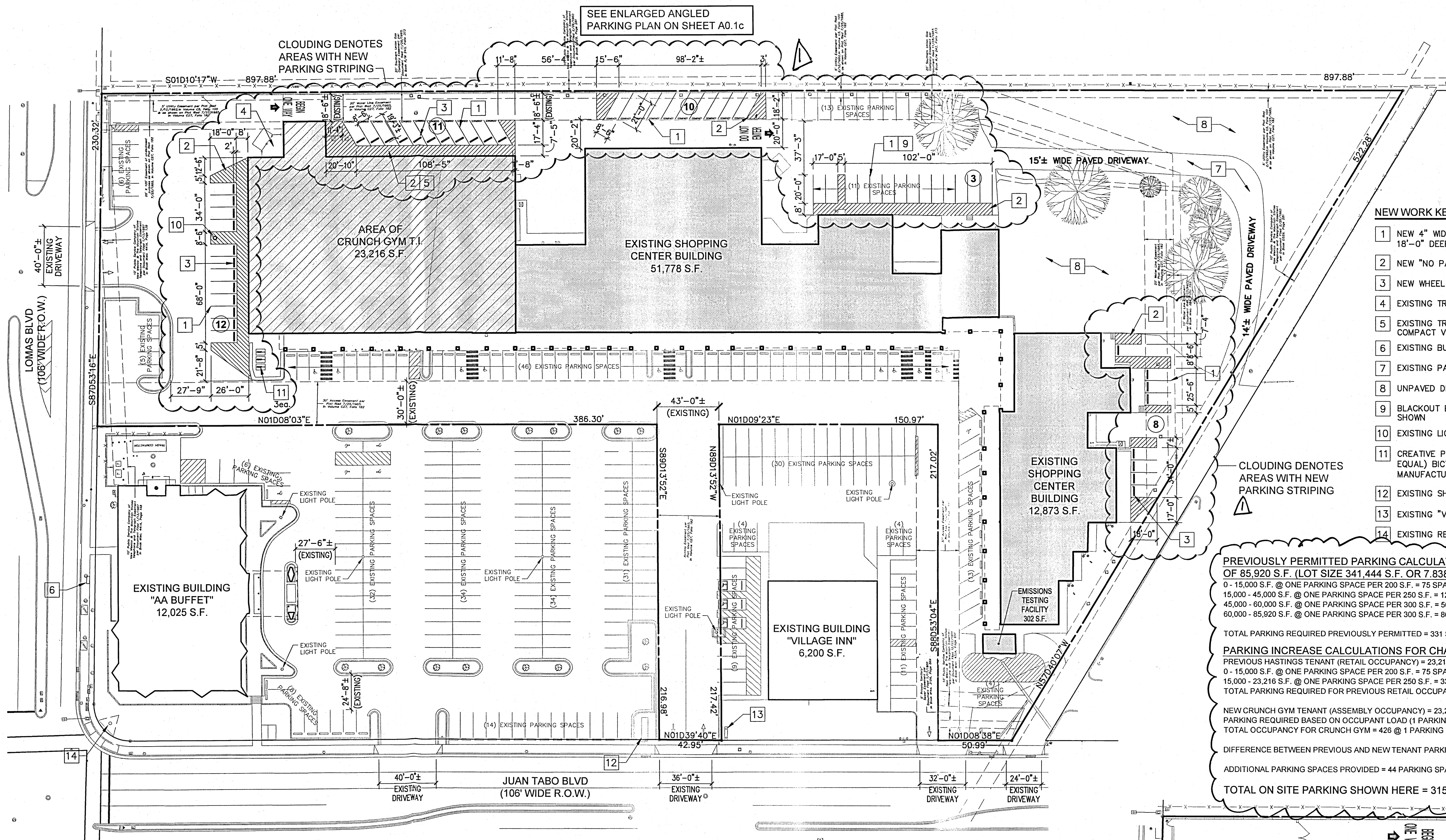
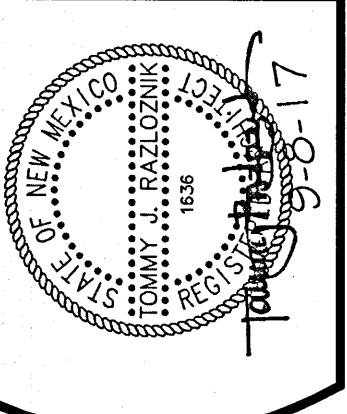


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IT'S THE LAW!
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ADMINISTRATIVE AMENDMENT
FILE # 10181 PROJECT # 1011456
UPDATED PARKING CALCULATIONS
AND ADD PARKING SPACES
AS SHOWN
APPROVED BY DATE
12.12.2017



- NEW WORK KEYED NOTES**
- 1 NEW 4" WIDE PARKING STRIPES. PARKING SPACES ARE 8'-6" WIDE X 18'-0" DEEP, UNLESS NOTED OTHERWISE
 - 2 NEW "NO PARKING" STRIPES @ 24" O.C. AS SHOWN
 - 3 NEW WHEEL STOPS
 - 4 EXISTING TRASH DUMPSTER ENCLOSURE TO REMAIN
 - 5 EXISTING TRUCK WELL AT THIS AREA SHALL BE DEMOLISHED. FILL AND COMPACT VOID AND PAVE TO MATCH EXISTING PAVEMENT
 - 6 EXISTING BUS STOP BENCH. BUS #11, ROUTE #1 JUAN TABO
 - 7 EXISTING PAVED DRIVEWAY (WIDTH VARIES)
 - 8 UNPAVED DIRT
 - 9 BLACKOUT EXISTING PARKING STRIPES AT THIS AREA AND STRIPE AS SHOWN
 - 10 EXISTING LIGHT POLE TO REMAIN. PROTECT IN PLACE
 - 11 CREATIVE PIPE "INVERTED U", MODEL #WU20-E-G-CB (OR APPROVED EQUAL) BICYCLE RACK. RACK EMBEDDED IN CONCRETE FOOTINGS PER MANUFACTURER'S DETAILS
 - 12 EXISTING SHOPPING CENTER PYLON SIGN
 - 13 EXISTING "VILLAGE INN" PYLON SIGN
 - 14 EXISTING RESTAURANT PYLON SIGN

PREVIOUSLY PERMITTED PARKING CALCULATIONS FOR THIS SITE CONTAINING A TOTAL BUILDING AREA OF 85,920 S.F. (LOT SIZE 341,444 S.F. OR 7.838 AC.):
0 - 15,000 S.F. @ ONE PARKING SPACE PER 200 S.F. = 75 SPACES
15,000 - 45,000 S.F. @ ONE PARKING SPACE PER 250 S.F. = 120 SPACES
45,000 - 60,000 S.F. @ ONE PARKING SPACE PER 300 S.F. = 50 SPACES
60,000 - 85,920 S.F. @ ONE PARKING SPACE PER 300 S.F. = 88 SPACES
TOTAL PARKING REQUIRED PREVIOUSLY PERMITTED = 331 SPACES

PARKING INCREASE CALCULATIONS FOR CHANGE OF OCCUPANCY (TOTAL BUILDING AREA IS UNCHANGED):
PREVIOUS HASTINGS TENANT (RETAIL OCCUPANCY) = 23,216 S.F.
0 - 15,000 S.F. @ ONE PARKING SPACE PER 200 S.F. = 75 SPACES
15,000 - 23,216 S.F. @ ONE PARKING SPACE PER 250 S.F. = 33 SPACES
TOTAL PARKING REQUIRED FOR PREVIOUS RETAIL OCCUPANCY TENANT = 108 PARKING SPACES

NEW CRUNCH GYM TENANT (ASSEMBLY OCCUPANCY) = 23,216 S.F.
PARKING REQUIRED BASED ON OCCUPANT LOAD (1 PARKING SPACE PER 3 OCCUPANTS)
TOTAL OCCUPANCY FOR CRUNCH GYM = 428 @ 1 PARKING SPACE PER 3 OCCUPANTS = 142 PARKING SPACES REQUIRED

DIFFERENCE BETWEEN PREVIOUS AND NEW TENANT PARKING REQUIREMENTS = 34 PARKING SPACE SHORTAGE

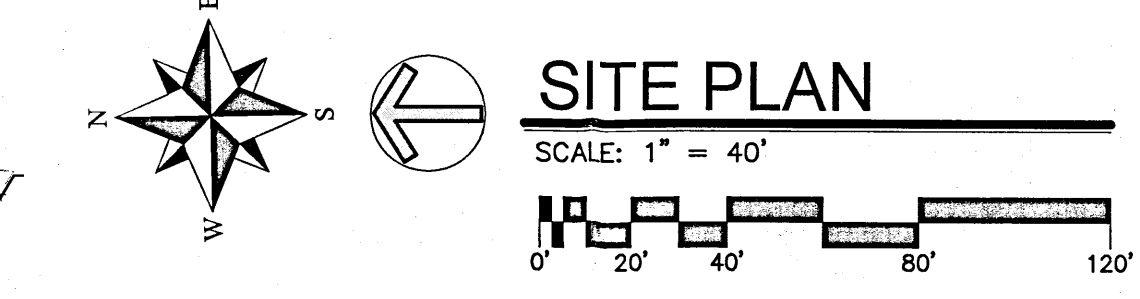
ADDITIONAL PARKING SPACES PROVIDED = 44 PARKING SPACES

TOTAL ON SITE PARKING SHOWN HERE = 315 EXISTING SPACES + 44 NEW PARKING SPACES = 359 PARKING SPACES

A TENANT IMPROVEMENT FOR
CRUNCH GYM
ALBUQUERQUE, NM
840 JUAN TABO BLVD NE

1810 Wyoming Ave
El Paso TX 79903
PH: 915-534-6082
TX: 915-534-6083
psrb
COMMERCIAL GROUP INC.

COMMISSION No.
17-035
DATE: SEPT. 2017
REVISIONS
3/27/17 ADDED THIS SHEET PER CITY REVIEW COMMENTS
11/22/17 REVISED PARKING LAYOUT
SHEET: A0.1b
1 OF 2

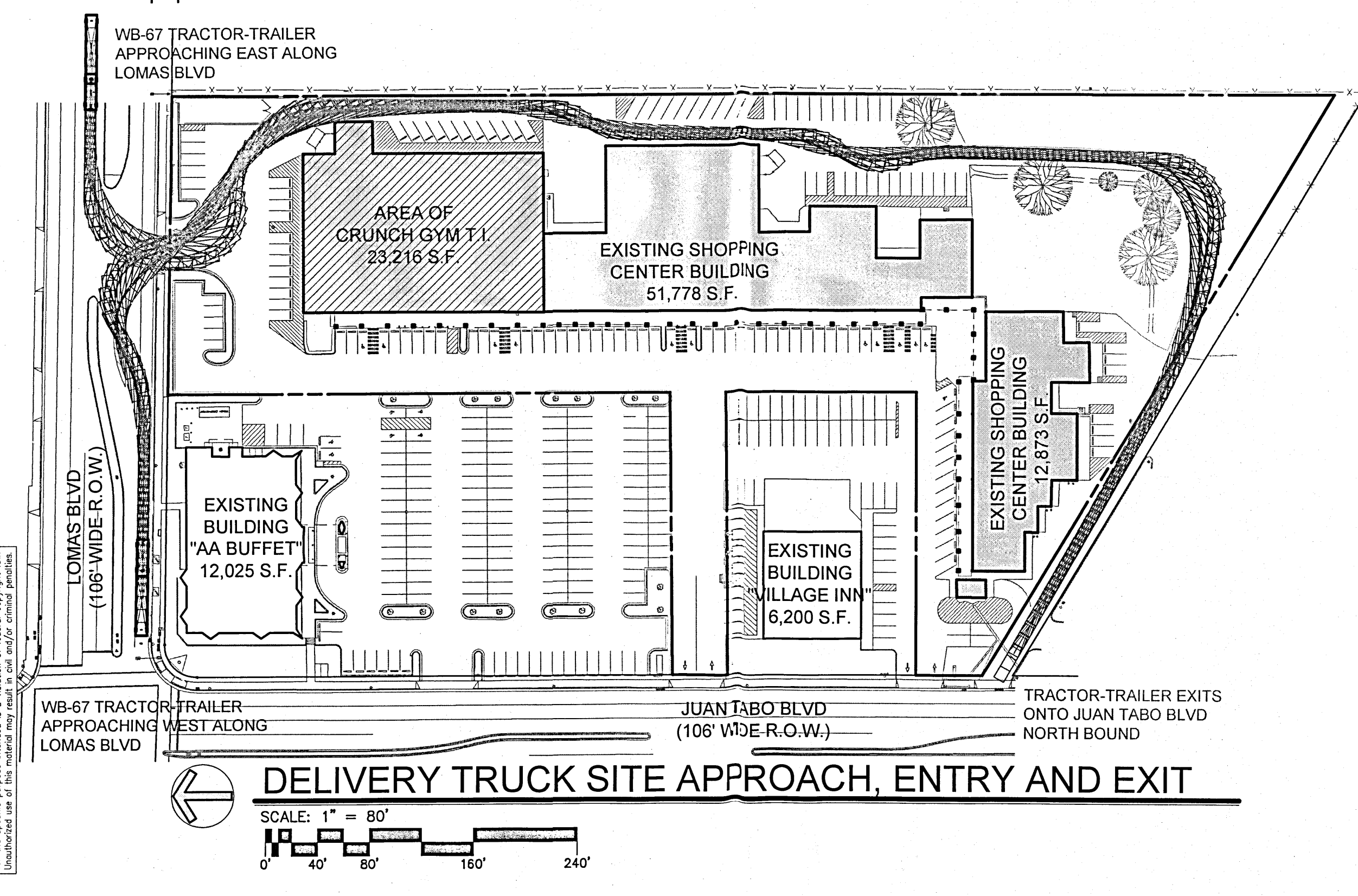
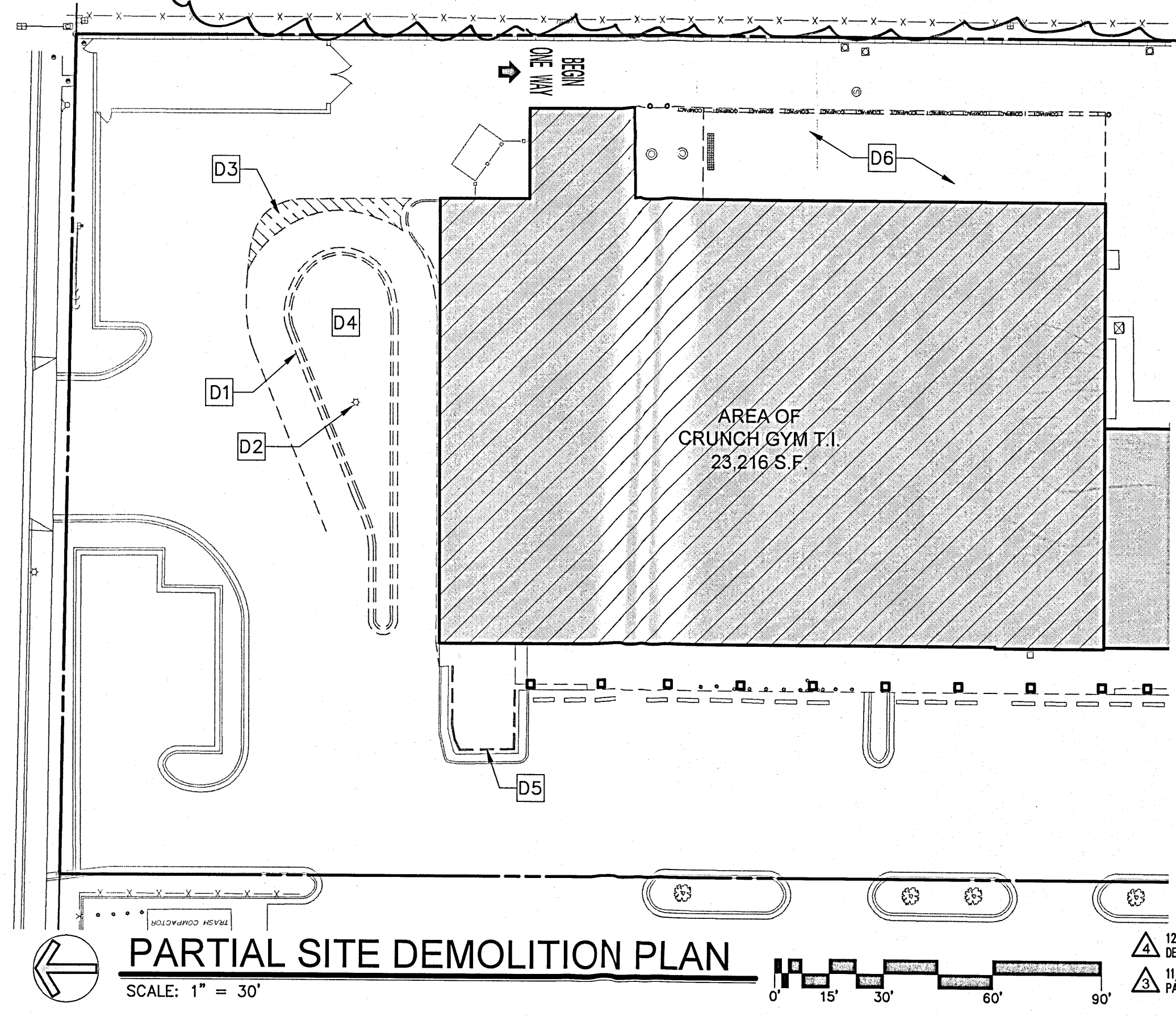


PARKING NOTE:
THE SITE CURRENTLY HAS 315 EXISTING PARKING SPACES. BASED ON CONVERSATIONS BETWEEN THE OWNER'S REPRESENTATIVE, ALLEN SIGMON, AND THE CITY OF ALBUQUERQUE'S PLANNING DEPARTMENT, A TOTAL OF 357 PARKING SPACES WOULD NEED TO BE PROVIDED IF CRUNCH OCCUPIES ITS LEASE SPACE.

44 NEW PARKING SPACES HAVE BEEN ADDED THROUGHOUT THE SITE.

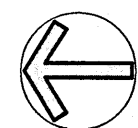
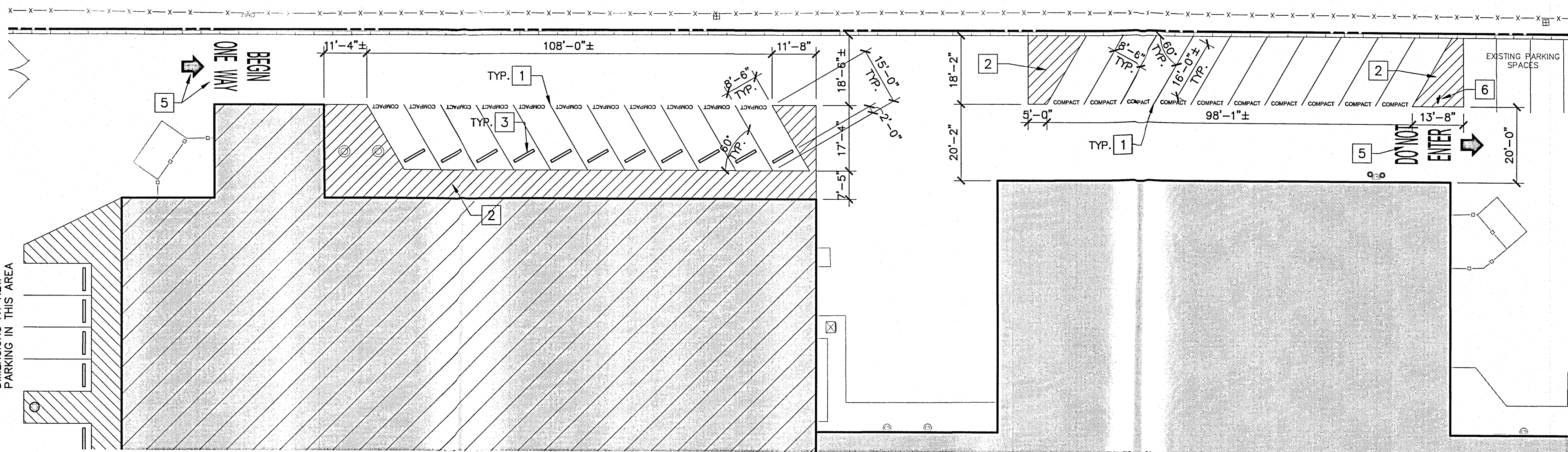
NEW SITE PARKING TOTAL IS 359 PARKING SPACES (44 NEW PARKING SPACES + 315 EXISTING PARKING SPACES)

- DEMOLITION KEYED NOTES**
- D1 DEMO EXISTING CURB AND GUTTER AT ABANDONED DRIVE-THRU LANE.
 - D2 EXISTING LIGHT POLE. PROTECT IN PLACE
 - D3 BLACK OUT ANY EXISTING DIRECTIONAL ARROWS AND LANE MARKINGS AT ABANDONED DRIVE-THRU LANE
 - D4 SALVAGE EXISTING LANDSCAPING AT THIS AREA FOR REUSE AT OWNER'S DISCRETION
 - D5 REMOVE EXISTING WROUGHT IRON FENCE IN THIS AREA
 - D6 EXISTING TRUCK WELL TO BE REMOVED IN ITS ENTIRETY. PROTECT IN PLACE ANY UNDERGROUND UTILITIES AND ADJACENT MANHOLES. CAP ANY ABANDONED DRAIN LINES. COMPACT FILL AND PAVE TO MATCH EXISTING PAVEMENT



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SEE SHEET A0.1b FOR
DIMENSIONS AT NEW
PARKING IN THIS AREA



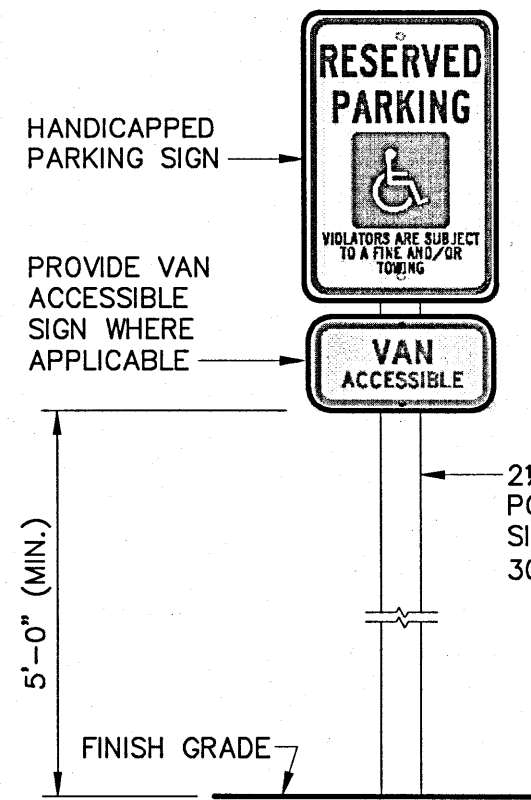
ENLARGED ANGLED PARKING

SCALE: 1" = 20'

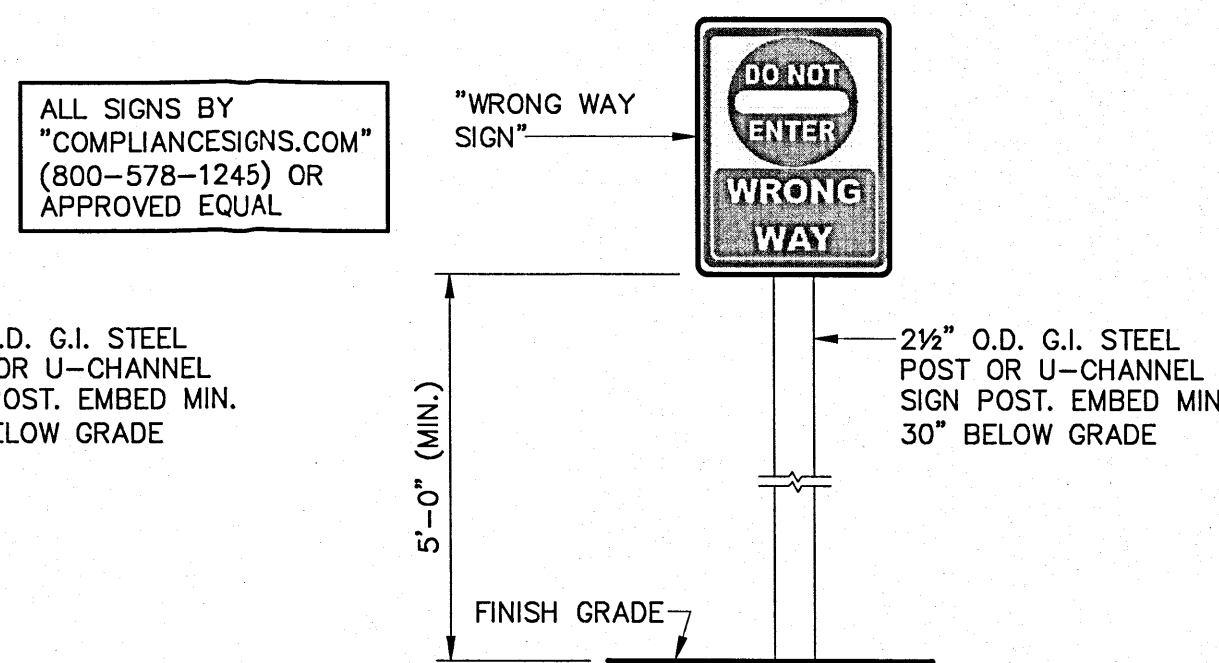


Design of Parking Signs:

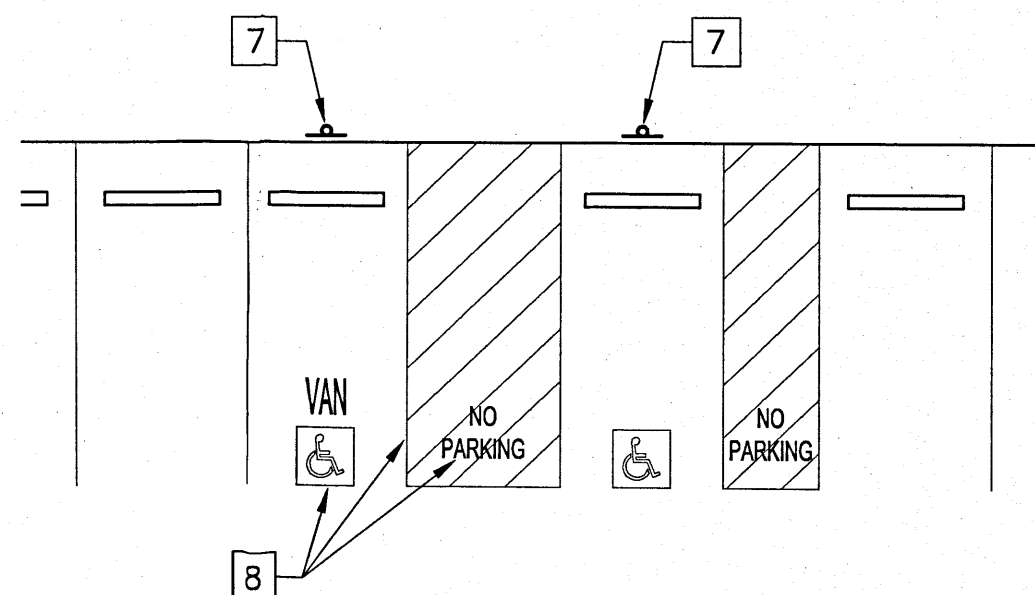
- Accessible parking spaces must have a sign that includes the international symbol of accessibility and state "RESERVED PARKING." Spaces designed for van parking must also have a sign stating "VAN ACCESSIBLE." (ADAAG 502.6), (MUTCD R7-8)
- The sign should be 12"W x 18"H with green lettering and border on a white background. The symbol of accessibility should be 4"H and be white on a blue background. The symbol is a depiction of a person in a wheel chair. (MUTCD R7-8), (ADAAG 703.7.2.1)
- If required, the van accessible sign should be 12"W x 6"H and have green lettering and border on a white background or white lettering and border on a blue background. (MUTCD R7-8a, R8-8b)
- Signs should be mounted at least 60 inches above the parking surface so as to not be obstructed by any parked vehicles.
- Signs should be constructed to withstand the elements. An aluminum substrate with a reflective surface using UV stable ink is recommended. An anti-graffiti laminate surface might also be considered.
- Of note: Federal accessibility signs avoid the use of the text "handicapped" or "disabled" as a result of the Department of Justice's efforts to make use of up-to-date accepted terminology and avoid stereotyping of individuals. (28CFR35.104)



① HANDICAP SIGNAGE
NO SCALE



② DIRECTIONAL SIGNAGE
NO SCALE

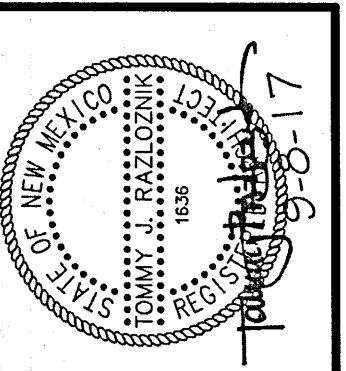


③ TYPICAL HANDICAPPED PARKING
SCALE: 1" = 10'-0"



NEW WORK KEYED NOTES

- NEW 4" WIDE PARKING STRIPES. STRIPE PARKING SPACES AS DIMENSIONED
- NEW "NO PARKING" STRIPES @ 24" O.C. AS SHOWN
- NEW WHEEL STOPS
- 1'-0" TALL LETTERING PAINTED ON PAVEMENT READING "COMPACT" AS SHOWN AT EVERY PARKING SPACE WHERE SHOWN
- DIRECTION SIGNAGE AND TEXT AS SHOWN PAINTED ON PAVEMENT
- DO NOT ENTER SIGN (SEE DETAIL 2/A0.1c)
- HANDICAPPED PARKING SIGN (SEE DETAIL 1/A0.1c)
- TYPICAL THROUGHOUT THE PROJECT SITE, ALL EXISTING H.C. PARKING SIGNAGE AND PARKING STALL STRIPING SHALL BE REPAINTED. ALL ADA ACCESS AISLES SHALL HAVE THE WORDS "NO PARKING" IN 1'-0" TALL CAPITAL LETTERS AT LEAST 2" WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED



A TENANT IMPROVEMENT FOR

CRUNCH GYM

ALBUQUERQUE, NM

840 JUAN TABO BLVD NE

1810 Wyoming Ave
El Paso TX 79903
PH: 916.534.8082
TX: 916.534.8083

psrb
commercial group inc.

COMMISSION No.
17-035

DATE: SEPT. 2017

REVISIONS
12/13/17 ADDED THIS SHEET
PER TRANSPORTATION DEPT.
COMMENT CORRECTIONS

SHEET: A0.1c

2 OF 2