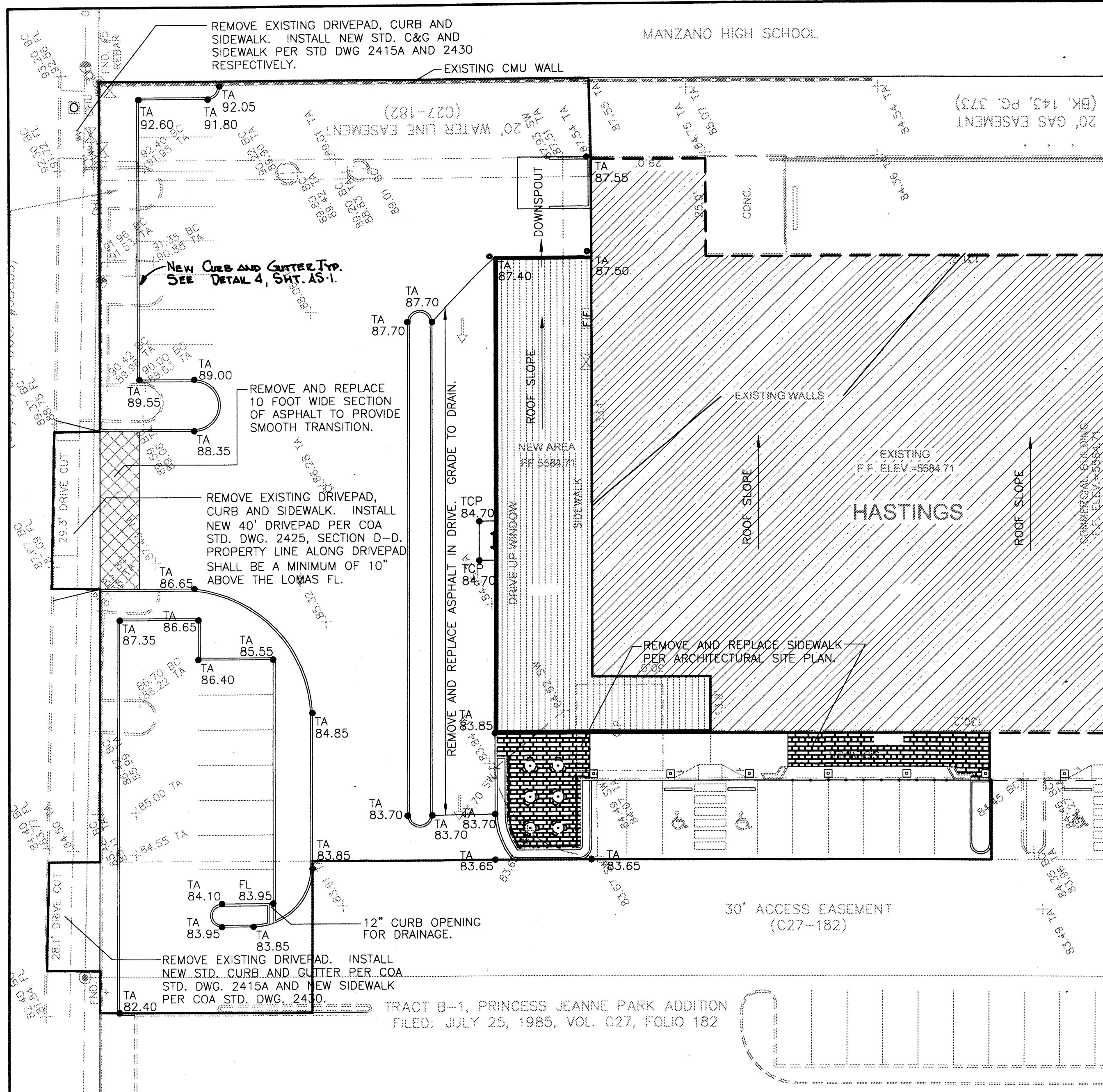




2000

0

20

40

feet

PROJECT GRADING PLAN

1"=20'

NOTE:

TOP OF CURB AND TOP OF SIDEWALK SHALL BE 6" ABOVE ADJACENT TOP OF ASPHALT UNLESS OTHERWISE SHOWN.

- EROSION CONTROL NOTES
1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FOR THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERM OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.

2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.

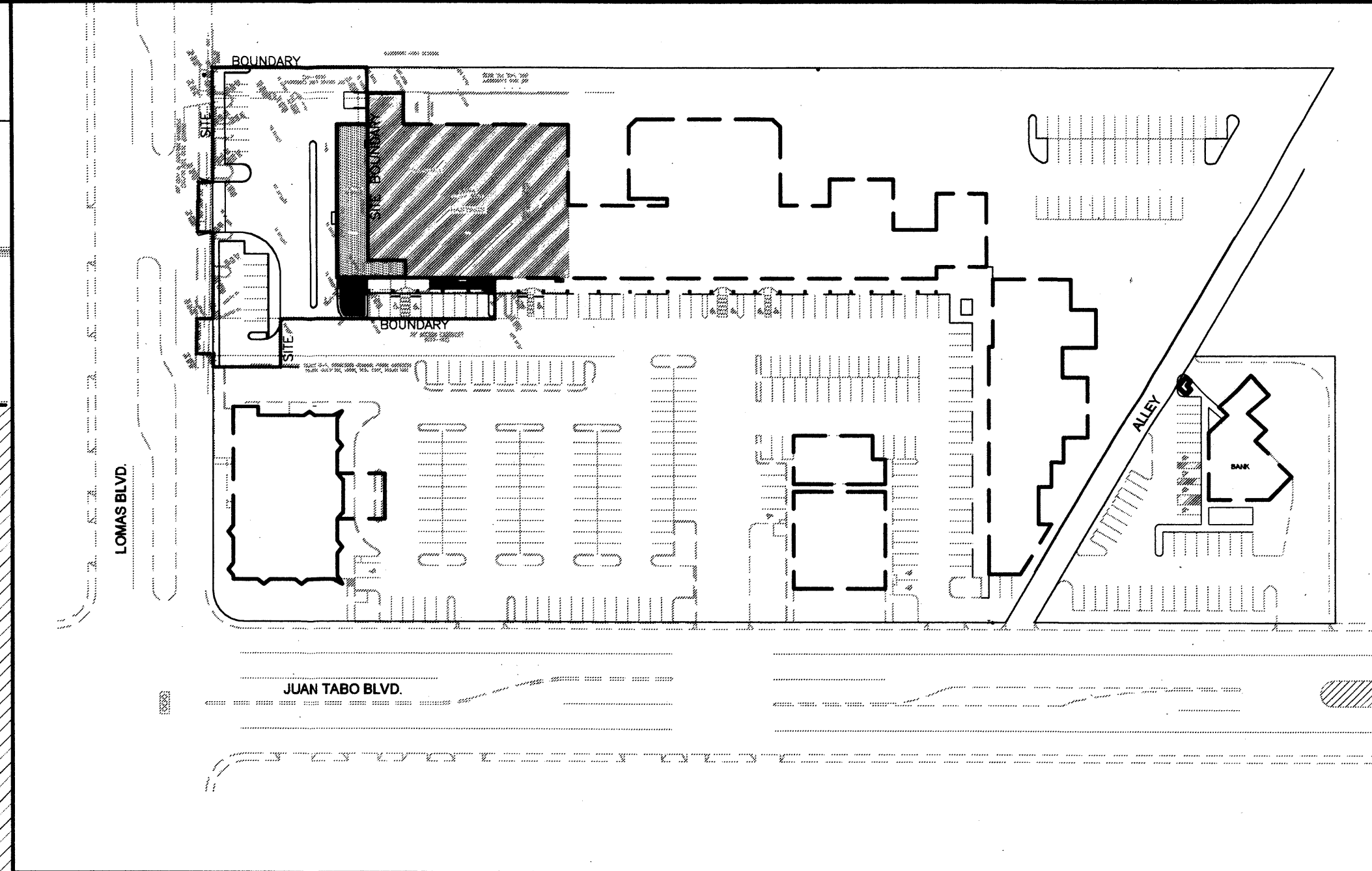
3. THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.

- GRADING NOTES
1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.

2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

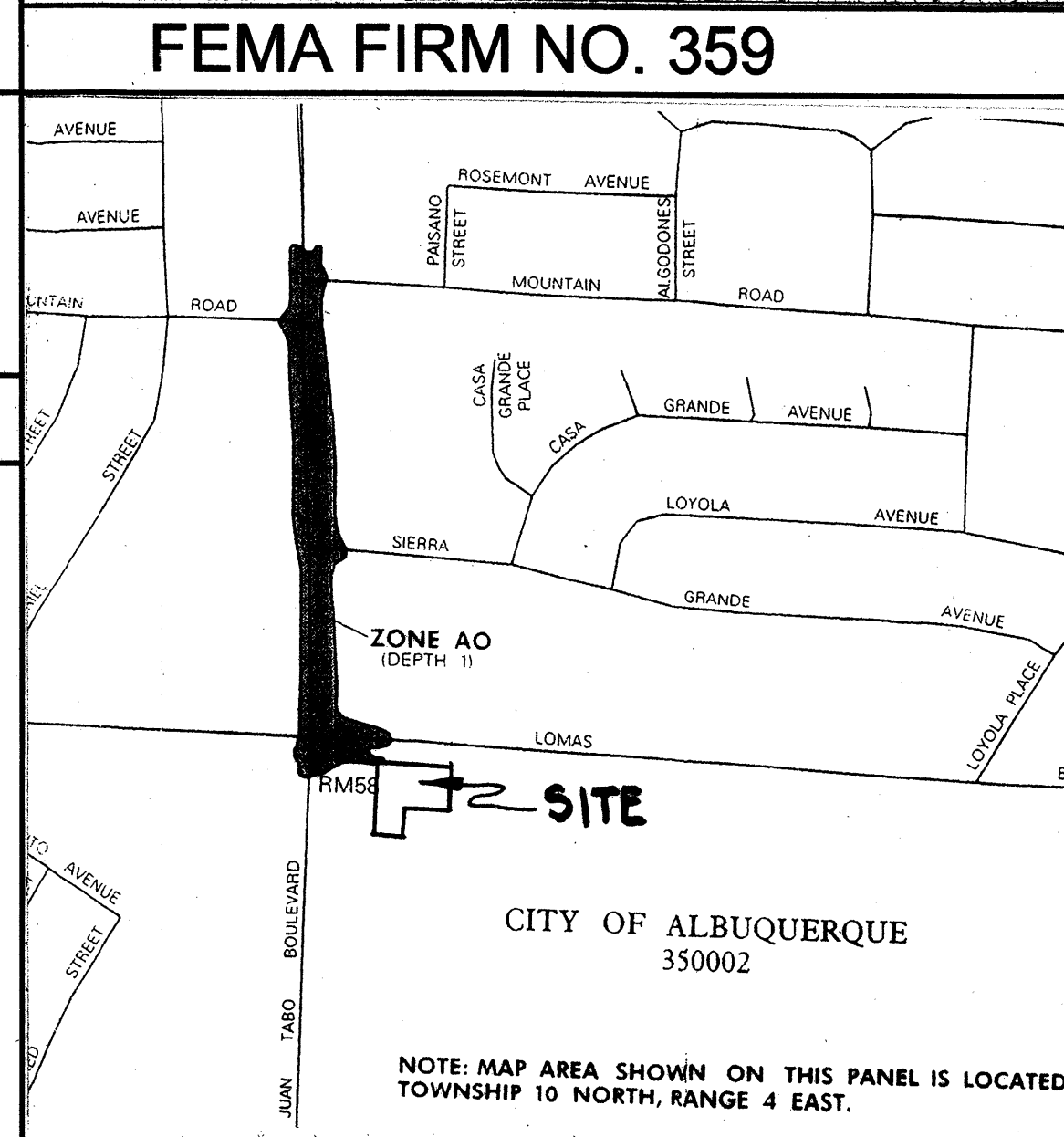
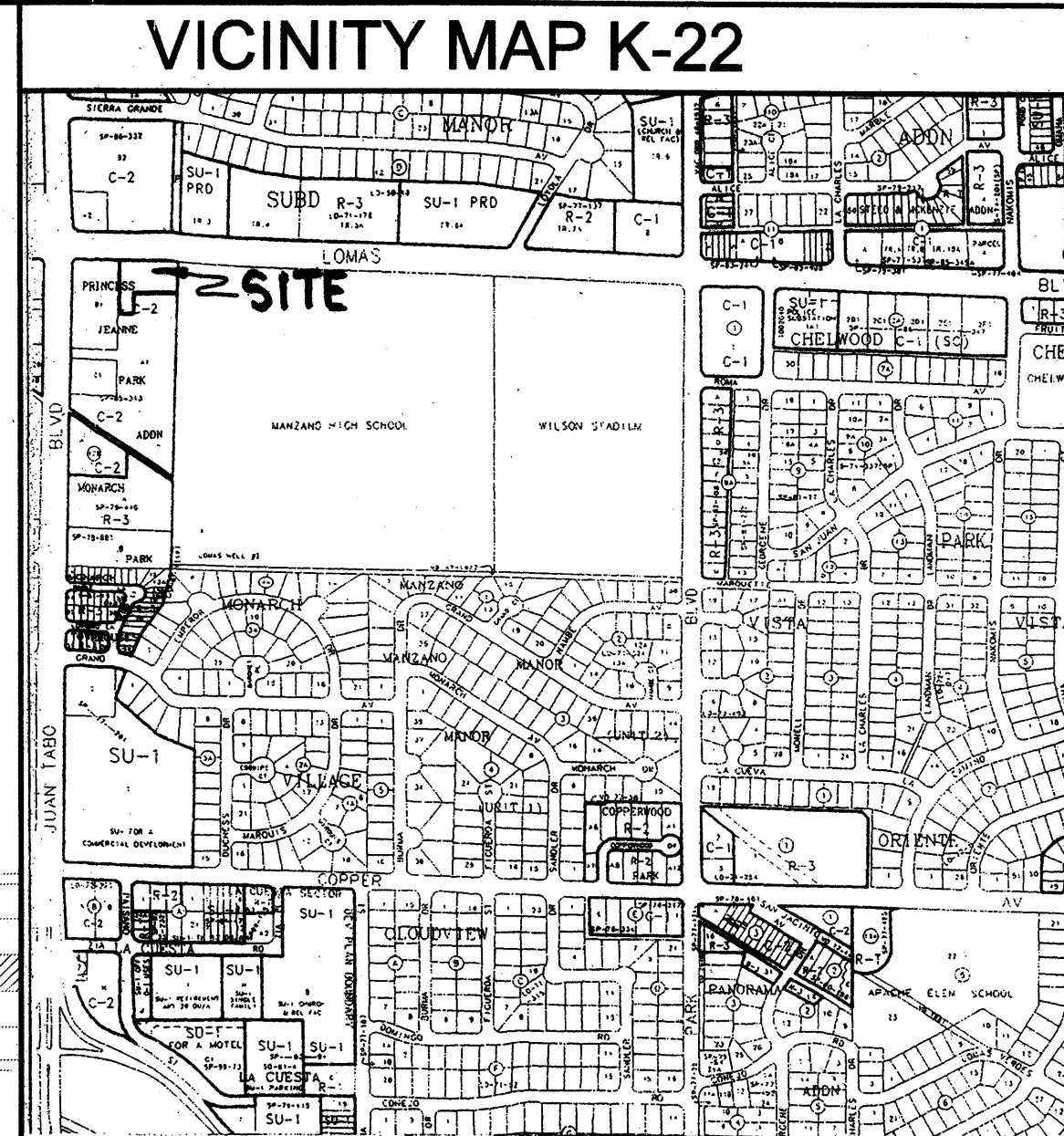


OVERALL SITE PLAN

1"=100'

DRAINAGE DATA

CONDITION	STORM RETURN PERIOD	TREATMENT TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE
	year	(table 4)	sq. ft.	in.	cfs/acre	cu. ft.	cfs
EXISTING	10	A	0	0.28	0.87	0	0.00
		B	890	0.46	1.45	34	0.03
		C	0	0.73	2.26	0	0.00
		D	30825	1.69	3.57	4341	2.53
		TOTAL	31715			4375	2.56
	100	A	0	0.80	2.20	0	0.00
		B	890	1.08	2.92	80	0.06
		C	0	1.46	3.73	0	0.00
		D	30825	2.64	5.25	6782	3.72
		TOTAL	31715			6862	3.77
DEVELOPED	10	A	0	0.28	0.87	0	0.00
		B	3520	0.46	1.45	135	0.12
		C	0	0.73	2.26	0	0.00
		D	28195	1.69	3.57	3971	2.31
		TOTAL	31715			4106	2.43
	100	A	0	0.80	2.20	0	0.00
		B	3520	1.08	2.92	317	0.24
		C	0	1.46	3.73	0	0.00
		D	28195	2.64	5.25	6203	3.40
		TOTAL	31715			6520	3.63



LEGAL DESCRIPTION

PORTION OF TRACT A-1, PRINCESS JEANNE PARK ADDITION

PERMANENT BENCHMARK

ACS MONUMENT "14-J22", ELEV. 5576.44 (NGVD 1929)

- LEGEND
- TBM

FF

FG

FL

TA

TCP

TC

TP

TS

TW

RD

XX.XX

XX.XX

XX.XX
- TEMPORARY BENCHMARK

FINISH FLOOR

FINISH GRADE

FLOWLINE

TOP OF ASPHALT

TOP OF CONCRETE

TOP OF CURB

TOP OF EARTH PAD

TOP OF SIDEWALK

TOP OF WALL

ROOF DRAINAGE POINT

EXISTING CONTOUR

PROPOSED CONTOUR

EXISTING SPOT ELEVATION

PROPOSED SPOT ELEVATION

RECORD SPOT ELEVATION
- RECEIVED

AUG 07 2006

HYDROLOGY SECTION

REVISION

DATE

BY

REV

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.

2325 SAN PEDRO NE., SUITE 2-B

ALBUQUERQUE, NEW MEXICO 87110

PHONE (505) 884-9110 FAX (505) 837-9877

www.gra-arch.com

PROJECT TITLE

HASTINGS

JUAN TABO BLVD.

ALBUQUERQUE, NM

PROJECT MANAGER

SHAWN M. ANDERSON

SHEET TITLE

GRADING & DRAINAGE PLAN

DATE

07/10/06

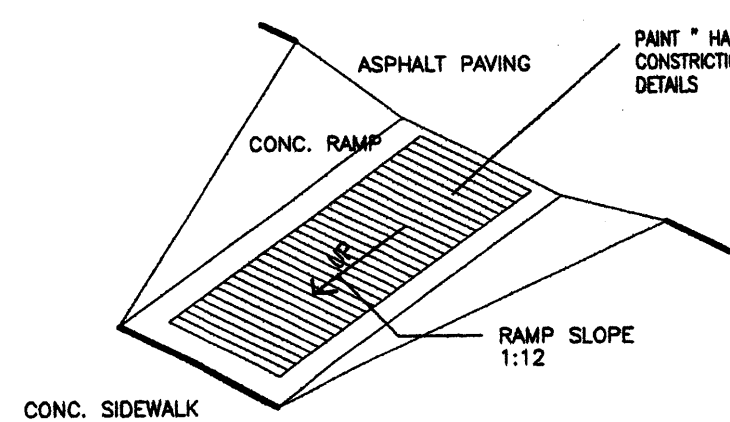
SCALE

VARIABLES

sheet

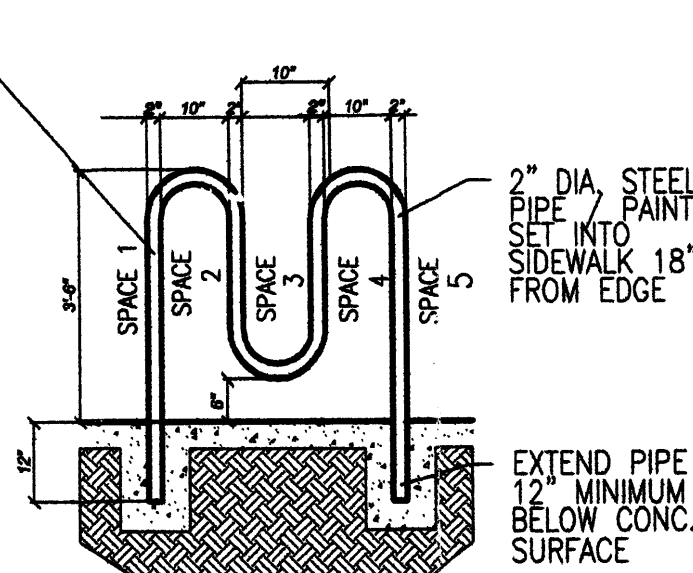
C1.0

of



1A HANDICAP RAMP DETAIL
NOT TO SCALE

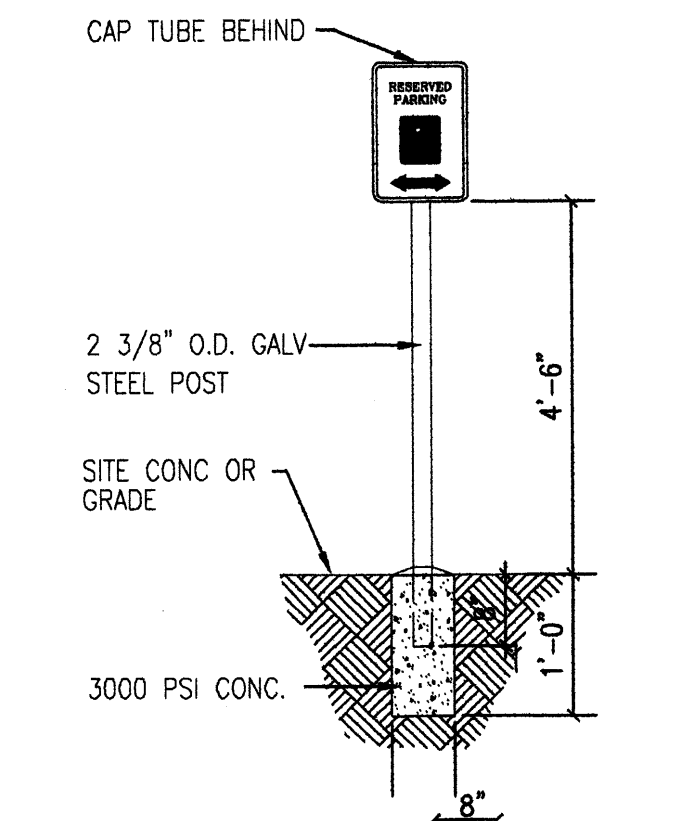
1B SLOPE ASPHALT PARKING AS RAMP



2 BIKE RACK DETAIL
NOT TO SCALE

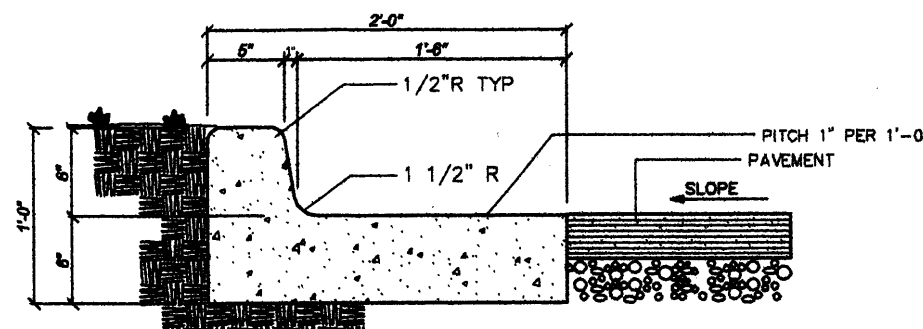


LEGEND & BORDER-GREEN
BACKGROUND-WHITE
SYMBOL-WHITE ON BLUE
BACKGROUND
PROVIDE "H.C. VAN
PARKING" ON SIGN
AT VAN SPACE
* PER ANSI REQUIREMENTS

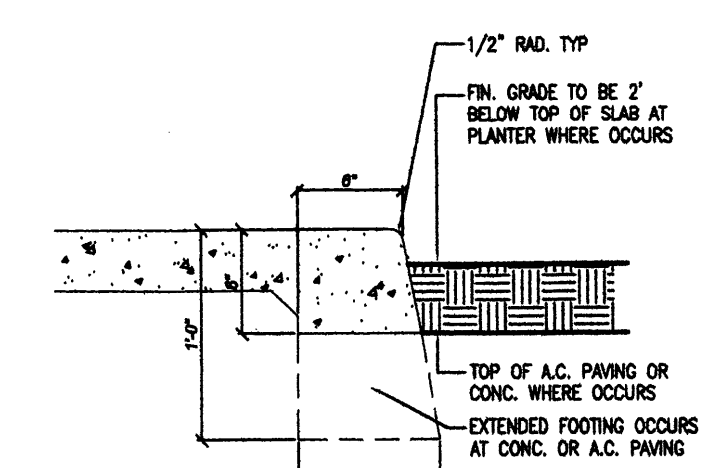


3 ACCESSIBLE PARKING SIGN
NOT TO SCALE

4 SITE LIGHTING DETAIL
NOT TO SCALE

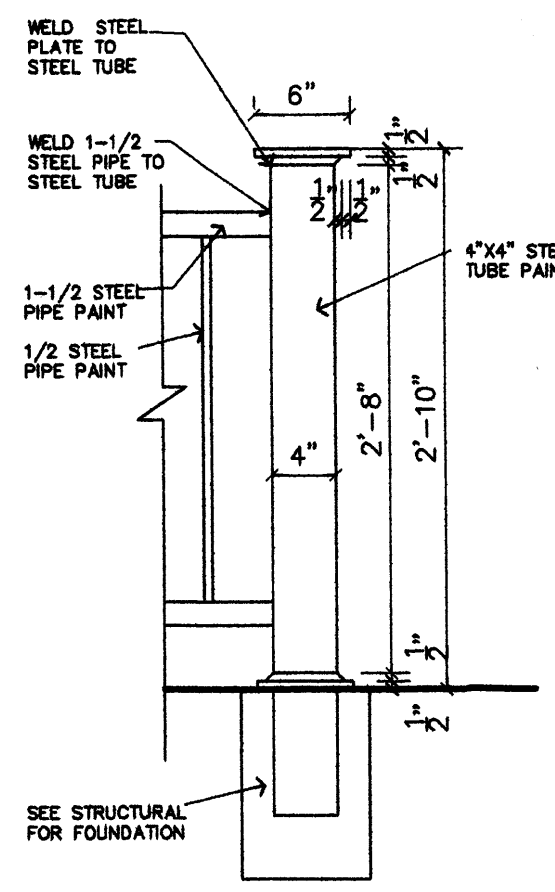


5 CURB & GUTTER
NOT TO SCALE

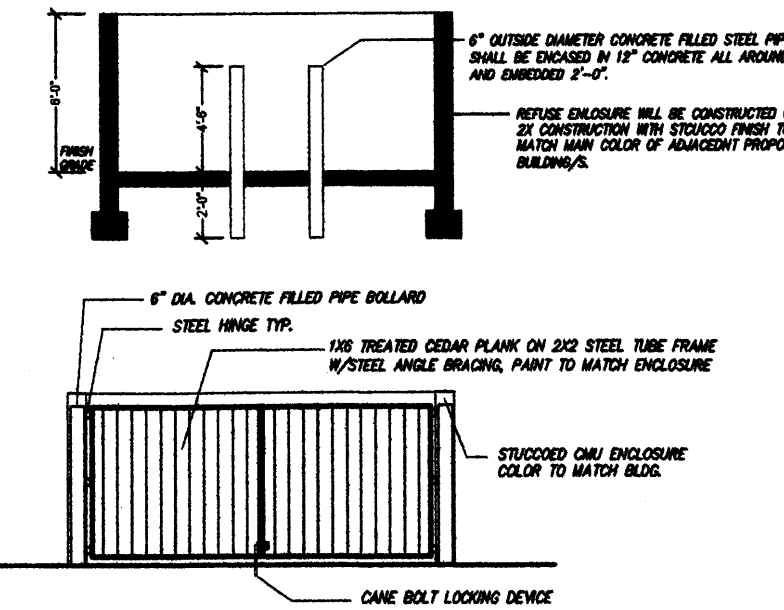


* SEE DETAIL 11 THIS SHEET
NOTE: VERIFY DIMENSIONS W/ CIVIL DRAWINGS

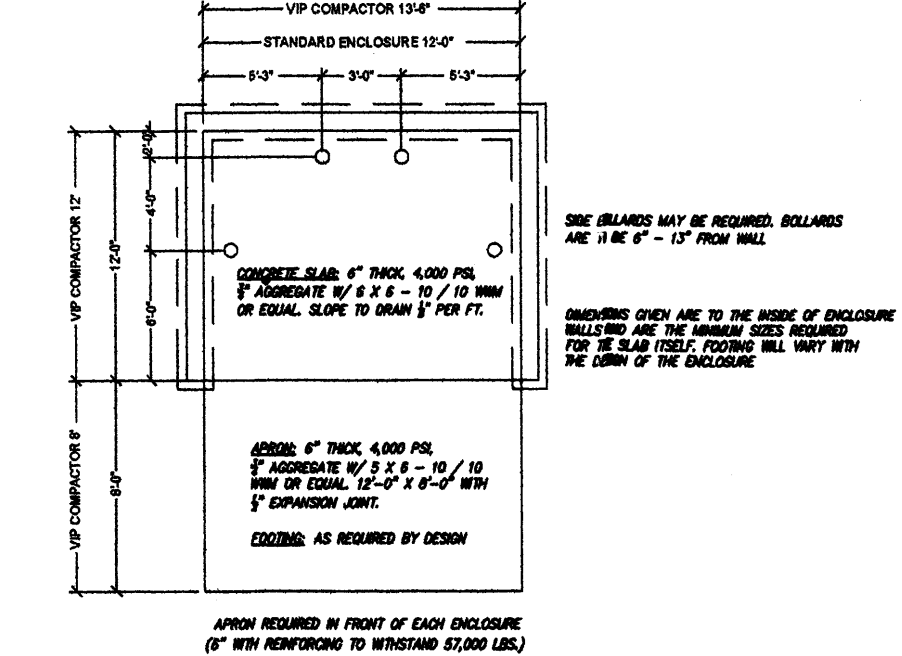
6 CURB DETAIL
NOT TO SCALE



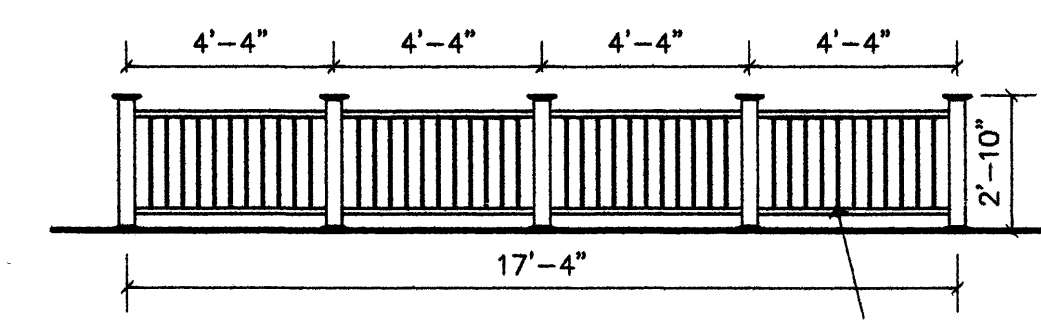
7 RAILING DETAIL
SCALE 1/2" = 1'-0"



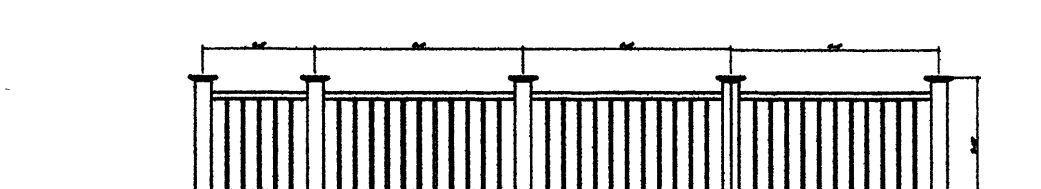
8 TRASH ENCLOSURE
NOT TO SCALE



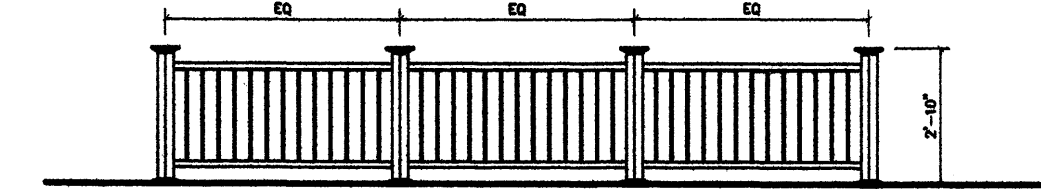
9 LARGE SCALE PARTIAL PLAN
1/4" = 1'-0"



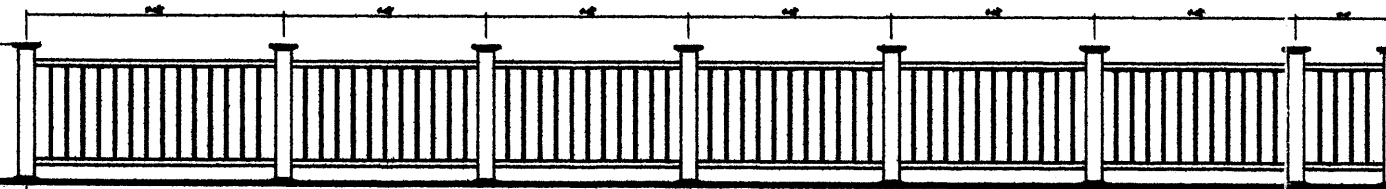
10 RAIL DETAIL
1/4" = 1'-0"



11 RAIL DETAIL
1/4" = 1'-0"

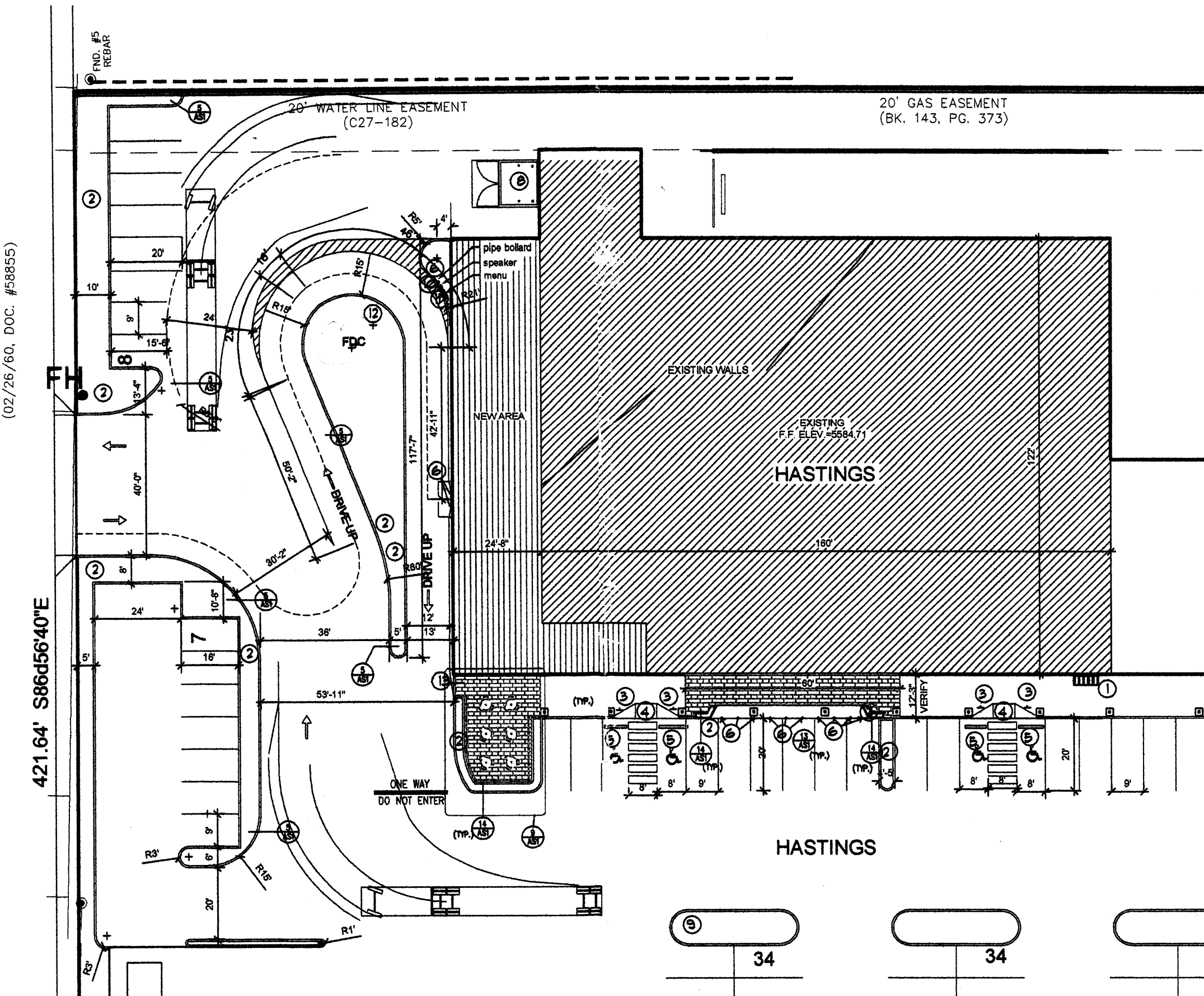


12 RAIL DETAIL
1/4" = 1'-0"



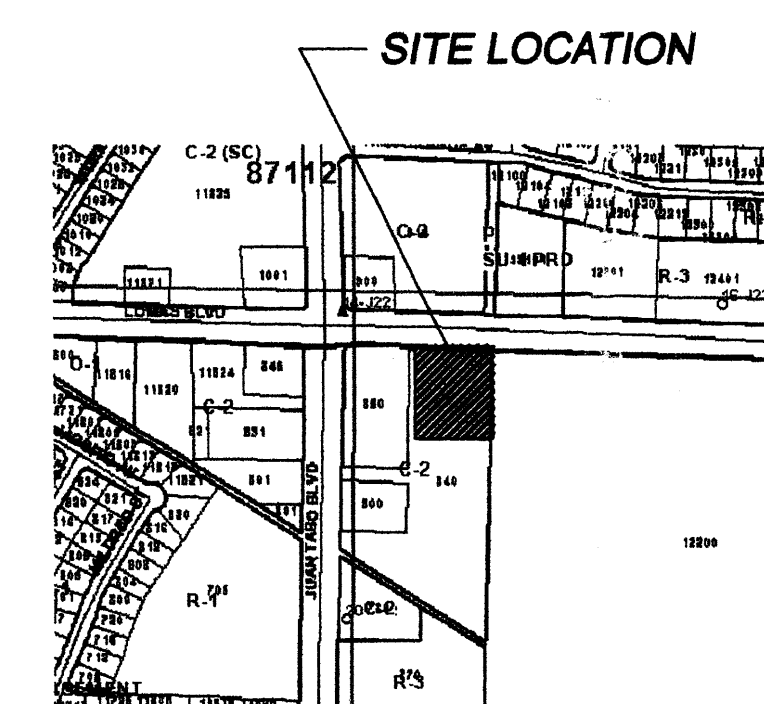
15 RAIL DETAIL
1/4" = 1'-0"

ADMINISTRATIVE AMENDMENT
File # 6644-0127 Project # 1005096
8,100 sq. ft. addition.
facade upgrade, street trees
along Lomas, 30 ft on-center.
Approved By: [Signature]
DATE: 29 Sept 05



1 SITE PLAN
1" = 30'

- KEYED NOTES
- BIKE RACK PER C.O.A. STANDARDS. (SEE 2/AS1)
 - LANDSCAPE AREA.
 - H.C. PARKING SIGNAGE (SEE 3/AS1) (MIN. 2'-0" SETBACK FROM CURB)
 - ACCESSIBLE RAMP (SEE 1/AS1)
 - WHEEL BUMPERS
 - 4' BOLLARD-6"
 - SITE LIGHTING (20' MAX) (SEE 4/AS1)
 - GATED REFUSE ENCLOSURE STUCCO TO MATCH BUILDING WITH SOLID GATES. (SEE 8/AS1)
 - VIDEO DROP BOX (SEE 17/AS1)
 - SPEAKER POST (SEE 7/AS1.2)
 - MENU BORD (SEE 7/AS1.2)
 - CLEARANCE BAR (SEE 16/AS1)
 - INSIDE FENCE TO MATCH OUTSIDE
* IMPRINTING TOOL - SCOFIELD "NATURAL STONES, ASHLER STONE" - RANDOM INTERLOCKING PATTERN
INTEGRAL CONCRETE COLOR:
SCOFIELD A-29 "TERRA COTTYA" OR SIMILAR
* CONCRETE HARDENER/RELEASING AGENT - SCOFIELD LITHOCROME, COLOR-WALLNUT
* SCALER - SCOFIELD CEMENTONE CLEAR SEALER



ZONE MAP

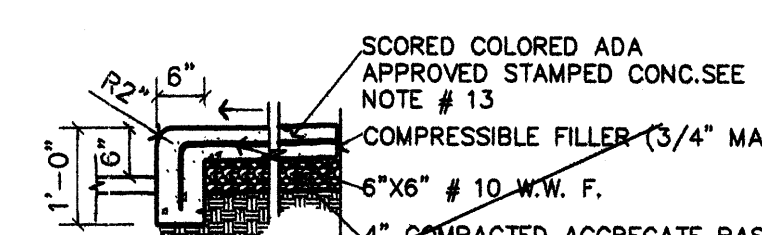
BUILDING AREA & PARKING CALCS:

85,920 SF. BUILDING (INCLUDING 3429 S.F. OF NEW ADDITION)
LOT SIZE = 341,444 SF OR 7.838 A.C.
0-15,000 1CAR PER 200 = 75 CARS
15,000-45,000 1CAR PER 250 = 120 CARS
45,000-60,000 1CAR PER 300 = 50 CARS
85,920-60,000 1CAR PER 300 = 88 CARS
TOTAL CARS = 331 CARS

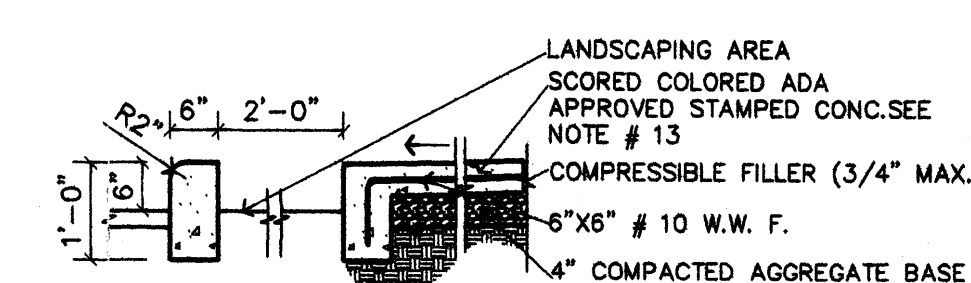
PARKING NOTES:

TYPICAL STANDARD SPACES ARE 8'-6" X 20'-0" H.C. SPACE 8'-6" X 20'
SMALL CARS SPACES ARE 8'-0" X 16'-0"
* ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED *
6 BICYCLE SPACES.

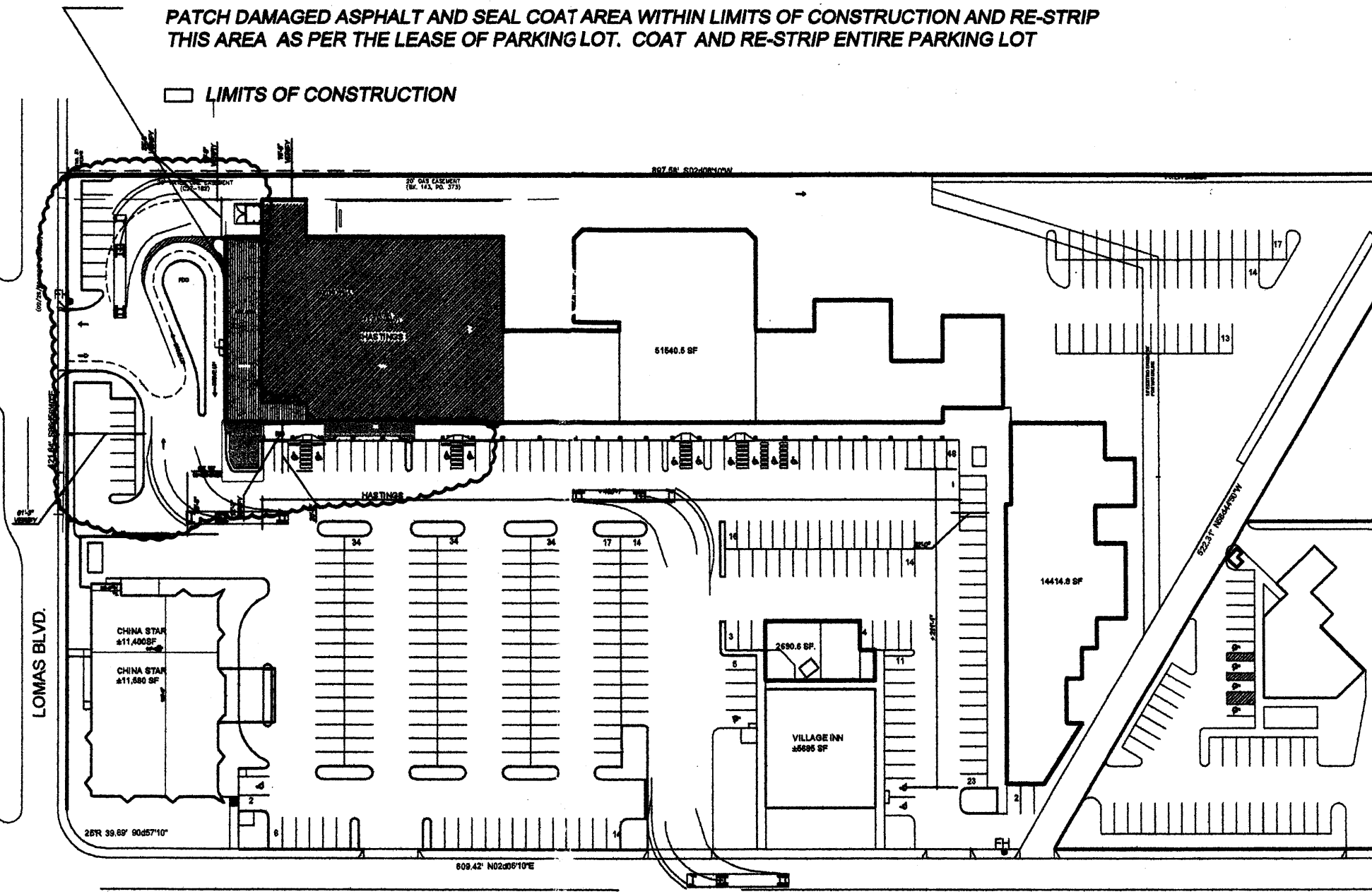
TOTAL STANDARD PARKING SPACES PROVIDED (338 SPACES)
TOTAL H.C. PARKING SPACES PROVIDED (INCLUDES VAN SPACES) 14 SPACES
TOTAL REQUIRED SPACES = 338 SPACES
TOTAL PROVIDED SPACES = 343 SPACES



13 DETAIL
SCALE: 1/2" = 1'-0"



14 DETAIL
SCALE: 1/2" = 1'-0"



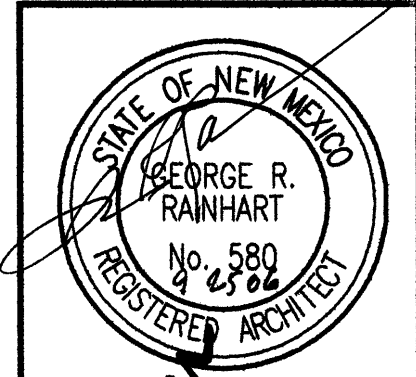
16 MANZANO CENTER SITE PLAN
NOT TO SCALE

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HYDROLOGY SECTION

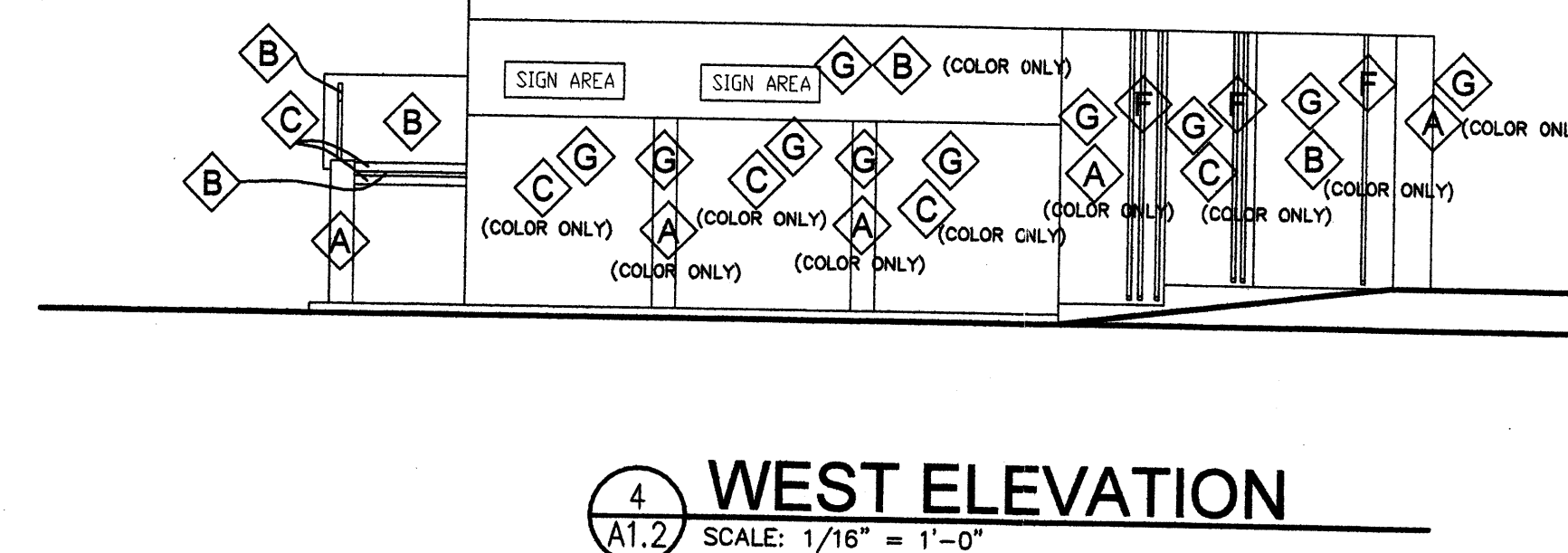
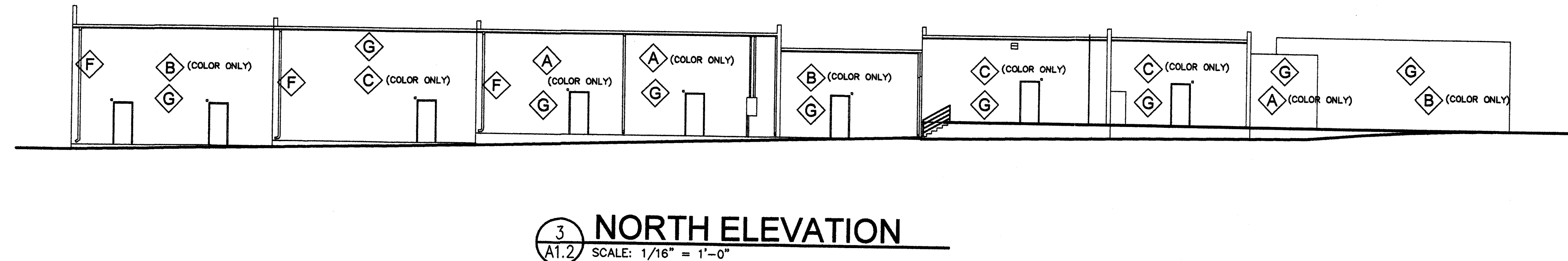
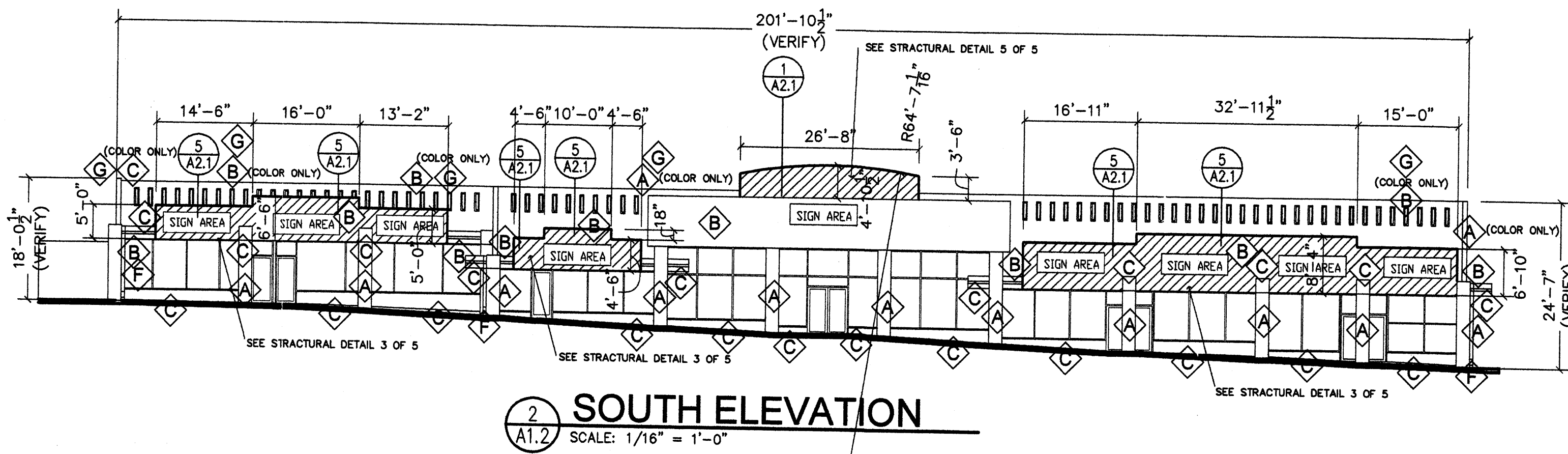
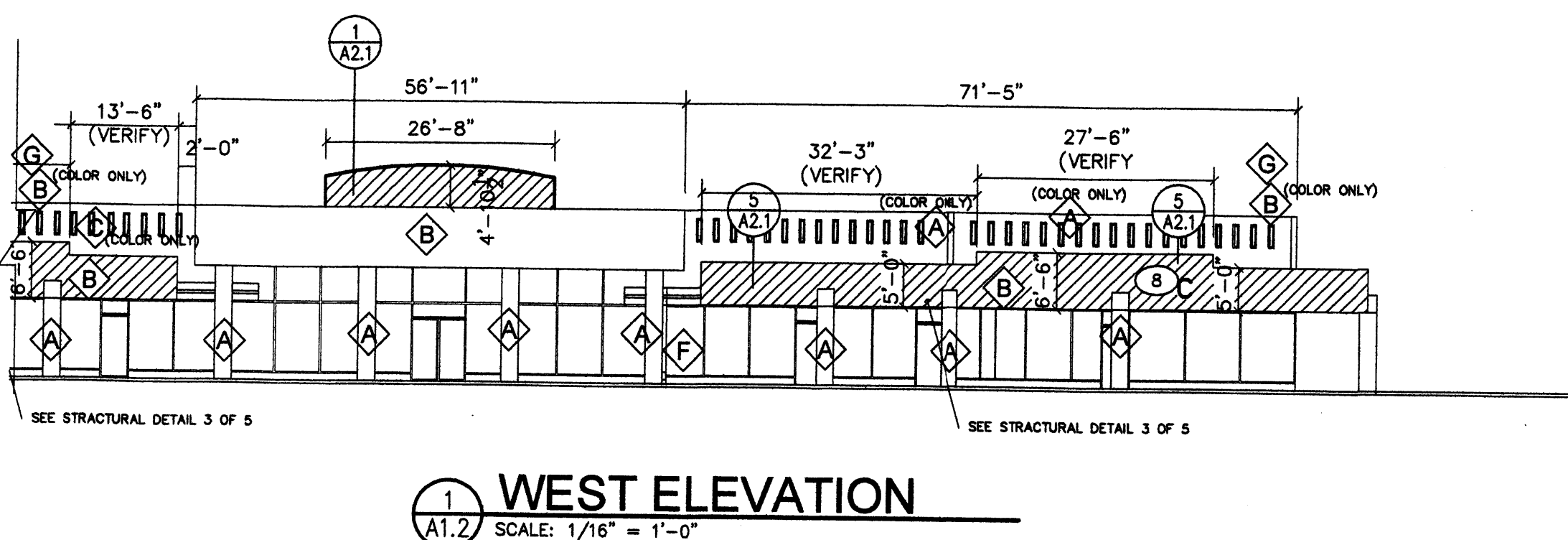
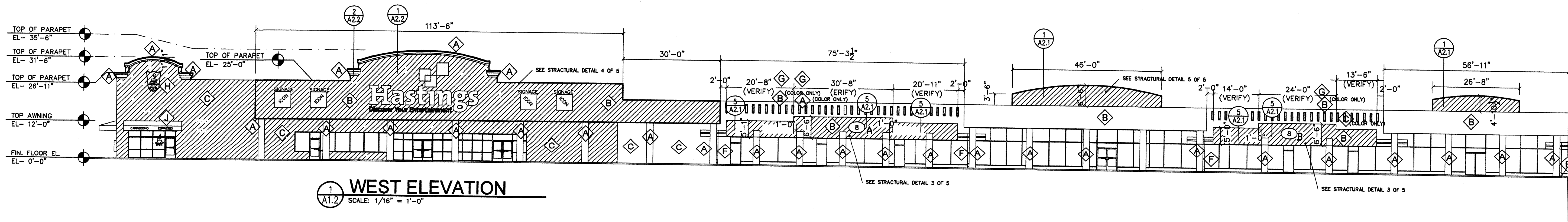
REV	DATE	BY	REVISION
6			
5			
4			
3			
2			
1			

CITY COMMENTS	HASTINGS COMMENTS	HASTINGS COMMON	HASTINGS COMMON
NAH	NAH	NAH	NAH
9/21/06	9/18/06	9/11/06	8/17/06

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE HASTINGS JUAN TABO BLVD. ALBUQUERQUE, NM	DRAWN BY NHA	CHECKED BY JOS	DATE 9/25/06
PROJECT MANAGER NASHA A. MAD	SHEET TITLE Site Plan	SHEET NO. AS1	SCALE 1" = 30'



Keyed Color / Material Schedule		Common
(A) STUCCO	TADS 1569	ON EXISTING WALLS POWER WASHED AND PAINTED TO MATCH STUCCO COLOR
(B) STUCCO	1631 PALM	
(C) STUCCO	814 CACTUS FLOWER	
(D) LIGHT FIXTURE	BLACK	REPAIR IF NEED REPLACE THE ONE ARE NOT IN GOOD SHAPE
(E) METAL DOOR	PAINT TO MATCH ADJACENT FINISH	
(F) DOWNSPOUTS	PAINT TO MATCH ADJACENT FINISH	
(G) ON EXISTING WALLS POWER WASH AND PAINT TO MATCH STUCCO COLOR		
(H) CAFE SIGNAGE	PROVIDED BY OWNER	
(I) AWNING	PROVIDED BY OWNER	

NOTE: INSTALL NEW MEDAL ROOF SYSTEM ON CANOPIES.

NEW WALL AND PARAPET WALLS
REFER STRUCTURAL

BUILDING SIGNAGE:

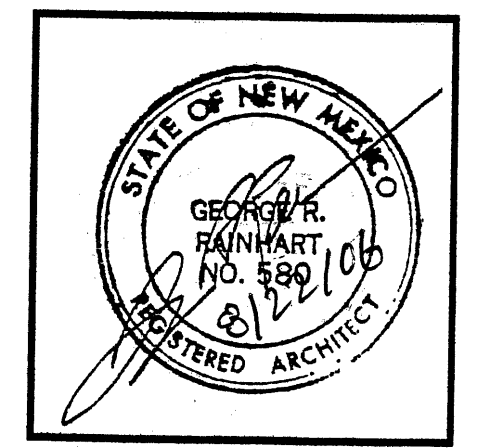
Except as noted under awnings all signage will be internally illuminated individual type lettering not to exceed 10 percent of the wall area of each building elevation. Letters are to be back lit. No exposed neon. Neon must be within solid opaque faced metal channel lettering can type signs are prohibited. The Bank logo is to be integral part of the overall sign.

NOTES:
ALL MECH. EQUIP. SHALL BE SHIELDED
ALUM. STOREFRONT SHALL BE RECESSED FROM FACE OF STUCCO.
SIGN AREA TO BE DETERMINED BY LOCAL CODE.

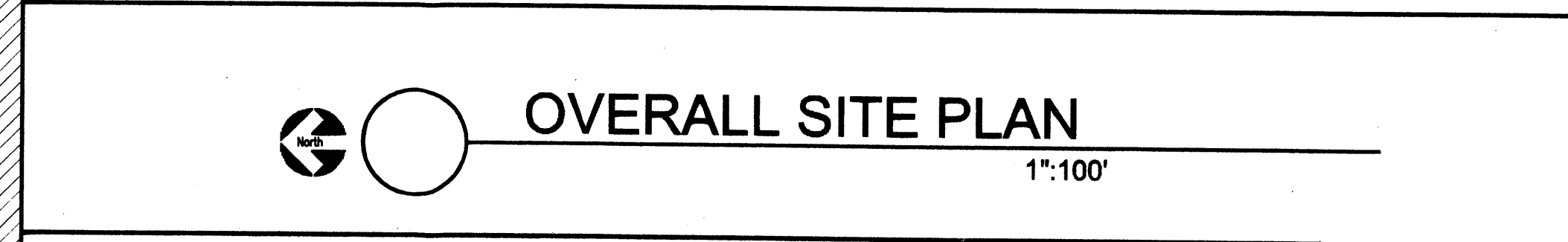
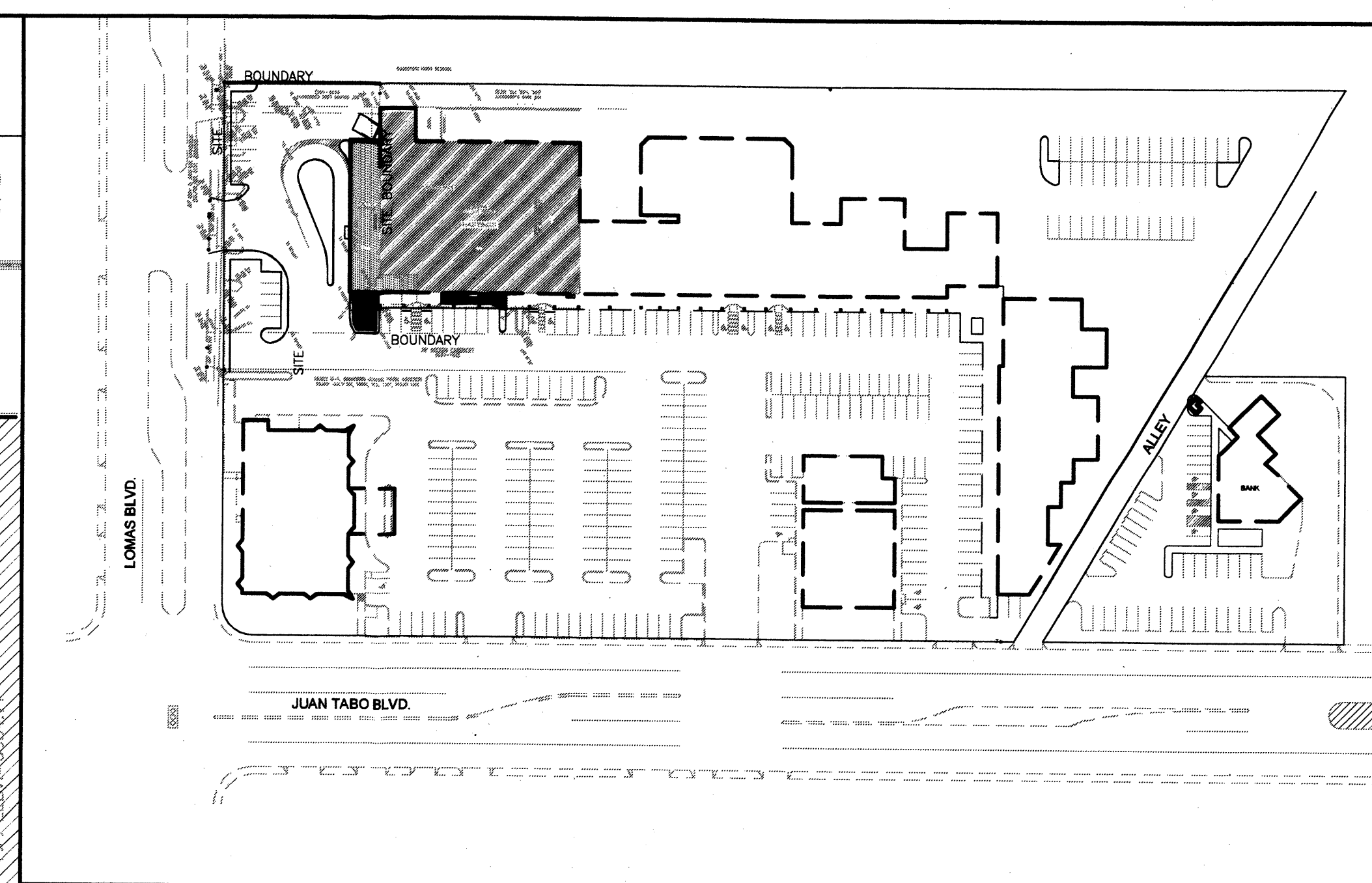
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AUG 06 2007
HYDROLOGY SECTION

REV	DATE	BY	REVISION
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9			
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GEORGE RAINHART, ARCHITECT AND ASSOCIATES
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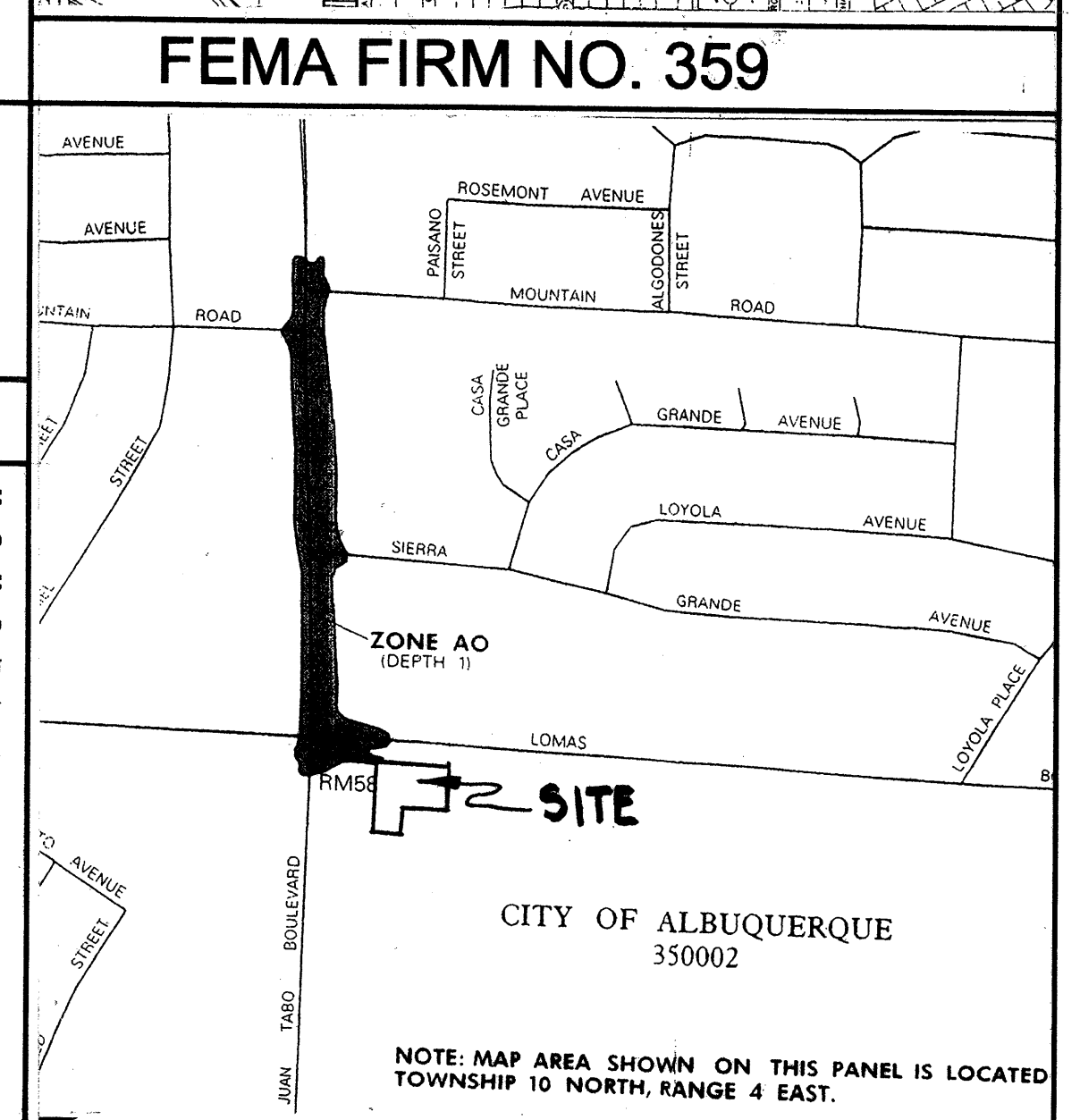
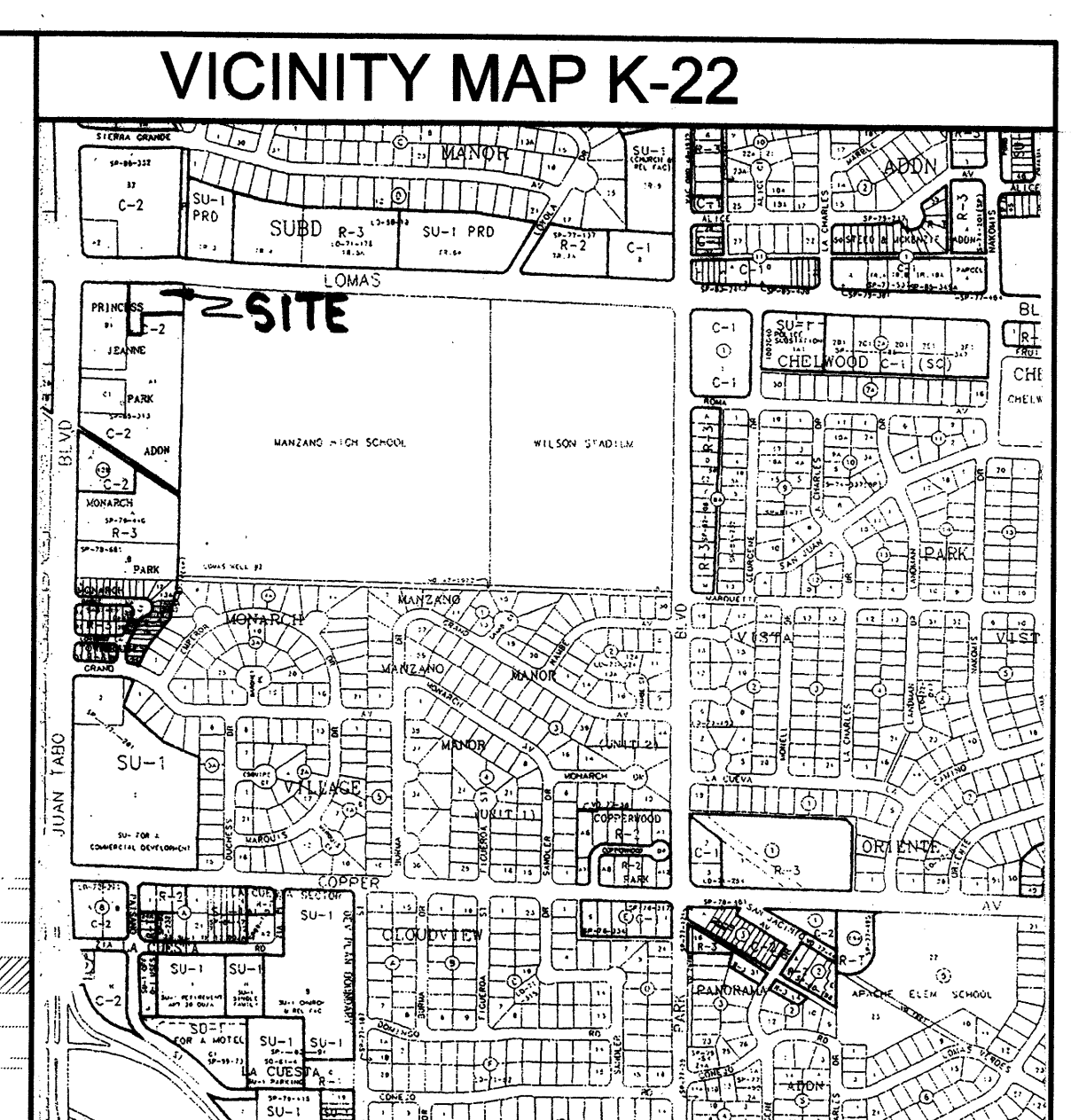
PROJECT TITLE MANZANO CENTER		DRAWN BY: JAN TABO BLVD.	
PROJECT MANAGER Naima A. Haddad		JOB NO. 0035	
SHEET TITLE ELEVATIONS		DATE: 00/00/05	
SCALE:		sheet- A1.2	



DRAINAGE DATA									
CONDITION	STORM RETURN PERIOD	TREATMENT TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE		
		(table 5)	(sq. ft.)	(inches)	(cfs)	(cu ft.)	(cfs)		
EXISTING	10	A	0	0.28	0.87	0	0.00		
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		C	0	0.73	2.26	0	0.00		
		D	30625	1.69	5.57	4341	2.53		
		TOTAL	31715			4375	2.53		
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DEVELOPED	10	A	0	0.28	0.87	0	0.00		
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		D	28195	1.69	5.57	3971	2.31		
		TOTAL	31715			4106	2.43		
	100	A	0	0.80	2.20	0	0.00		
		B	3520	1.08	2.92	317	0.24		
		C	0	1.46	3.73	0	0.00		
		D	28195	2.64	8.26	6203	3.40		
		TOTAL	31715			6620	3.63		

I, JEAN J. BORDENAVE, NMPE&LS NO. 5110, OF THE FIRM BORDENAVE
DESIGNS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND
WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE
WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED
07/17/06. THE RECORD INFORMATION
EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME
OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE
BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS
SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.
EXCEPTIONS AND/OR QUALIFICATIONS:

THE RECORD INFORMATION PRESENTED ON THE EDITED DESIGN DOCUMENT IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE EDITED DESIGN DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



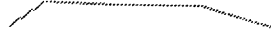
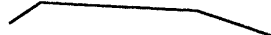
LEGAL DESCRIPTION

PORTION OF TRACT A-1, PRINCESS JEANNE PARK ADDITION

PERMANENT BENCHMARK

ACS MONUMENT "14-J22", ELEV. 5576.44 (NGVD 1929)

LEGEND

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FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TCP	TOP OF CONCRETE
TC	TOP OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
RD 	ROOF DRAINAGE POINT
	EXISTING CONTOUR
	PROPOSED CONTOUR
XX.XX	EXISTING SPOT ELEVATION
• XX.XX	PROPOSED SPOT ELEVATION
XX.XX	RECORD SPOT ELEVATION
XX.XX	

EROSION CONTROL NOTES

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3. THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.

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2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
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4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

DRAINAGE NOTES

EXISTING CONDITION

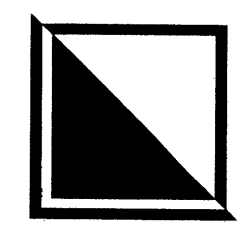
THE EXISTING ROOF DRAINAGE IS ROUTED TO THE EAST WITH DOWNSPOUTS ON THE EASTERN WALL. THE BALANCE OF THE AREA IS A PAVED PARKING LOT WITH SURFACE DRAINAGE TO THE WEST AND ONTO JUAN TABO BLVD.

PROPOSED CONDITION

THERE WILL BE NO CHANGES TO THE DIRECTION AND FLOW QUANTITIES DUE TO THE PROPOSED CONSTRUCTION.

THE NEW ROOF IS DIRECT TO THE EAST AND THEREFORE MATCHES THE EXISTING ADJACENT AREA. THE WATER IS THEN DIRECTED WESTERLY ON THE EXISTING PARKING LOT IN THE SAME DIRECTION AND QUANTITY AS THE EXISTING CONDITION.

REV	DATE	BY	REVISION
△6			
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PROJECT TITLE HASTINGS JUAN TABO BLVD. ALBUQUERQUE, NM		DRAWN BY: JJB		
PROJECT MANAGER SHAWN M ANDERSON		JOB NO. 0535	SHEET TITLE GRADING & DRAINAGE PLAN	
DATE: 07/10/06		sheet-		
SCALE: VARIABLE		C1.0 of		