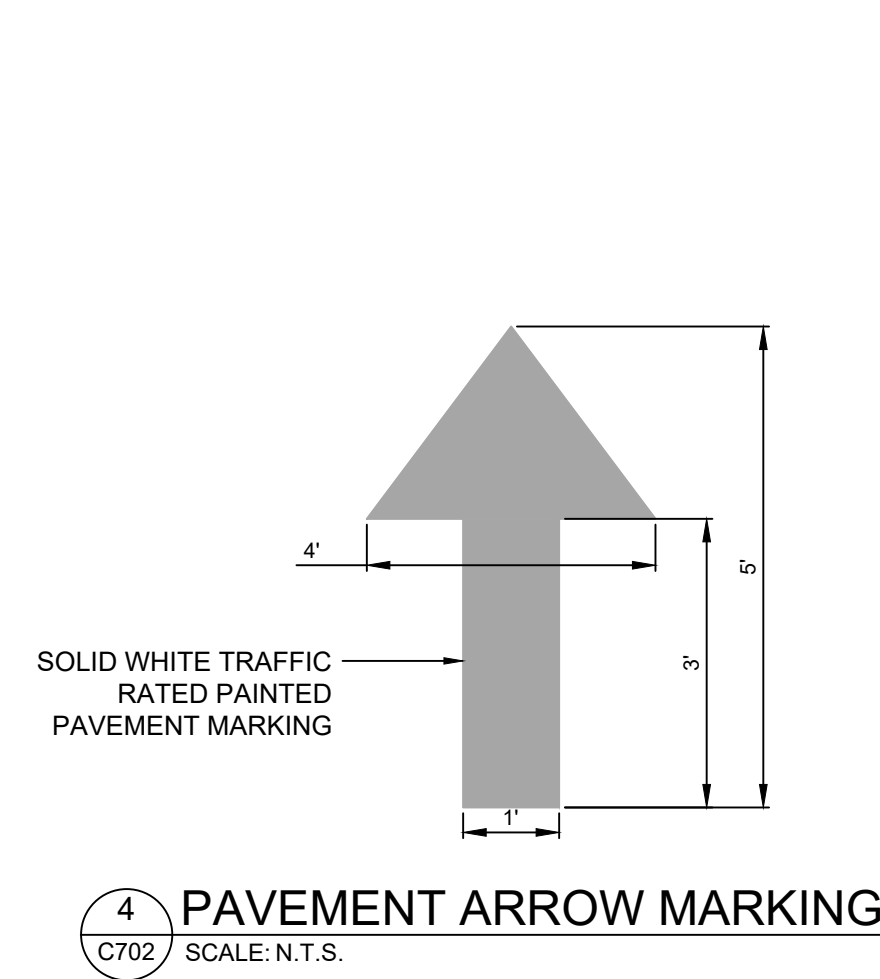
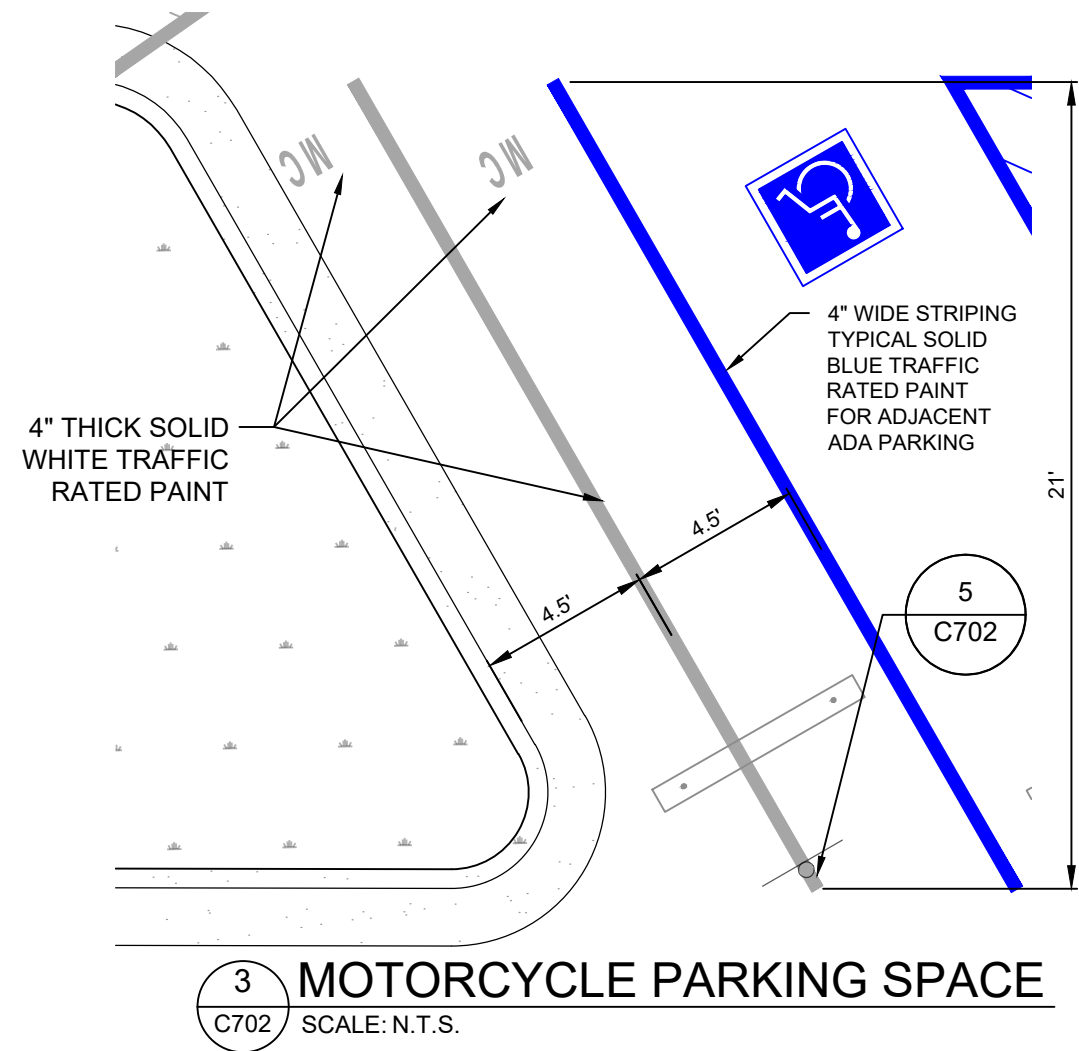
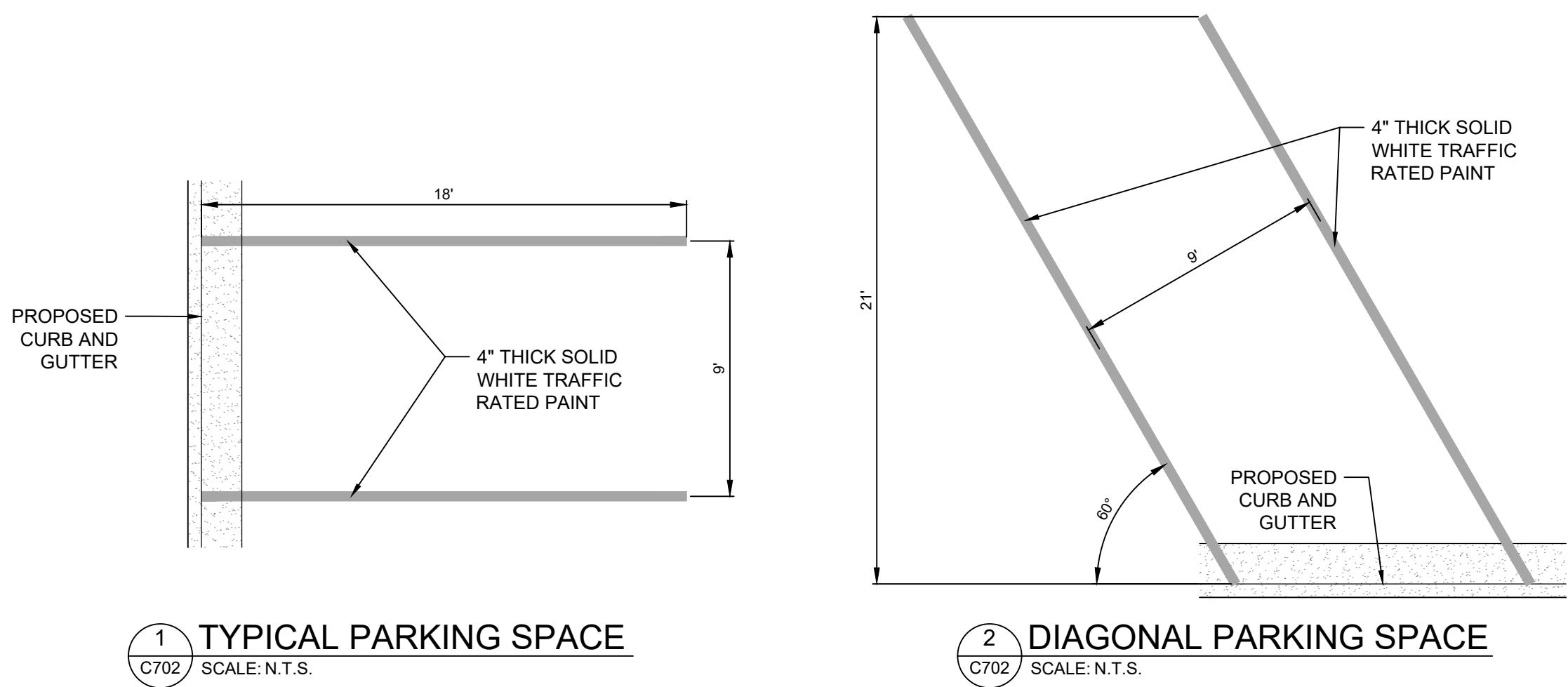
NOTE: THESE DRAWINGS ARE TO BE USED TO ACQUIRE PERMITS FROM JURISDICTIONAL GOVERNMENTAL AGENCIES AND ARE NOT TO BE RELIED UPON FOR PROJECT BIDDING PURPOSES OR FOR CONSTRUCTION UNTIL APPLICABLE CONSTRUCTION PERMITS ARE ISSUED.



**To Request a Line Locate Dial 811**

New Mexico state law requires everyone involved in any excavation to provide at least two working days' notice to owners of underground facilities when a dig is planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them.





NOTE: THESE DRAWINGS ARE TO BE USED TO ACQUIRE PERMITS FROM JURISDICTIONAL GOVERNMENTAL AGENCIES AND ARE NOT TO BE RELIED UPON FOR PROJECT BIDDING PURPOSES OR FOR CONSTRUCTION UNTIL APPLICABLE CONSTRUCTION PERMITS ARE ISSUED.



To Request a Line Locate Dial 811  
New Mexico state law requires everyone involved in any excavation to provide at least two working days' notice to owners of underground facilities when a dig is planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them.

Rev #	Date	Description	By	CRK
0	2/15/24	SITE PLAN SUBMITTAL	DIF	NJ
1	3/8/24	CIVIL CHECK SET	DIF	NJ
2	3/25/24	CITY OF ALBUQUERQUE INITIAL SUBMITTAL	DIF	NJ
3	9/15/24	CITY OF ALBUQUERQUE 2ND SUBMITTAL	DIF	NJ
4	11/6/24	CITY OF ALBUQUERQUE 3RD SUBMITTAL	DIF	NJ

SOUDER, MILLER & ASSOCIATES	ALBUQUERQUE, NEW MEXICO
Engineering • Environmental • Geomatics	POPEYES COMMERCIAL SITE - 840 JUAN TABO BLVD. NE
Serving the Southwest & Rocky Mountains	ALBUQUERQUE, NEW MEXICO
3500 Sedona Hills Pkwy.	STRIPING, SIGNAGE, & TRAFFIC CIRCULATION DETAILS
Las Cruces, NM 88011	
Phone (575) 647-0799 Fax (575) 647-0680	
www.soudermiller.com	

DESIGNED	DRAWN	CHECKED
MJ	DIF	MJ

DATE	NOVEMBER 2024
SCALE	HORIZ: AS SHOWN
VERT:	

PROJECT NO.	9432731
SHEET	C702

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

11/6/24

NEW MEXICO  
REGISTERED PROFESSIONAL ENGINEER  
MICHEL D. JOHNSON  
11162