

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

October 19, 2020

Scott McGee, P.E.
9700 Tanoan Drive NE
Albuquerque, NM 87111

**RE: Copper Terrace Apartments
12801 Copper Ave. NE
Grading and Drainage Plan
Engineer's Stamp Date: 09/23/20
Hydrology File: K22D062**

Dear Mr. McGee:

PO Box 1293

Based upon the information provided in your submittal received 10/06/20, the Grading & Drainage Plan is approved for SO19 Permit and Paving Permit.

Albuquerque

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

NM 87103

www.cabq.gov

Also, please provide Drainage Covenant for the stormwater quality ponds per Article 6-15(C) of the DPM as soon as possible since there will be no CO with this project. There is a recording fee (\$25, payable to Bernalillo County). Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996). Due to COVID-19, please follow the instructions:

Either email a pdf copy of the executed drainage covenant and the exhibit to clabadie@cabq.gov or either mail or drop off the originals. Please mail the \$25.00 recording fee check made payable to Bernalillo County to:

Planning Dept./DRC
Attn: Charlotte LaBadie
600 2nd St. NW, Ste. 400
ABQ, NM, 87102

If you drop off the originals, there is a drop box outside the building labeled DRC. Once approved and recorded, Charlotte will email you a copy.

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If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

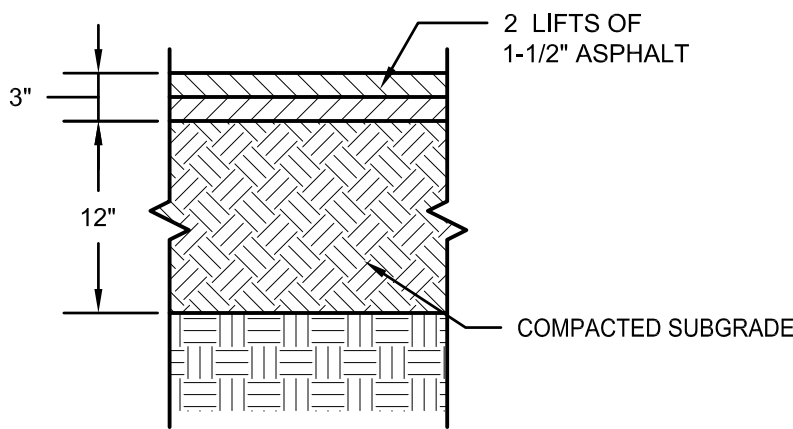
FEE PAID: _____

LEGEND

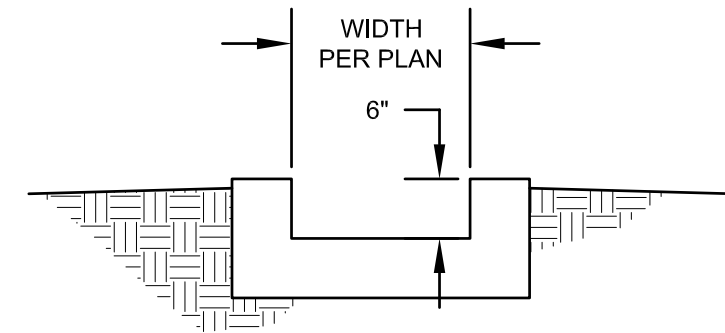
	EXISTING CONSTRUCTION
	NEW CONTOUR
	NEW SPOT ELEVATION
	TOP OF SIDEWALK
	TOP OF CURB
	FLOWLINE

KEYED NOTES

- A. REMOVE ALL EXISTING ONSITE PAVING AND SUBGRADE AS NEEDED TO REPLACE WITH NEW ASPHALT PAVEMENT AT GRADES SHOWN. THE NEW ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
- B. REMOVE ALL EXISTING ONSITE CONCRETE SIDEWALKS AND STEPS AND REPLACE WITH NEW CONCRETE SIDEWALKS. LONGITUDINAL SLOPE SHALL NOT EXCEED 5% (21' HORIZONTAL TO 1' VERTICAL PREFERRED) AND TRANSVERSE SLOPE AT 1% MAXIMUM.
- C. INSTALL 18" DRAIN BASIN (TG = 62.5 AND INV = 61.0) WITH 12" STORM DRAIN OUTLET LINE.
- D. INSTALL 12" DRAIN LINE AT 1% MIN. SLOPE TO DISCHARGE AS SHOWN.
- E. BUILD 24"-WIDE U-SHAPED CONCRETE CHANNEL.
- F. INSTALL 18" WIDE SIDEWALK CULVERT PER CITY STD DWG 2236 FROM PROPERTY LINE TO CURB FACE.



1 ASPHALT SECTION
NOT TO SCALE

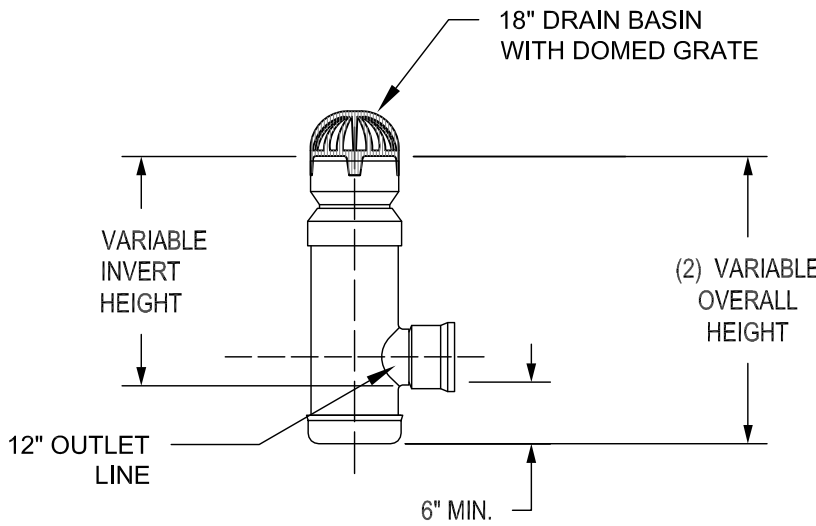


2 CONCRETE SWALE
NOT TO SCALE

Private Drainage Facilities within City Right-of-Way
Notice to Contractor
(Special Order 19 ~ "SO-19")

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact **New Mexico One Call**, dial **"811"** [or (505) 260-1990] for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets shall be performed on a 24-hour basis.
8. Contractor must contact Augie Armijo at 857-8607 and Construction Coordination at 924-3416 to schedule an inspection.

STREET MAINTENANCE INSPECTOR
APPROVAL _____

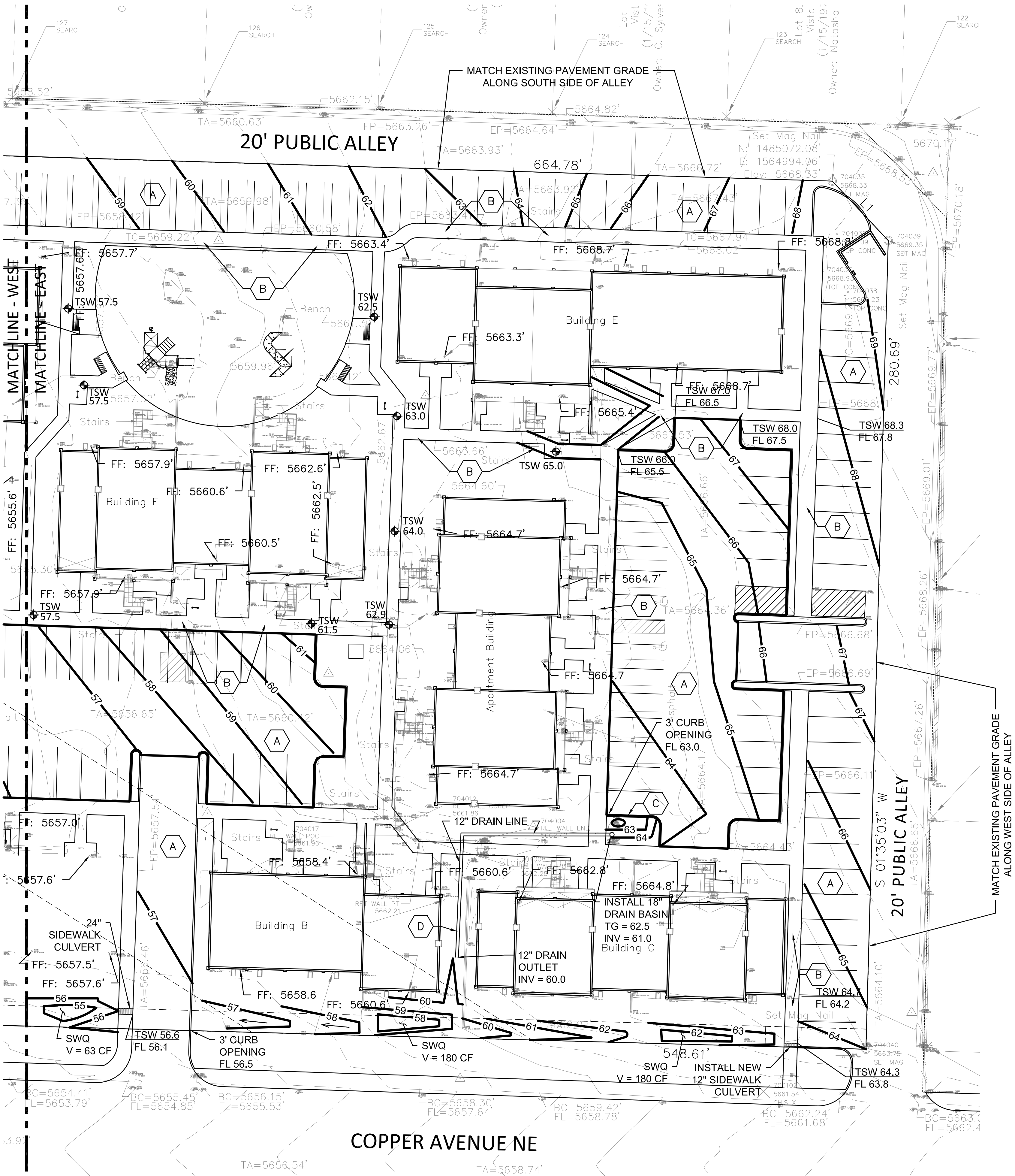


3 18" DRAIN BASIN
NOT TO SCALE

COPPER TERRACE APARTMENTS
12801 COPPER AVE. NE

Scott M McGee

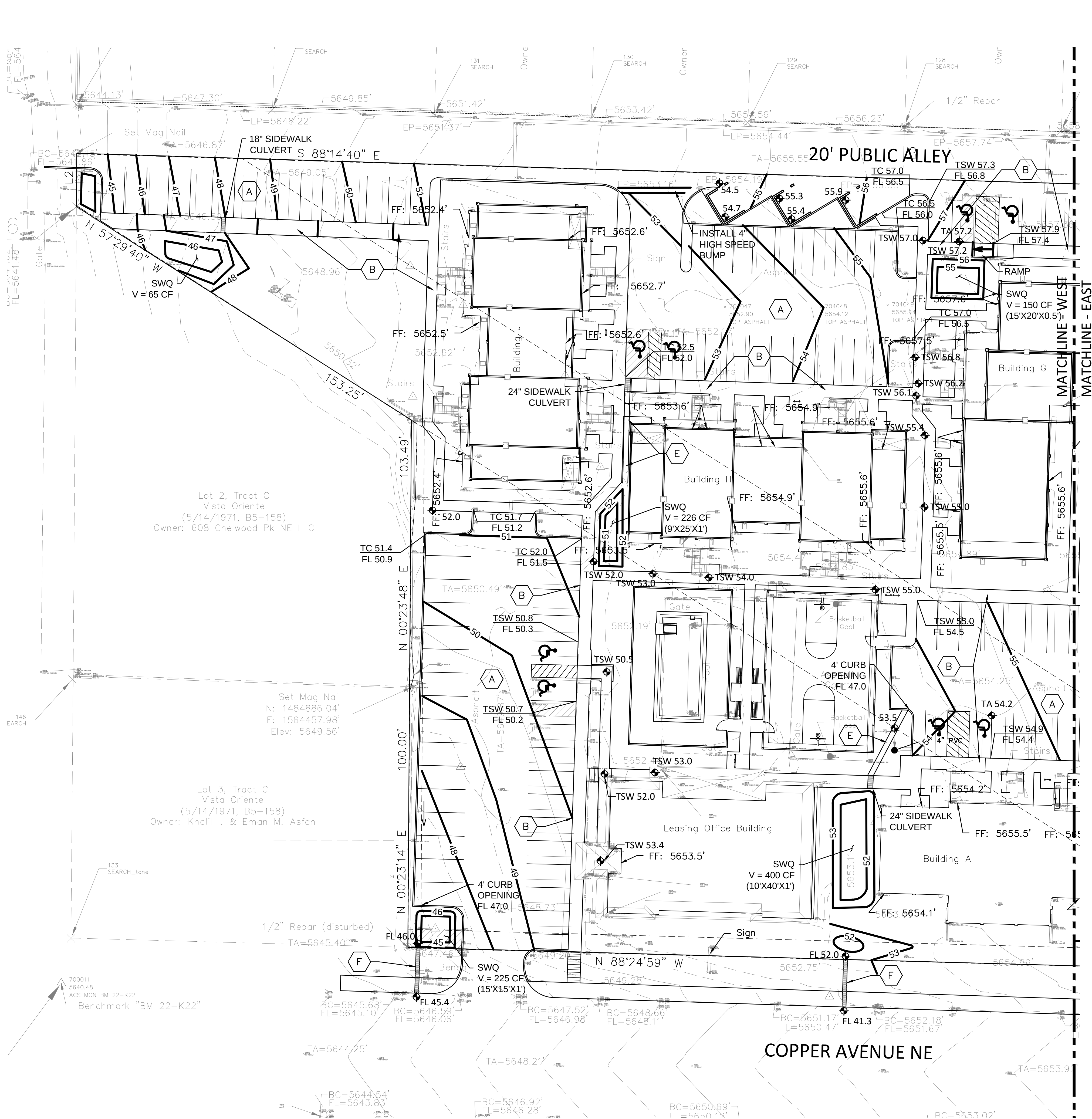
9700 Tanoan Dr NE
Albuquerque, NM 87111
505.263.2905
scottmmcgee@gmail.com



GRADING AND DRAINAGE PLAN - EAST

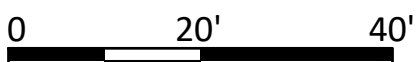
1" = 20'

0 20' 40'



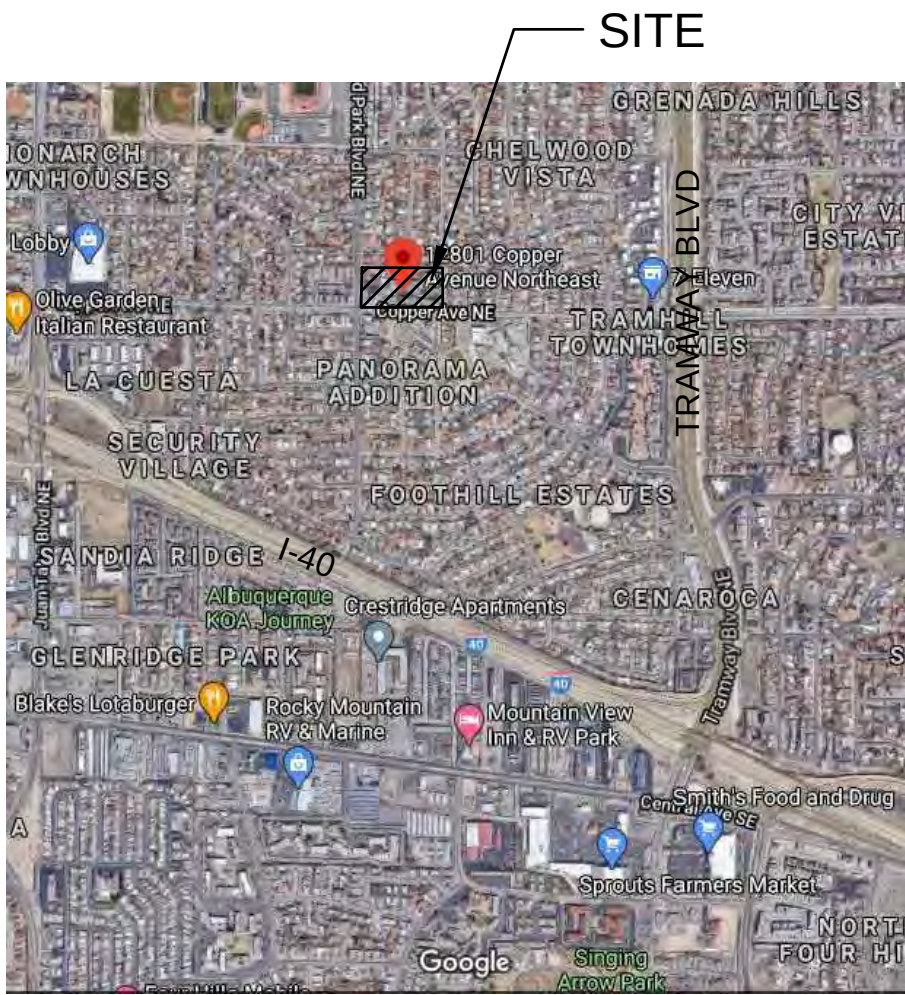
GRADING AND DRAINAGE PLAN - WEST

1" = 20'



KEYED NOTES

- A. REMOVE ALL EXISTING ONSITE PAVING AND SUBGRADE AS NEEDED TO REPLACE WITH NEW ASPHALT PAVEMENT AT GRADES SHOWN. THE NEW ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
- B. REMOVE ALL EXISTING ONSITE CONCRETE SIDEWALKS AND STEPS AND REPLACE WITH NEW CONCRETE SIDEWALKS. LONGITUDINAL SLOPE SHALL NOT EXCEED 5% (21' HORIZONTAL TO 1' VERTICAL PREFERRED) AND TRANSVERSE SLOPE AT 1% MAXIMUM.
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VICINITY MAP

LEGEND

	EXISTING CONSTRUCTION
	NEW CONTOUR
	NEW SPOT ELEVATION
	TOP OF SIDEWALK
	TOP OF CURB
	FLOWLINE

DRAINAGE ANALYSIS

ADDRESS: 12801 Copper Avenue NE, Albuquerque, NM

LEGAL DESCRIPTION: LOT 1 RE-DIVISION TRACT C VISTA ORIENTE

SITE AREA: 173,928 SF (3.99 acres) Disturbed area = 57,500 SF

BENCHMARK: City of Albuquerque Station '10-K21' being a brass cap. ELEV= 5557.514 (NAVD 1988)

SURVEYOR: Cartesian Surveys Inc dated July, 2020

PRECIPITATION ZONE: 4

FLOOD HAZARD: From FEMA Map 35001C0359G (9/26/08), this site is identified as being within Zone 'X' which is determined to be of minimal flood hazard. Both Chelwood Park Blvd and Copper Avenue are noted as Zone AO (Depth 1').

OFFSITE FLOW: The site does accept offsite flow from the public alley to the east (A=20' x 300'= 6000 SF) and it will continue to accept this minor flow. The public alley along the north carries flow to the west.

EXISTING CONDITIONS: The site is currently developed with 9 residential buildings and a community center. The site slopes down to the west at 3-4% and the sheet flow discharges to both Copper Avenue and Chelwood park Blvd NE.

PROPOSED IMPROVEMENTS: The proposed site renovation includes the removal and replacement of the asphalt paved access and parking, interior sidewalks, and areas of renovated landscaping.

DRAINAGE APPROACH: The site drainage pattern will follow historic conditions and include the multiple onsite retention ponds for the Storm Water Quality (SWQ) volumes. Each sub-area was used to calculate the SWQ volume based on re-development using 0.28" per SF to calculate volumes.

Existing = Proposed land treatment: 2% B 29% C and 69% D
Q= [(0.02)(2.92)+(0.29)(3.73)+(.69)(5.25)](3.993)= 19.0 CFS

SWQ V= (57,500)(0.28/12)= 1,342 CF
Total retention volume provided onsite is 1,378 CF
The proposed retention pond areas will combine to contain the SWQ volume. Site runoff will not increase from the historic discharge rate.

COPPER TERRACE APARTMENTS
12801 COPPER AVE. NE

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