

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

December 17, 2021

Joe Simons, RA  
Simons Architecture, PC  
PO Box 67408  
Albuquerque NM 87193

**Re: Burger King- Juan Tabo  
880 Juan Tabo NE  
Traffic Circulation Layout  
Architect's Stamp 11-23-20 (K22-D035B)**

Dear Mr. Simons,

The TCL submittal received 12-17-2021 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Prior to issuing a Certificate of Occupancy, a sidewalk easement shall be required for the drivepad construction off of Juan Tabo Boulevard.**

PO Box 1293

Albuquerque

NM 87103

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

*Jeanne Wolfenbarger*  
Jeanne Wolfenbarger, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\xxx via: email  
C: CO Clerk, File

# CITY OF ALBUQUERQUE

*Planning Department*  
Brennon Williams, Director

*Mayor Timothy M. Keller*



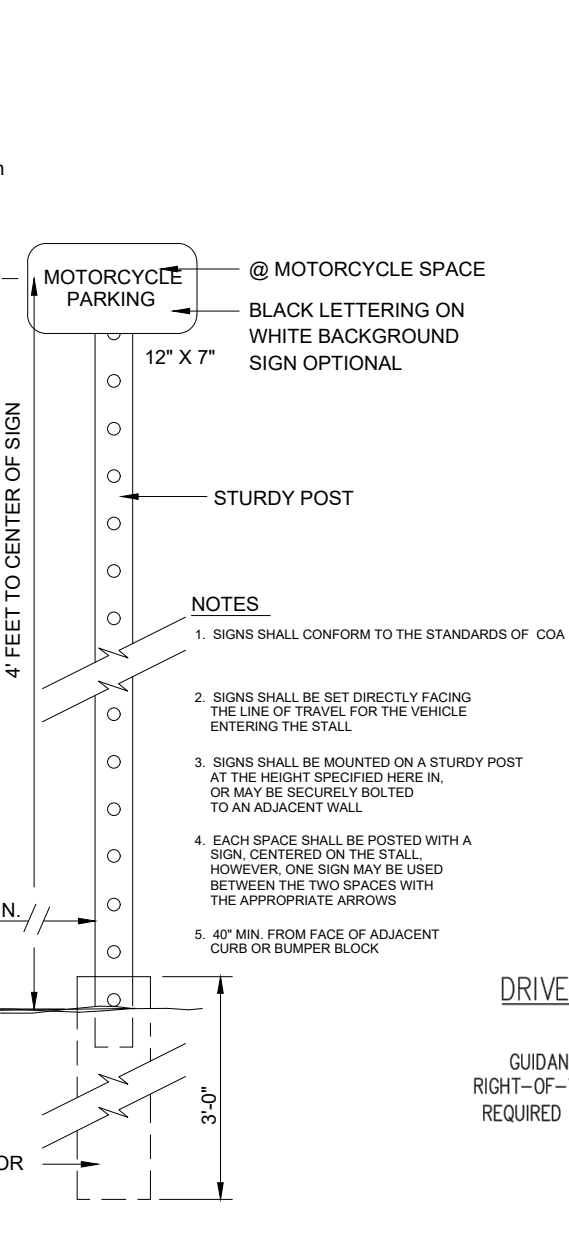
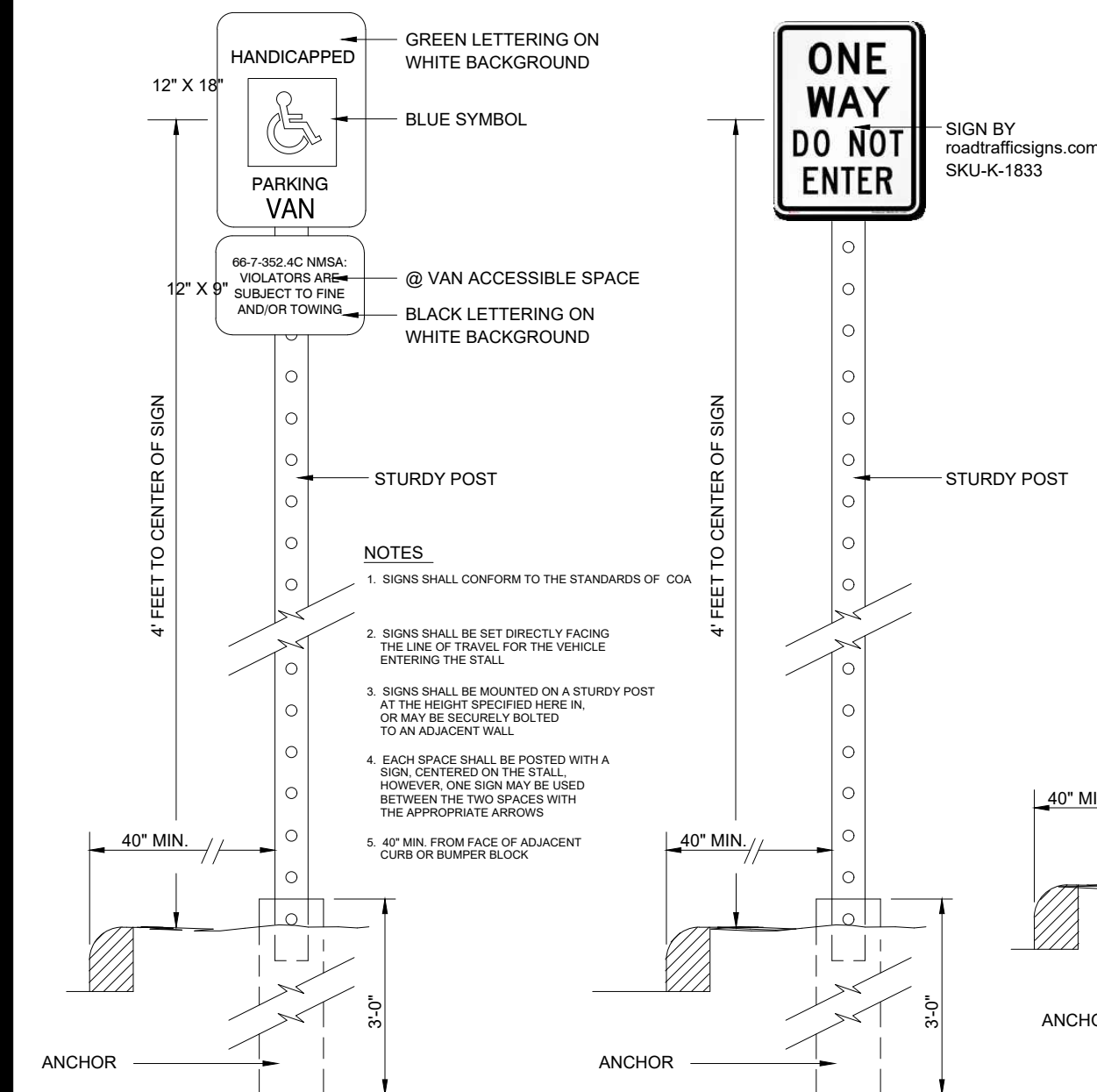
PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)





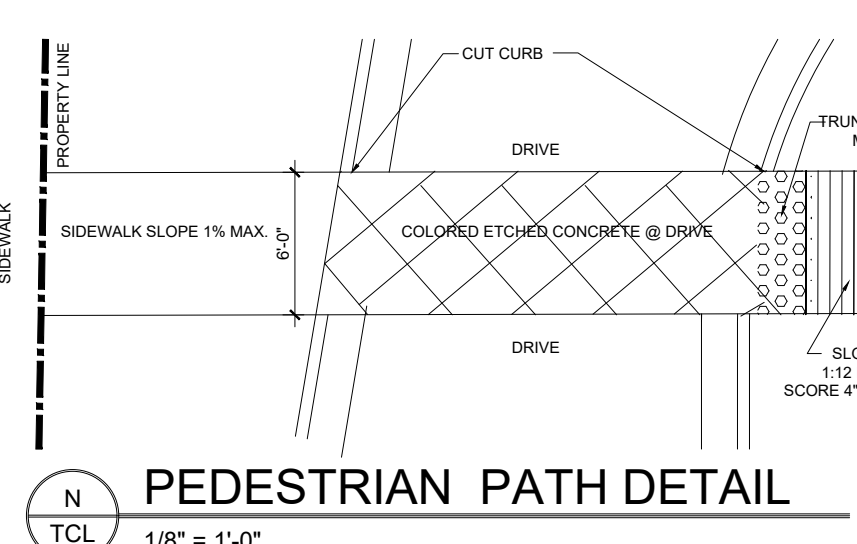
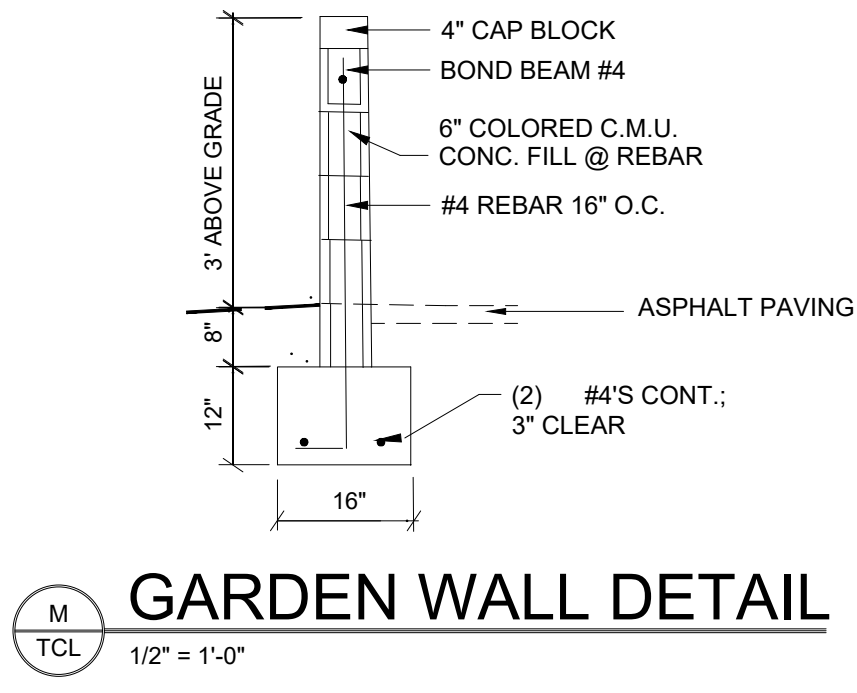
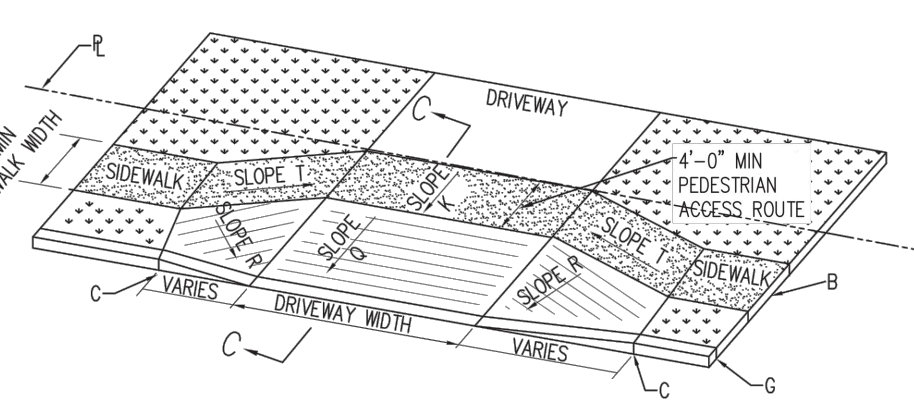
- GENERAL NOTES**  
1. SEE COA STANDARD DRAWING 2425A FOR DRIVEWAY SECTIONS.  
2. ENGINEER SHALL PROVIDE ADDITIONAL DETAIL AND DESIGN FOR SITE SPECIFIC CONDITIONS AS NEEDED.  
3. SEE DRAWING 2446 FOR DETECTABLE WARNING SURFACE STANDARDS.
- CONSTRUCTION NOTES**  
A. SIDEWALK ADJACENT TO CURB.  
B. OFFSET SIDEWALK.  
C. 1/2" EXPANSION JOINT ADJACENT TO EXISTING CONCRETE OR STRUCTURES ON REPLACEMENT WORK.  
D. NOT USED  
E. SLOPE TO BE ADJUSTED TO PROVIDE A UNIFORM TRANSITION BETWEEN SIDEWALK AND DRIVEPAD (NOT TO EXCEED 8.3%, 7% PREFERRED SLOPE).  
F. TOP OF DRIVEPAD.  
G. TOP OF CURB.  
H. PROPERTY LINE/RIGHT-OF-WAY LINE.

- J. 5" MIN SIDEWALK WIDTH.  
K. SLOPE 2% MAX. 1.5% PREFERRED SLOPE.  
L. NOT USED  
M. NOT USED  
N. EXPOSED CUT EDGES SHALL BE GROUND SMOOTH/ROUNDED TO REMOVE SHARP EDGE.  
O. POUTSIDE EDGE OF SIDEWALK.  
P. SLOPE REQUIRED TO MEET GIVEN OR SET BOUNDARY ELEVATIONS (PROPERTY LINE OR BOC. ETC.).  
R. FLARED SIDES ARE TO HAVE 10% MAXIMUM SLOPE.  
S. HEADER CURB AS REQUIRED TO MEET GRADE AT BACK OF SIDEWALK.  
T. LONGITUDINAL SLOPE TO MATCH ROADWAY WITH 8.3% MAX.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	ISOMETRIC DRIVEPAD NEWS
	DWG. 2425B
	JUNE 2019

### COA CURB DETAIL

DRIVEPAD WITH SIDEWALK AT PROPERTY LINE  
GUIDANCE: USE IN SITUATIONS WITH MORE RIGHT-OF-WAY, WHEN SIDEWALK EASEMENT IS REQUIRED AND/OR A HIGHER WATERBLOCK IS REQUIRED.



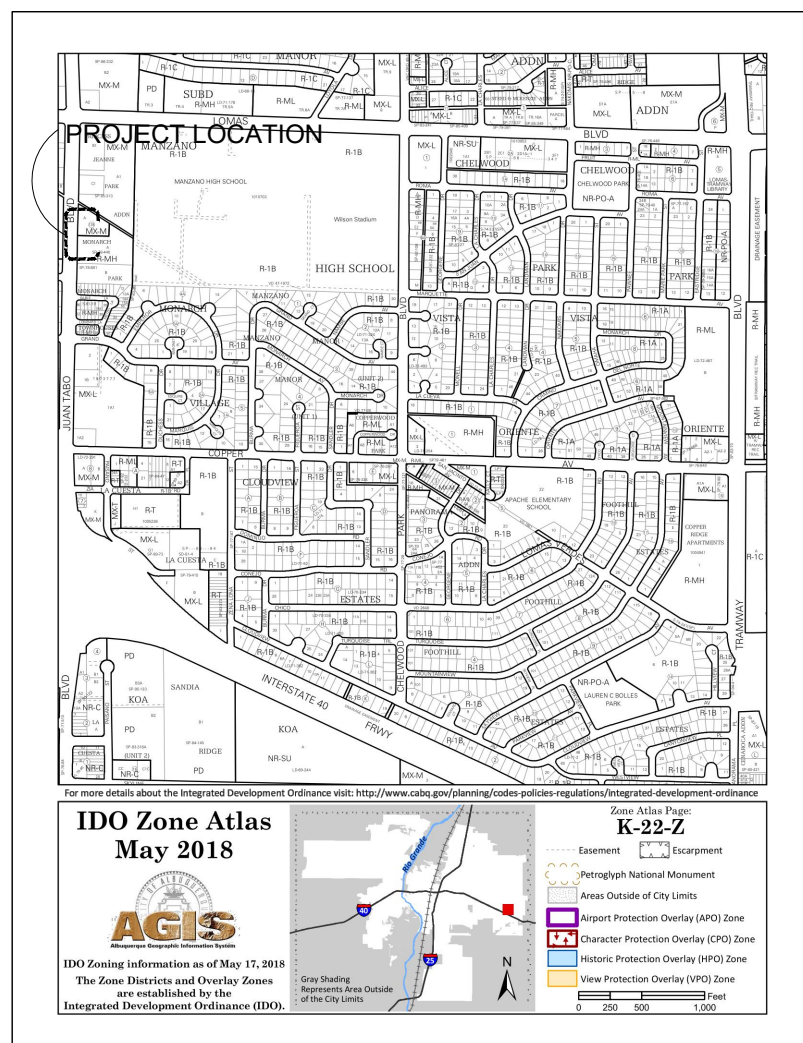
**LEGAL DESCRIPTION**  
LOT B1 PRINCESS JEANNE PARK ADDN  
ALBUQUERQUE, NEW MEXICO 87123  
BERNALILLO COUNTY

**SITE DATA**  
ZONING: MX-M (C-2)  
ZONE ATLAS: K22  
SITE SIZE: 83,973 SQ. FT. (1.9278 AC.)  
BUILDING SIZE / % OF SITE: 2,877 SQ. FT. / 3.43%

**PARKING CALCULATIONS**  
EXISTING AND NEW BUILDING  
BUILDING AREA: 2,877 S.F.  
PARKING CALCULATIONS: 8 SPACES / 1000 S.F. 23

TOTAL STANDARD PARKING PROVIDED = 46 SPACES  
TOTAL H.C. PARKING REQUIRED = 2 SPACE  
TOTAL H.C. PARKING PROVIDED = 2 SPACE  
TOTAL MOTORCYCLE SPACES REQUIRED = 2 SPACES  
TOTAL MOTORCYCLE SPACES PROVIDED = 2 SPACES  
TOTAL PARKING PROVIDED = 48 SPACES  
1 BICYCLE RACK PER 20 REQUIRED PARKING SPACES  
BIKE SPACES REQUIRED = 5 SPACES  
BIKE SPACES PROVIDED = 5 SPACES

**LANDSCAPE CALCULATIONS**  
LOT AREA: 83,973 S.F.  
BUILDING AREA: 2,877 S.F.  
NET LOT AREA: 81,096 S.F.  
LANDSCAPE AREA REQUIRED (15%): 12,164 S.F.  
GROUND COVER REQUIRED: (75% OF LANDSCAPE)  
STREET TREES: 30' O.C.  
LANDSCAPE AREA PROVIDED (17.2%): 13,981 S.F.



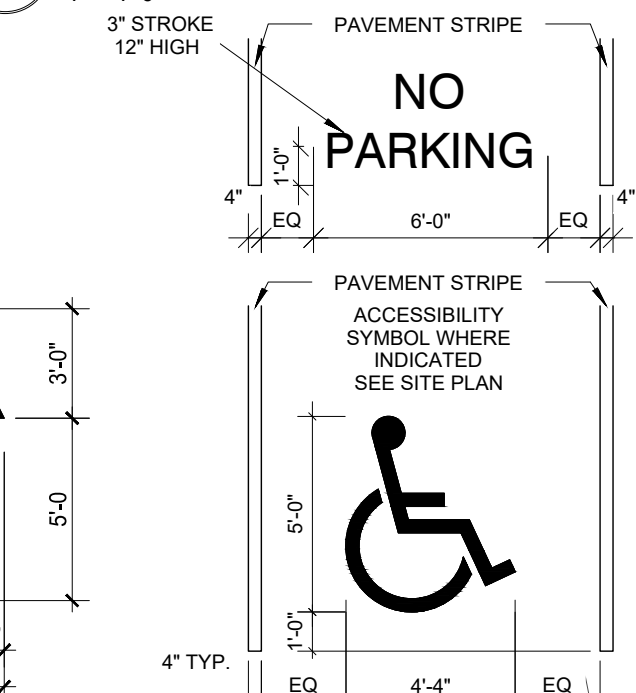
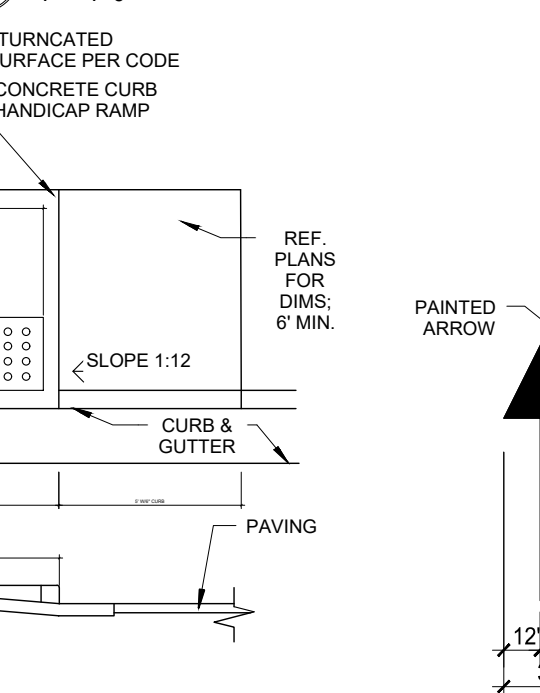
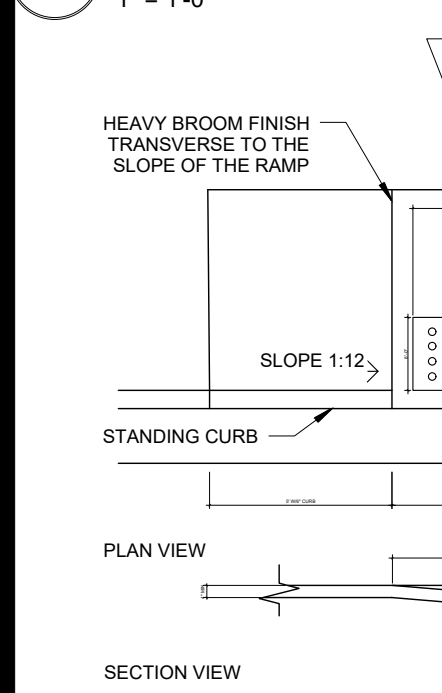
### VICINITY MAP

- KEYED NOTES**
- EXISTING MONUMENT SIGN
  - ASPHALT PAVING, REF. DETAIL
  - CURB, REF. DETAIL
  - SIDEWALK, REF. DETAIL
  - LANDSCAPE AREA, REF. SHEET A1.0
  - GARDEN WALL 3' ABOVE GRADE, REF. DETAIL OPT. FOR STEEL RAILING.
  - RAMP SLOPE 1:12 MAX.
  - ADA COMPLIANT PARKING SIGNAGE PER ANSI 502.6
  - PAINTED SYMBOL PER ANSI 703.7
  - ACCESSIBLE AISLE PER ANSI 502.3
  - PAINT 'NO PARKING' AS SHOWN
  - PATCH PAVING @ CONNECTION; FIELD VERIFY
  - EXISTING PARKING LOT STRIPING TO REMAIN, EXISTING PAVING N.I.C.
  - PREVIEW MENU
  - SPEAKER / ORDER PYLON
  - NEW CURB, GUTTER AND STRIPING
  - MAX HEIGHT PYLON
  - DUMPSTER ENCLOSURE, REF. DETAIL
  - SIGNAGE "DO NOT ENTER", REF. DETAIL, MOTORCYCLE SPACE REF. SIGN DETAIL.
  - "NO" LETTERS 3" STROKE 12" H.
  - PARKING BUMPERS @ WALL COND.
  - BICYCLE RACK REF. DETAIL THIS SHEET.
  - PEDESTRIAN ACCESS, REF. DETAIL THIS SHEET
  - REMOVE EXISTING SIGN TO BE REPLACED WITH NEW BURGER KING SIGN BY SEPARATE PERMIT. VERIFY IF NEW SIGN INFRINGES ON LOMAS ROW. IF IT DOES THEN A REVOCABLE PERMIT IS REQUIRED.

### H.C. SIGNAGE

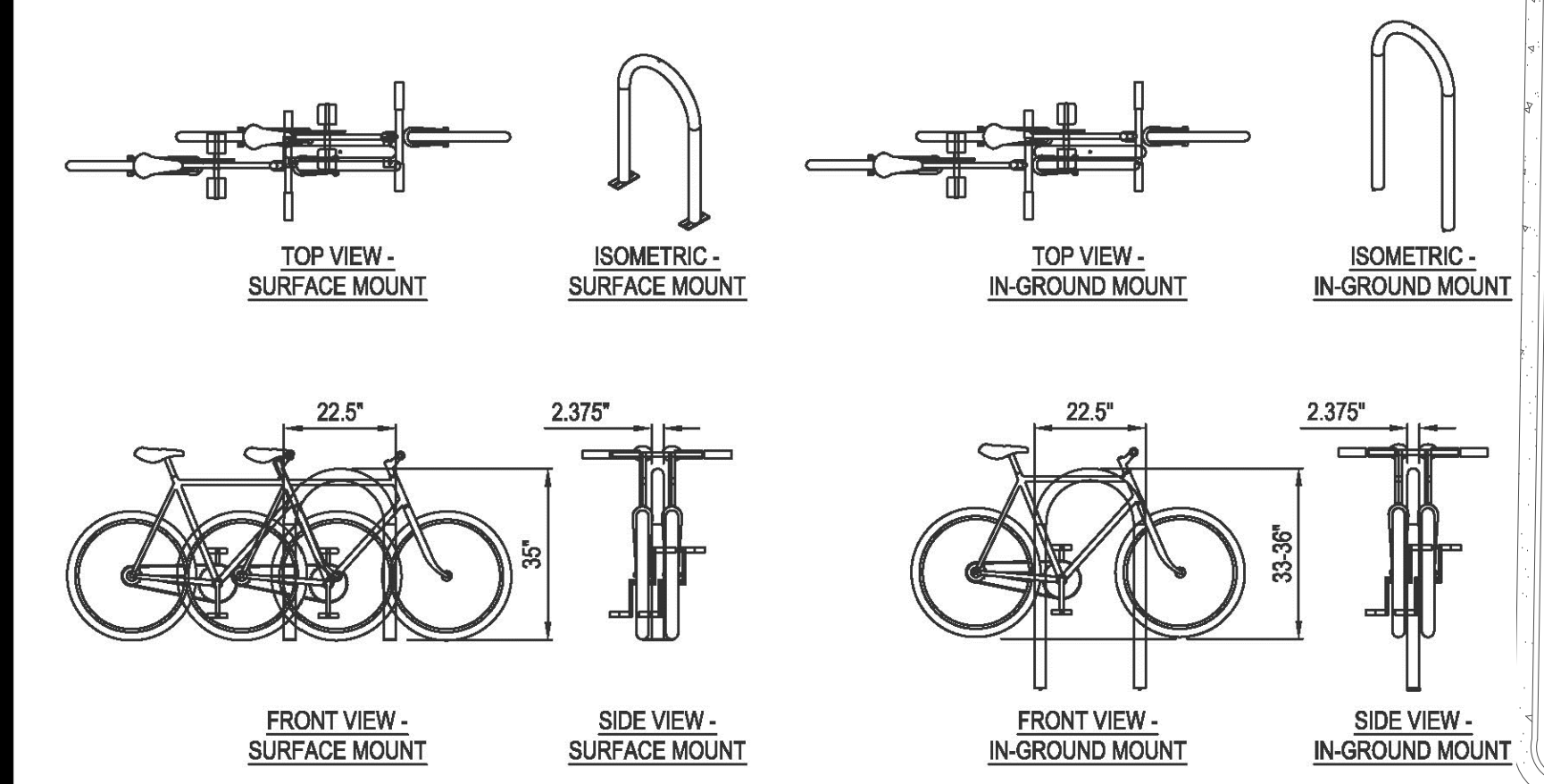
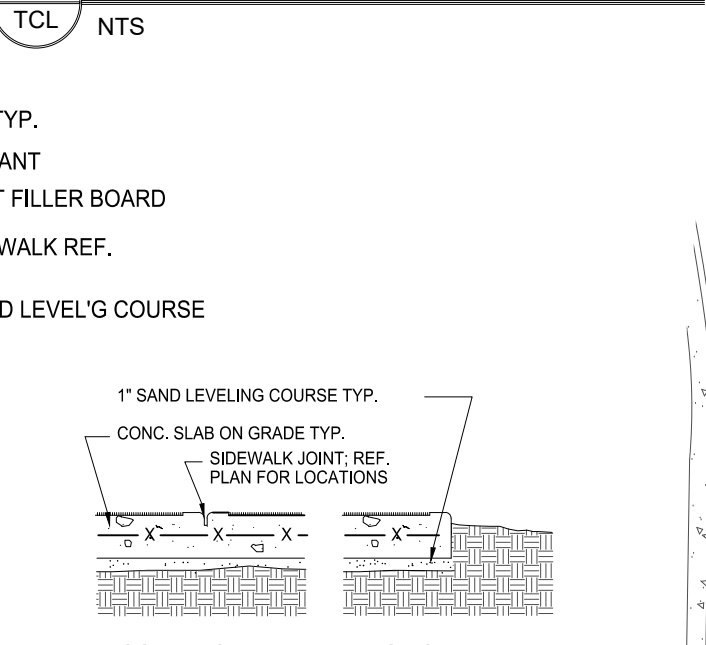
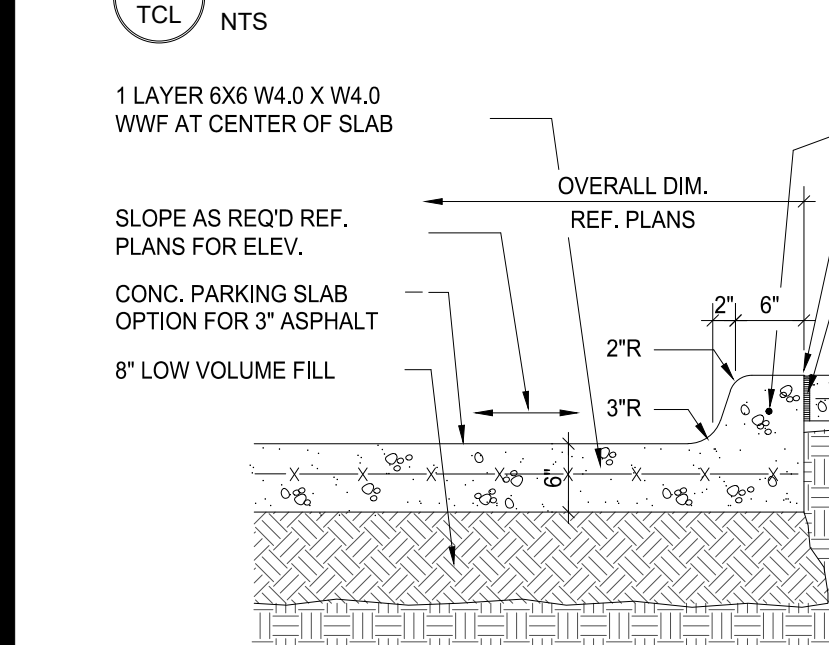
### DO NOT ENTER SIGN

### MOTORCYCLE SIGNAGE



### RAMP STANDARDS

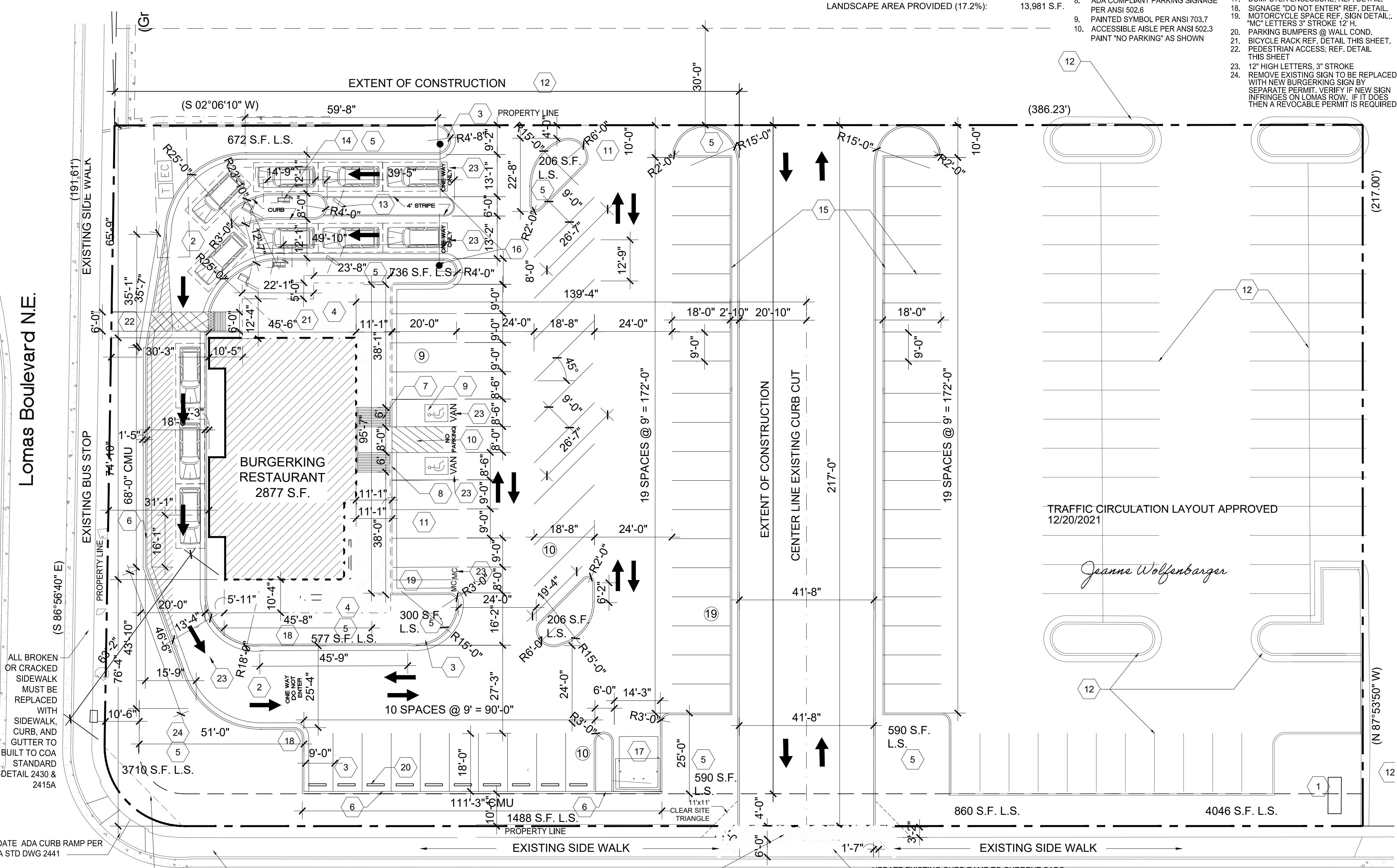
### RAMP STANDARDS



**NOTES:**  
1. PLEASE CONTACT MANUFACTURER FOR FINISHES AND COLORS.  
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
3. DO NOT SCALE DRAWING.  
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.  
5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADDdetails.com/info](http://www.CADDdetails.com/info) AND ENTER REFERENCE NUMBER 118-135.

### BIKE RACK DETAIL

### 880 Juan Tabo Boulevard N.E.



TRAFFIC CIRCULATION LAYOUT APPROVED  
12/20/2021

*Jeanne Wolfenbarger*

GRAPHIC SCALE

### TRAFFIC CIRCULATION LAYOUT

**BURGER KING**

**SIMONS ARCHITECTURE**

**BURGER KING RESTAURANT**

PROJECT # 205075  
PAVILION IMAGE: MAY 2020 DESIGN RELEASE  
880 JUAN TABO BLVD., NE  
ALBUQUERQUE, NM 87123

Joseph F. Simons, Jr.  
Architect  
11/23/2020  
REGISTERED ARCHITECT

**A1.1**