

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 23, 2022

Scott McGee, P.E.
SMM PE, LLC
790 Tramway Lane NE #10C
Albuquerque, NM 87122

**RE: View House Apartments
540 Paisano Ct. NE
Grading and Drainage Plan
Engineer's Stamp Date: 1/17/22
Hydrology File: D17D074**

Dear Mr. McGee:

Based upon the information provided in your submittal received 1/4/2022, the Grading & Drainage Plan is **not** approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

PO Box 1293

General Notes

Albuquerque

NM 87103

www.cabq.gov

1. Please provide survey points.
2. Please provide an overall sheet.
 - a. Include a basin map.
3. A section/detail is required for each pond. Please label each one (e.g. pond a, pond b etc...)
 - a. These should also include volumes and clearly show how flow is getting to them.
 - b. The function of the SWQV pond should be kept in mind and please note the outlet of the pond above that elevation for each. Please note this for each section.
4. Please include all necessary background calculations used to determine resulting flows for existing and proposed.
5. Some of language is cut off on the bottom of the sheet CG-100.
6. Please include weir calculations for curb openings.
7. Please include SO-19 notes. (see attached in email)
8. Please label high points and as mentioned above delineate the basins.
9. Please clearly label all proposed storm drain pipe size and material
10. Please call out pond along landscape areas near parking and provide a section. 3' difference is a substantial difference.
11. Please include note:
 - a. Please add a note under Grading Notes. "Side slopes need to be stabilized with Native Grass Seed (per City Spec 1012) with Aggregate Mulch or equal (Must satisfy the "Final Stabilization criteria" CGP 2.2.14.b.)".
12. Please reference the standard detail for the driveway/waterblock.

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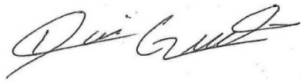


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As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3695 or dggutierrez@cabq.gov

Sincerely,



David G. Gutierrez, P.E.
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

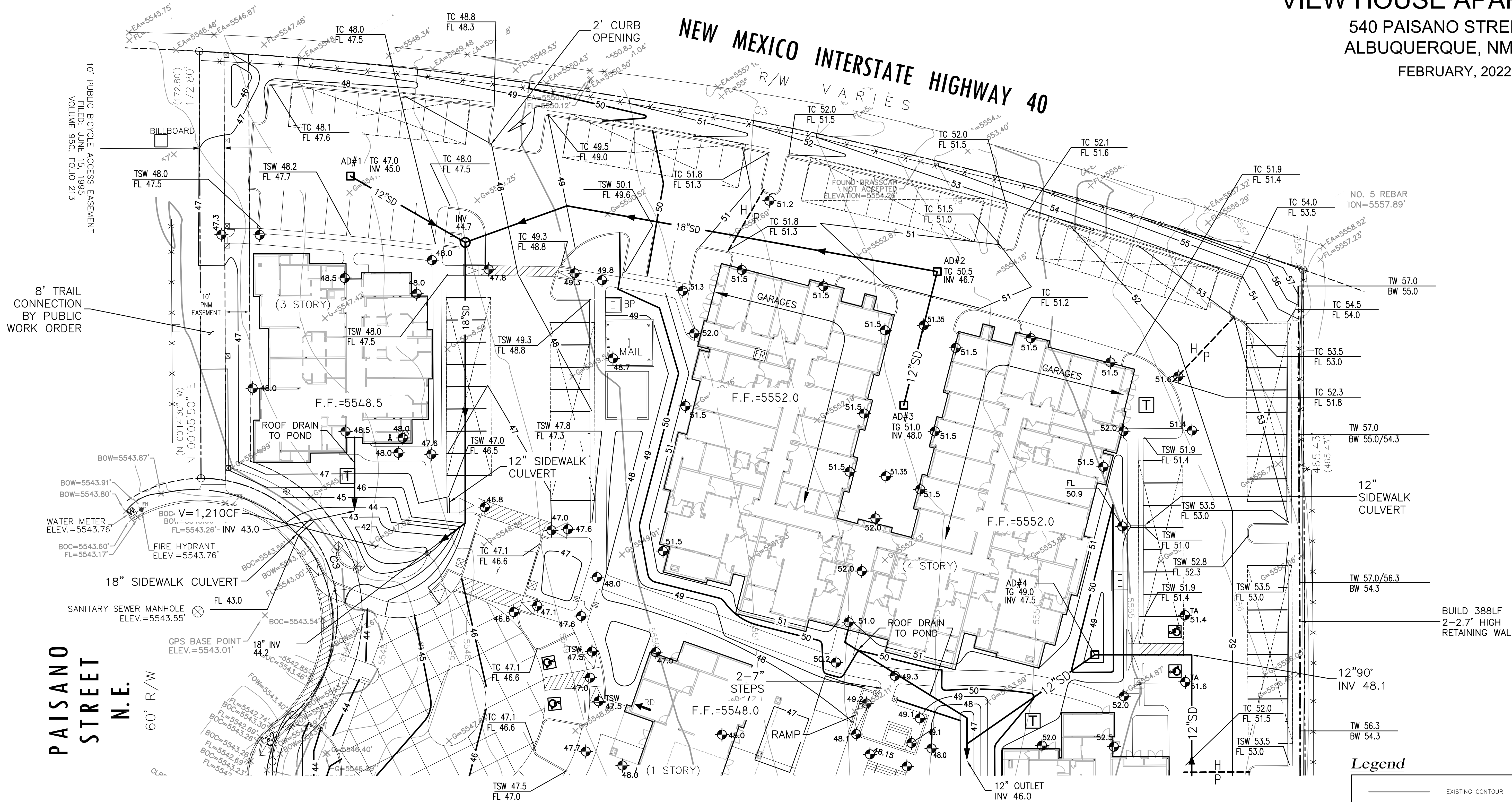
FEE PAID: _____

VIEW HOUSE APARTMENTS

540 PAISANO STREET NE
ALBUQUERQUE, NM 87112

FEBRUARY, 2022

NEW MEXICO INTERSTATE HIGHWAY 40
R/W VARIES



NORTH GRADING AND DRAINAGE PLAN

1" = 20'

ADDRESS: 540 Paisano Street NE, Albuquerque, NM

LEGAL DESCRIPTION: TRACT B-3-A K. O. A. SUBDIVISION, UNIT 2

SITE AREA: 220,173 SF (5.0545 acres)

BENCHMARK: City of Albuquerque Station '10-K21' being a brass cap.
ELEV= 5557.514 (NAVD 1988)

SURVEYOR: The Survey Office, dated February 12, 2020

PRECIPITATION ZONE: 3

FLOOD HAZARD: From FEMA Map 35001C0359G (9/26/08), this site is identified as being within Zone 'X' which is determined to be of minimal flood hazard.

OFFSITE FLOW: The site does not accept any offsite flow as the apartment complex to the east has a curbed drive aisle running along the west side of the site. The Interstate 40 trail running along the north side of the site has a bar ditch which contains the runoff and carries flow to the west.

EXISTING CONDITIONS: The site is currently undeveloped with some sparse

vegetation. The site slopes down to the west at approximately 3% and the sheet flow discharges to the public R/W of Paisano Street NE.

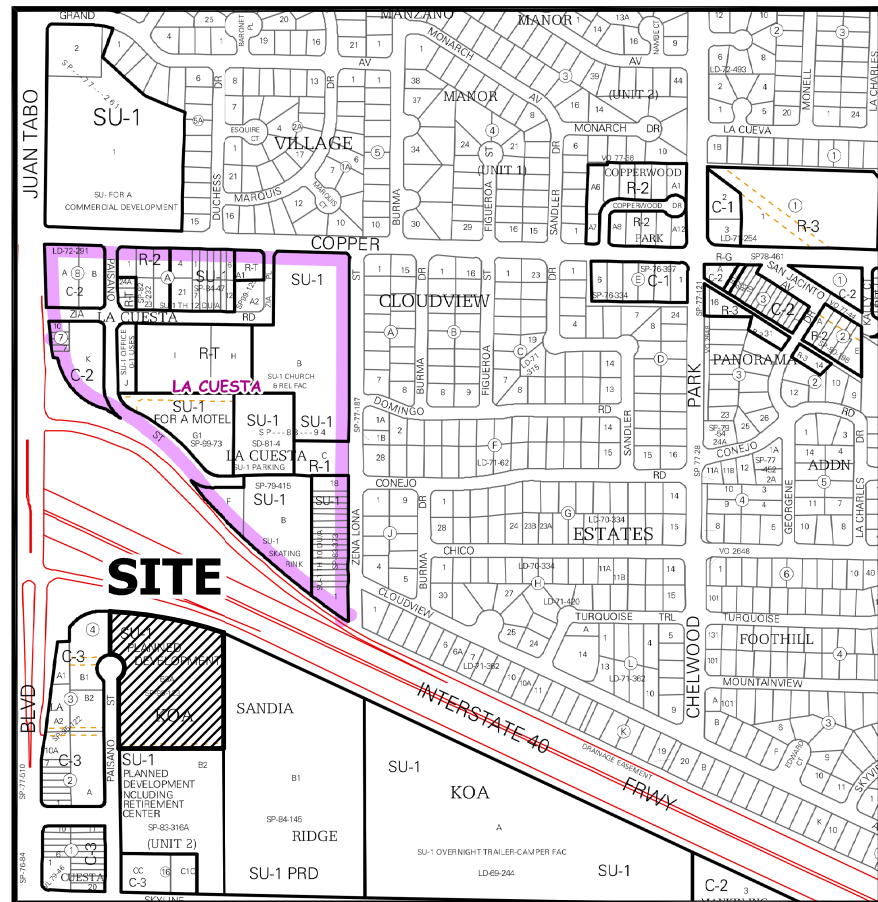
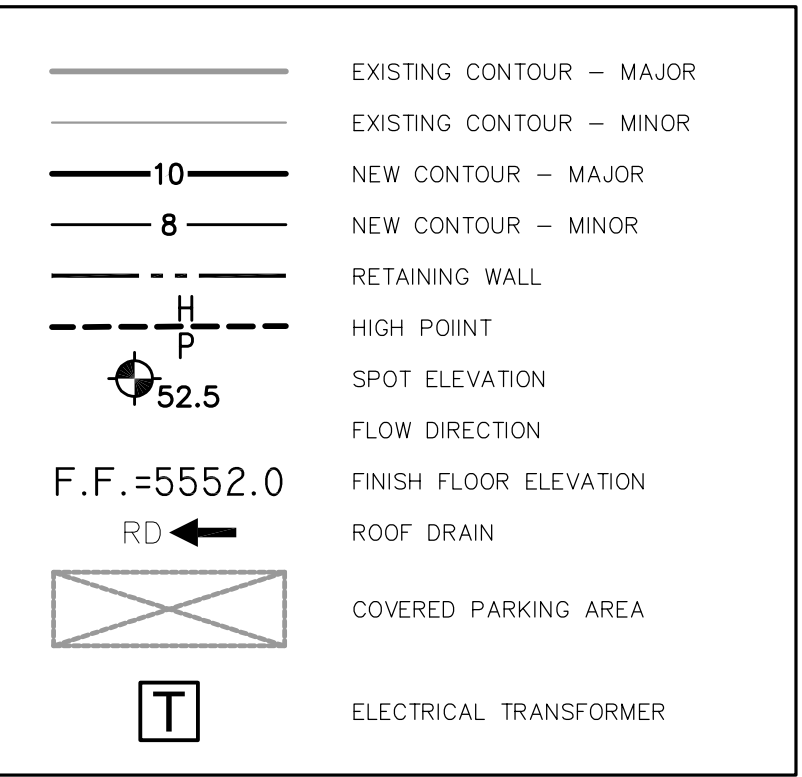
PROPOSED IMPROVEMENTS: The proposed improvements include 4 new 3-story and 4-story apartment buildings, a community building with swimming pool, associated paved access and parking, and landscaping.

DRAINAGE APPROACH: The site drainage pattern will follow historic conditions and include the onsite retention of the Storm Water Quality volume. Private storm drains will be extended onsite to provide for catch basins to intercept site runoff.

Existing land treatment: 90% A and 10% B
 $Q = [(0.90)(1.87) + (0.10)(2.60)](5.05) = 9.8$ CFS
Proposed land treatment: 10% B, 25% C and 65% D
 $Q = [(0.10)(2.60) + (0.25)(3.45) + (0.65)(5.02)](5.05) = 22.2$ CFS

SWQ V= (143,112)(0.42/12) = 5,009 CF
Total retention volume provided onsite is 5,602 CF
The proposed retention pond areas will combine to contain the SWQ volume.
Site runoff will increase from historic but the existing street capacity is adequate.

Legend

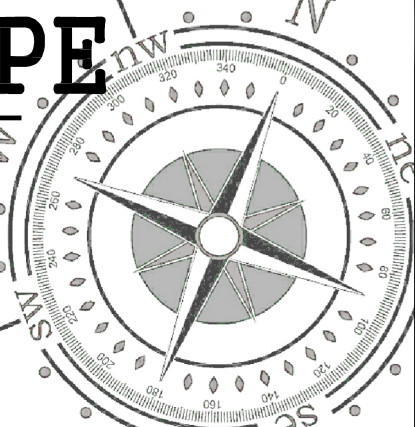


VICINITY MAP K-22-Z



Scott M McGee PE

9700 Tanoan Dr NE
Albuquerque, NM 87111
505.263.2905
scottmmcgee@gmail.com



CG-100

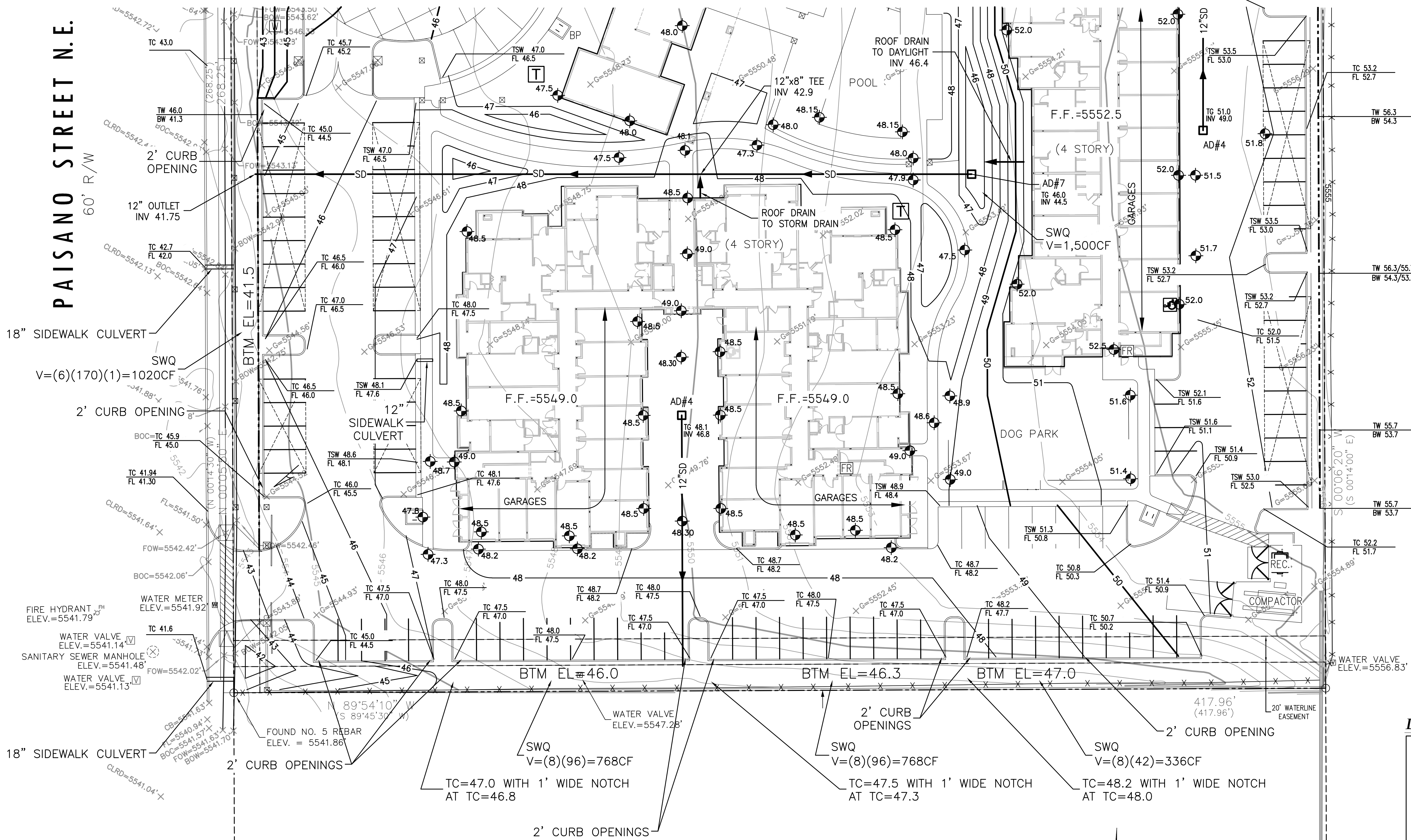
VIEW HOUSE APARTMENTS

540 PAISANO STREET NE
ALBUQUERQUE, NM 87112

FEBRUARY, 2022

PAISANO STREET N.E.

60' R/W



SOUTH GRADING AND DRAINAGE PLAN

1" = 20'

Legend

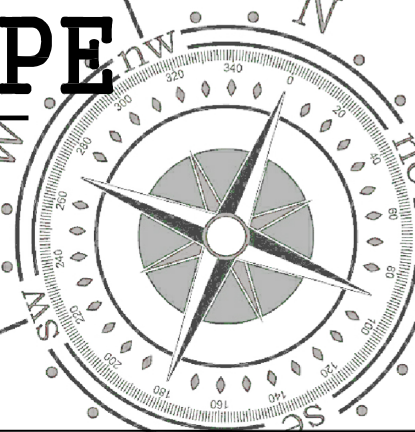
	EXISTING CONTOUR - MAJOR
	EXISTING CONTOUR - MINOR
	NEW CONTOUR - MAJOR
	NEW CONTOUR - MINOR
	RETAINING WALL
	HIGH POINT
	SPOT ELEVATION
	FLOW DIRECTION
	FINISH FLOOR ELEVATION
	ROOF DRAIN
	COVERED PARKING AREA
	ELECTRICAL TRANSFORMER

0 5' 10' 20' 40'
1" = 20'-0"



Scott M McGee PE

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CG-101