

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

October 5, 2022

Scott McGee, P.E.  
SMM PE, LLC  
790 Tramway Lane NE #10C  
Albuquerque, NM 87122

**RE: View House Apartments  
540 Paisano Ct. NE  
Grading and Drainage Plan  
Engineer's Stamp Date: 9/2/2022  
Hydrology File: K22D060**

Dear Mr. McGee:

Based upon the information provided in your submittal received 9/6/2022, the Revised Grading and Drainage Plan is approved for Grading Permit, Building Permit, and SO-19 Permit.

PO Box 1293

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

Albuquerque

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

NM 87103

[www.cabq.gov](http://www.cabq.gov)

Please provide the Drainage Covenant with Exhibit A for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit the original copies along with the \$ 25.00 recording fee check made payable to Bernalillo County to Carrie Compton ([cacompton@cabq.gov](mailto:cacompton@cabq.gov)) on the 4th floor of Plaza de Sol. Please note that Hydrology will need a pdf copy of the recorded Drainage Covenant prior to Hydrology's approval of Permanent Release of Occupancy.

If you have any questions, please contact me at 924-3695 or [dggutierrez@cabq.gov](mailto:dggutierrez@cabq.gov)

Sincerely,

David G. Gutierrez, P.E.  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

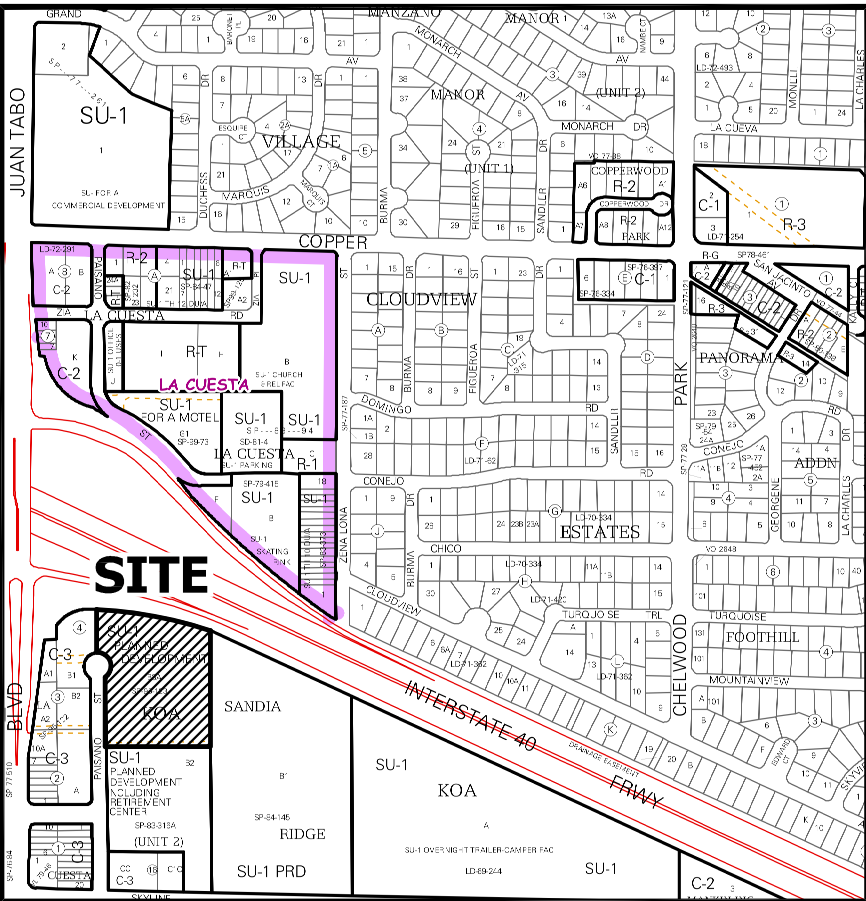
FEE PAID: \_\_\_\_\_



VIEW HOUSE APARTMENTS

540 PAISANO STREET NE  
ALBUQUERQUE, NM 87112

SEPTEMBER, 2022



VICINITY MAP K-22-Z

ADDRESS: 540 Paisano Street NE, Albuquerque, NM

LEGAL DESCRIPTION: TRACT B-3-A, K.O.A. SUBDIVISION, unit 2

SITE AREA: 220,173 SF (5.0545 acres)

BENCHMARK: City of Albuquerque Station '10-K21' being a brass cap.  
ELEV= 5557.514 (NAVD 1988)

SURVEYOR: The Survey Office, dated February 12, 2020

FLOOD HAZARD: From FEMA Map 35001C0359G (9/26/08), this site is identified as being within Zone 'X' which is determined to be of minimal flood hazard.

OFFSITE FLOW: The site does not accept any offsite flow as the apartment complex to the east has a curbed drive aisle running along the west side of the site. The Interstate 40 trail running along the north side of the site has a bar ditch which contains the runoff and carries flow to the west.

EXISTING CONDITIONS: The site is currently undeveloped with some sparse vegetation. The site slopes down to the west at approximately 3% and the sheet flow discharges to the public R/W of Paisano Street NE.

PROPOSED IMPROVEMENTS: The proposed improvements include 4 new 3-story and 4-story apartment buildings, a community building with swimming pool, associated paved access and parking, and landscaping.

DRAINAGE APPROACH: The site drainage pattern will direct developed flows to the onsite retention areas which store the SWQ volume. Private storm drains will be extended onsite to carry runoff to the ponding areas.

Existing land treatment: 90% A and 10% B Precipitation Zone: 3  
 $Q = [(0.90)(1.84) + (0.10)(2.49)](5.05) = 9.4$  CFS  
Proposed land treatment: 8% B, 6% C and 86% D (189,010 SF)  
 $Q = [(0.08)(2.49) + (0.06)(3.17) + (0.86)(4.49)](5.05) = 21.5$  CFS

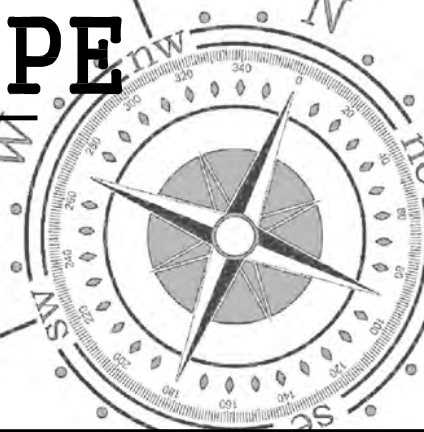
SWQ  $V = (189,010)(0.42/12) = 6,615$  CF  
Total retention volume provided onsite is 7,220 CF  
The proposed retention pond areas will combine to contain the first flush volume.

For 3' curb opening—Weir  $Q = CLH^3/2 = (2.7)(3)(0.5)^3/2 = 2.8$  CFS

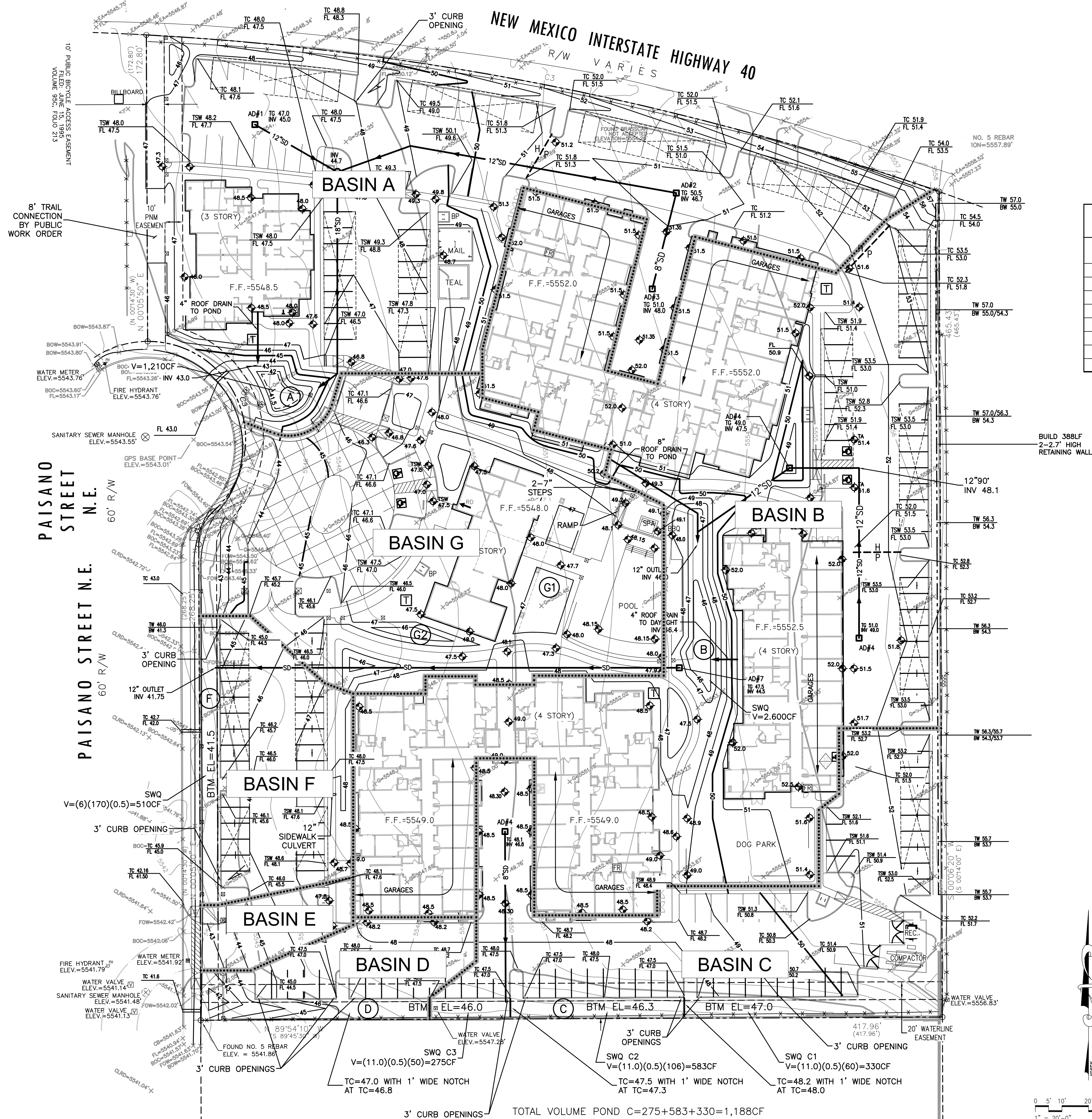


Scott M McGee PE

9700 Tanoan Dr NE  
Albuquerque, NM 87111  
505.263.2905  
scottmmcgee@gmail.com



C-100



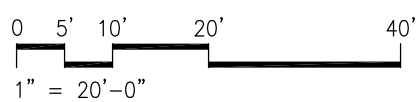
POND TABLE				
POND	BOTTOM ELEVATION	TOP ELEVATION	VOLUME (CF) REQUIRED	VOLUME (CF) PROVIDED
A	41.0	43.1	1,602	1,700
B	46.0	47.5	2,588	2,600
C	VARIES	VARIES	811	1,188
D	VARIES	VARIES	180	192
E				
F	41.5	42.0	345	510
G1	47.0	47.4	988	450
G2	46.0	47.0		580

DRAINAGE BASIN TABLE

DRAIN BASIN	BASIN AREA	"D" AREA (SF)
A	53,626	45,780
B	81,715	73,950
C	27,002	23,180
D	6,542	5,130
E	3,025	2,870
F	12,060	9,860
G	36,204	28,240

Legend

	EXISTING CONTOUR - MAJOR
	EXISTING CONTOUR - MINOR
	NEW CONTOUR - MAJOR
	NEW CONTOUR - MINOR
	RETAINING WALL
	DRAINAGE BASIN BOUNDARY
	HIGH POINT
	SPOT ELEVATION
	FLOW DIRECTION
	FINISH FLOOR ELEVATION
	ROOF DRAIN
	COVERED PARKING AREA
	ELECTRICAL TRANSFORMER



GRADING AND DRAINAGE PLAN

1" = 30'

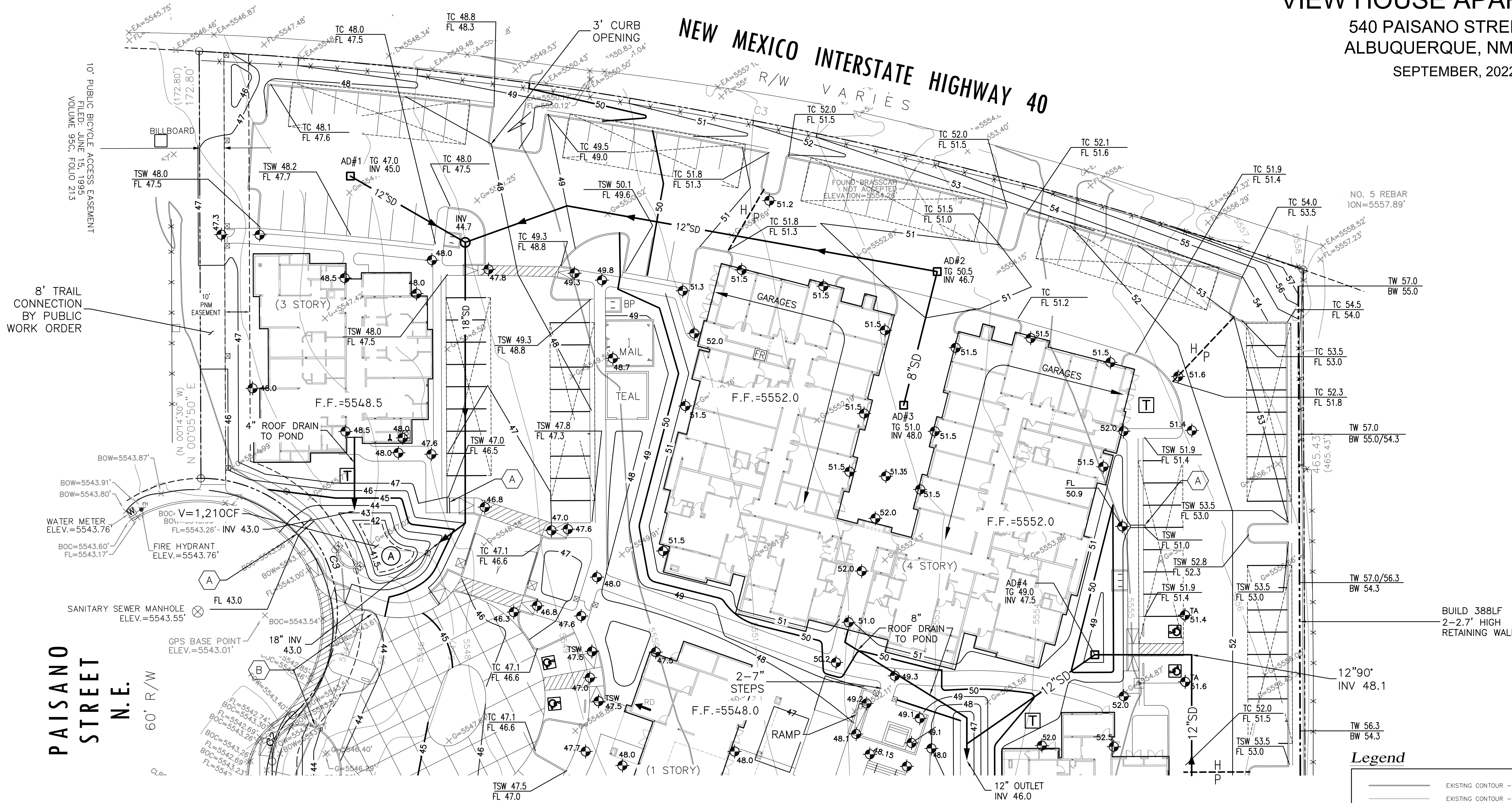


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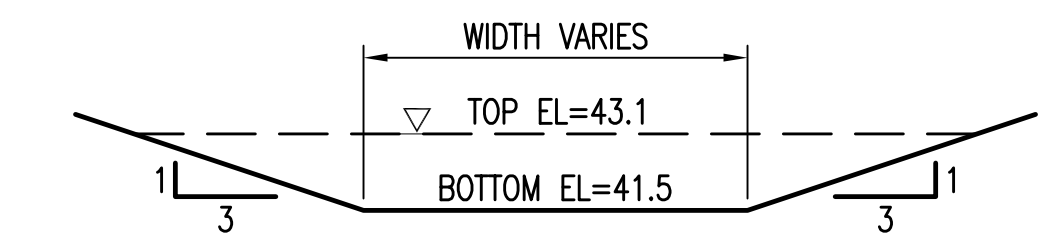
SEPTEMBER, 2022

NEW MEXICO INTERSTATE HIGHWAY 40  
R/W VARIES

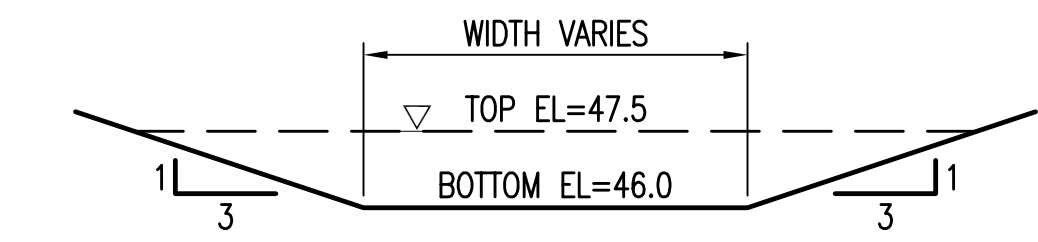


## NORTH GRADING AND DRAINAGE PLAN

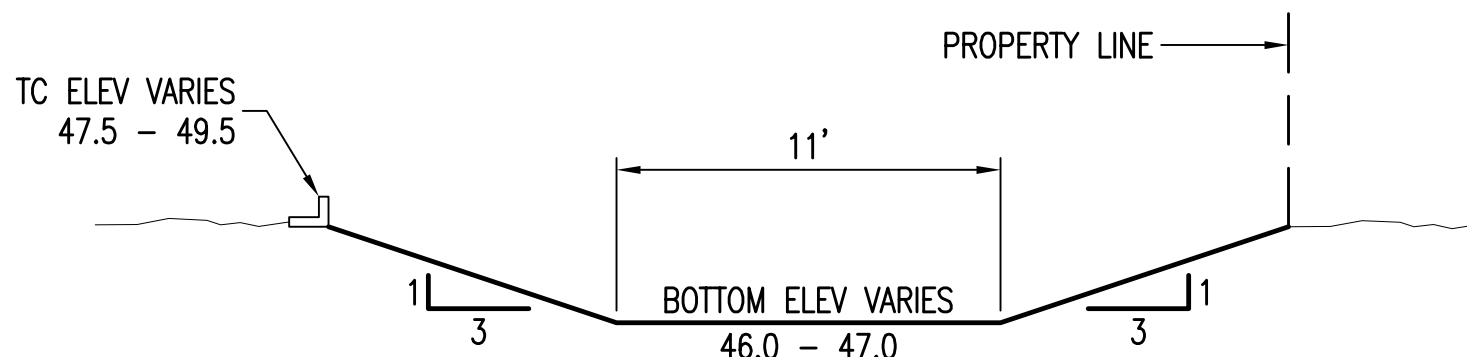
1" = 20'



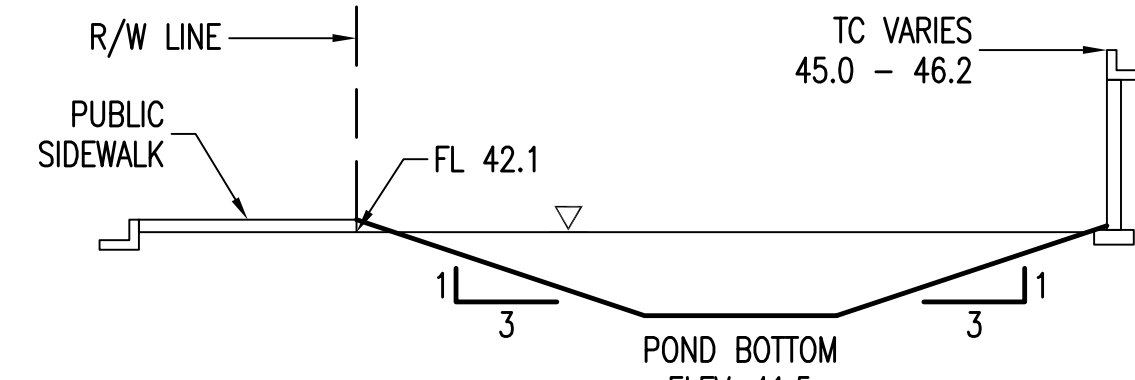
POND A SECTION  
N.T.S.



POND B SECTION  
N.T.S.



PONDS C&D SECTION  
N.T.S.



POND F SECTION  
N.T.S.



### KEYED NOTES

- INSTALL NEW SIDEWALK CULVERT (WIDTH AS NOTED) PER STD DWG NO 2236.
- INSTALL NEW PRIVATE ENTRY PER STD DWG NO 2426 - SEE SITE PLAN FOR HORIZONTAL DIMENSIONS AND LAYOUT.



0' 5' 10' 20' 40'  
1" = 20'-0"

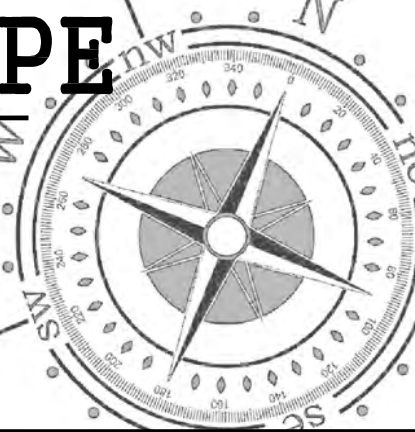
### Legend

- EXISTING CONTOUR - MAJOR
- EXISTING CONTOUR - MINOR
- NEW CONTOUR - MAJOR
- NEW CONTOUR - MINOR
- PVC STORM DRAIN - SIZE AS NOTED
- RETAINING WALL
- HIGH POINT
- SPOT ELEVATION
- FLOW DIRECTION
- FINISH FLOOR ELEVATION
- ROOF DRAIN
- COVERED PARKING AREA
- ELECTRICAL TRANSFORMER



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CG-100



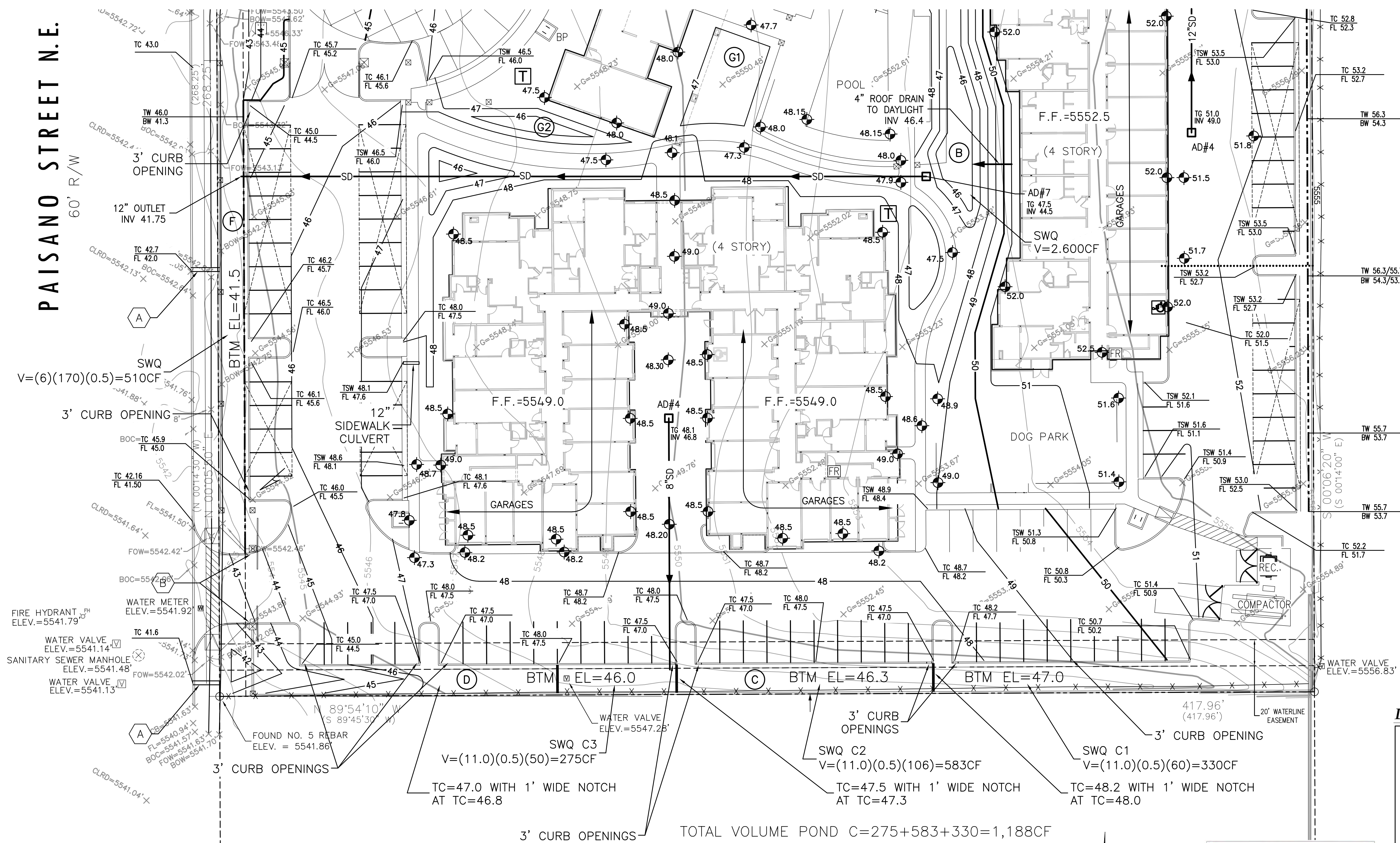
# VIEW HOUSE APARTMENTS

540 PAISANO STREET NE  
ALBUQUERQUE, NM 87112

SEPTEMBER, 2022

PAISANO STREET N.E.

60' R/W



### Private Drainage Facilities within City Right-of-Way Notice to Contractor (Special Order 19 ~ "SO-19")

1. Build sidewalk culvert per COA STD DWG 2236.
2. Contact Storm Drain Maintenance at (505) 857-8033 to schedule a meeting prior to forming.
3. An excavation permit will be required before beginning any work within City Right-of-Way.
4. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
5. Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" [or (505) 260-1990] for the location of existing utilities.
6. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
7. Backfill compaction shall be according to traffic/street use.
8. Maintenance of the facility shall be the responsibility of the owner of the property being served.
9. Work on arterial streets may be required on a 24-hour basis.
10. Contractor must contact Storm Drain Maintenance at (505) 857-8033 to schedule a construction inspection. For excavating and barricading inspections, contact Construction Coordination at (505) 924-3416.

### Legend

- EXISTING CONTOUR - MAJOR
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- NEW CONTOUR - MAJOR
- NEW CONTOUR - MINOR
- PVC STORM DRAIN - SIZE AS NOTED
- RETAINING WALL
- HIGH POINT
- SPOT ELEVATION
- FLOW DIRECTION
- FINISH FLOOR ELEVATION
- ROOF DRAIN
- COVERED PARKING AREA
- ELECTRICAL TRANSFORMER

## SOUTH GRADING AND DRAINAGE PLAN

1" = 20'

### GRADING NOTE

1. SIDE SLOPES NEED TO BE STABILIZED WITH NATIVE GRASS SEED (PER CITY SPEC 1012) WITH 3" DEPTH AGGREGATE MULCH OR EQUAL (MUST SATISFY THE "FINAL STABILIZATION" CGP 2.2.14.b.).

### KEYED NOTES

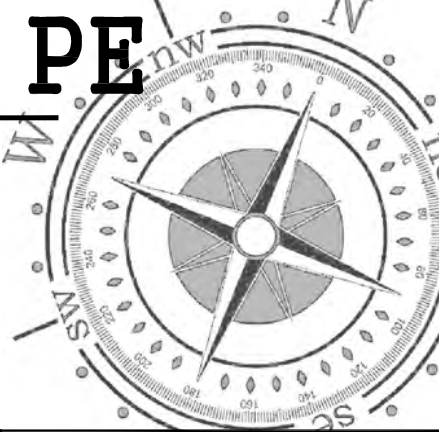
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CG-101