

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Interim Director



Mayor Timothy M. Keller

November 5, 2021

Fred C. Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. N.E
Albuquerque, NM 87108

**RE: San Jacinto Ave Residential
12710 San Jacinto Ave. NE
Grading and Drainage Plan
Engineer's Stamp Date: 09/22/21
Hydrology File: K22D063**

Dear Mr. Arfman:

PO Box 1293

Based upon the information provided in your submittal received 09/22/2021, the Grading & Drainage Plan is approved for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

PRIOR TO CERTIFICATE OF OCCUPANCY:

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide Drainage Covenant for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit an electronic file of the Covenant and Exhibit for completeness to Marion G. Velasquez at mgvelasquez@cabq.gov. Once the electronic file is approved for completeness, please submit the original copies along with the **\$ 25.00** recording fee check made payable to Bernalillo County to Marion on the 4th floor of Plaza de Sol.

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

CITY OF ALBUQUERQUE

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If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: San Jacinto Ave Residential Building Permit #: _____ Hydrology File #: K22

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lots 8, 9 & 10, Block 3, Panorama Addition

City Address: 12710 San Jacinto Ave. NE

Applicant: Isaacson & Arfman, Inc. Contact: Fred C. Arfman or Bryan J. Bobrick

Address: 128 Monroe Street NE - Albuquerque, NM 87108

Phone#: (505) 268-8828 Fax#: _____ E-mail: freda@iacivil.com bryanb@iacivil.com

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

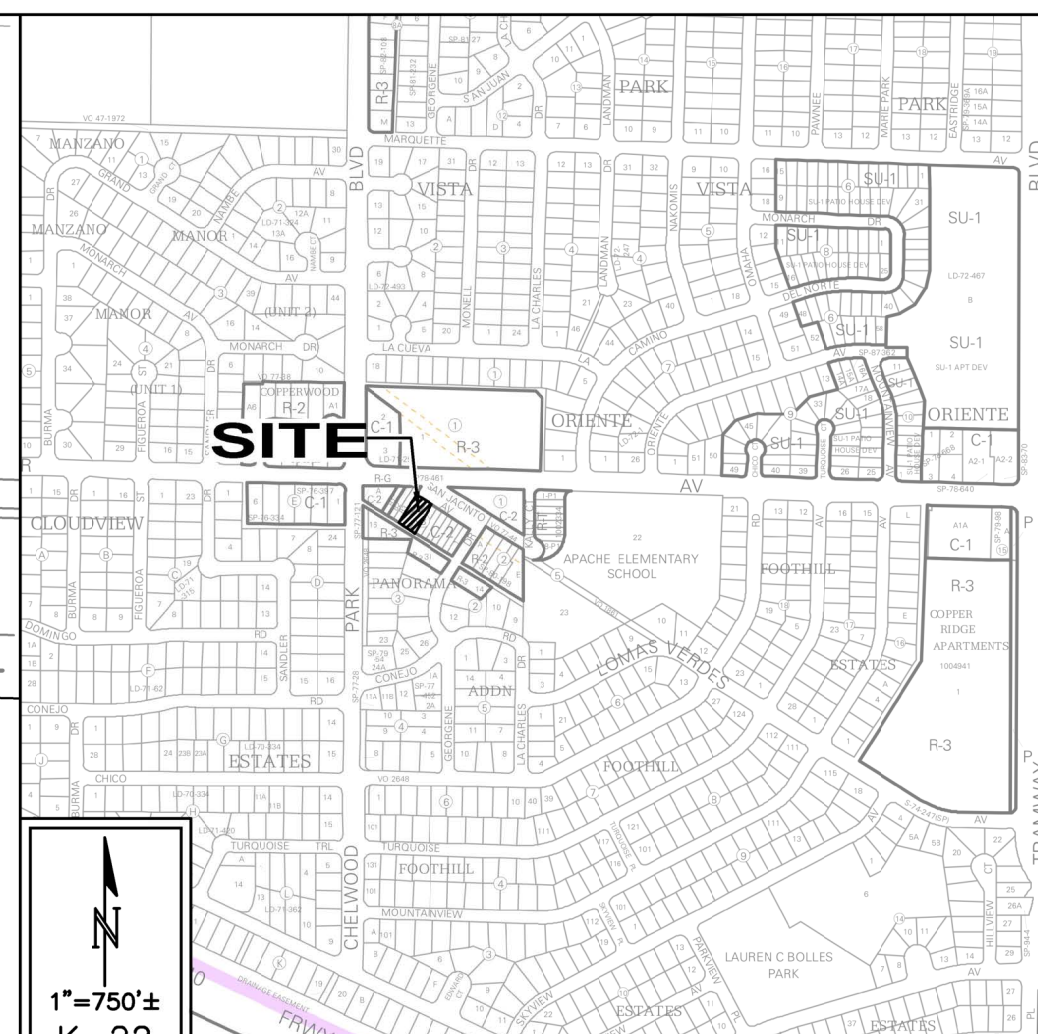
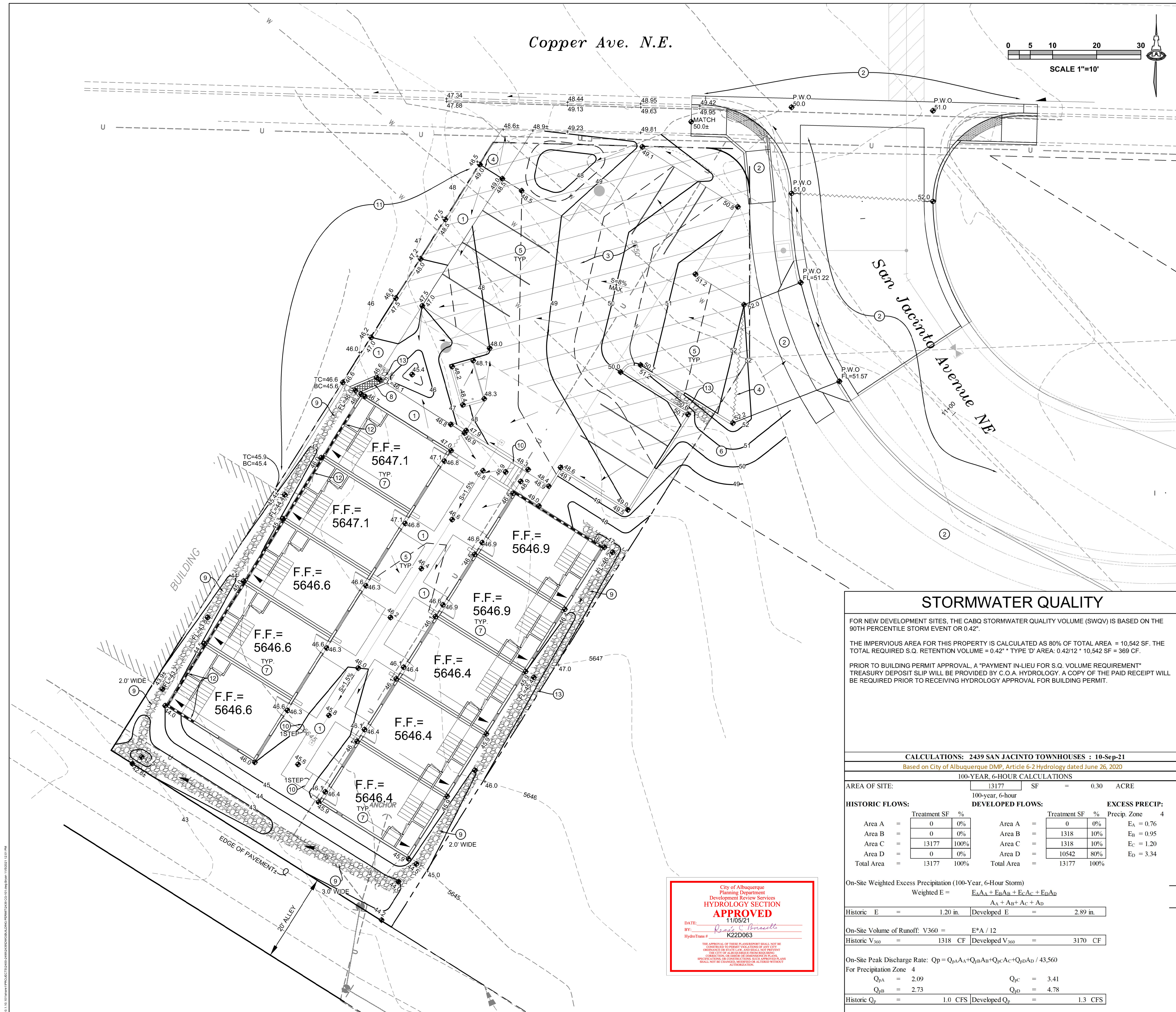
- BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: September 22, 2021 By: Fred C. Arfman

COA STAFF: _____

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



PROJECT INFORMATION

PROPERTY: THE SITE IS AN UNDEVELOPED MX-M ZONED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP K-22. THE SITE IS BOUND TO THE NORTHEAST BY SAN JACINTO AVE. NE, TO THE EAST BY UNDEVELOPED PROPERTY, TO THE WEST BY DEVELOPED RESIDENTIAL, TO THE NORTH BY COPPER AVE. NE AND TO THE SOUTH A PUBLIC ALLEY.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE RESIDENTIAL TOWNHOME UNITS WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, LANDSCAPING.

LEGAL: LOTS 8, 9 AND 10, BLOCK 3, PANORAMA ADDITION, ALBUQUERQUE, NM. TO BE REPLATTED AS LOT 9A WITH THE ADDITION OF VACATED PORTION OF CITY R.O.W.

ADDRESS: 12710 SAN JACINTO AVE. N.E.

BENCHMARK: SURVEY CONTROL MONUMENT "16_K23", ELEVATION = 5747.765 FEET (NAVD 1988)

OFF-SITE FLOW: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #35001C0359G, EFFECTIVE DATE 9/26/2008, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN. THE FULL WIDTH OF COPPER AVE. NE BORDERING THE NORTH EDGE OF THE PROPERTY IS WITHIN FLOODZONE AO (DEPTH 1').

DRAINAGE PLAN CONCEPT: DEVELOPED STORMWATER WILL BE ROUTED SOUTH THROUGH THE PROPERTY, FREE DISCHARGE INTO THE EXISTING ALLEY AND FOLLOW THE HISTORIC FLOWPATH.

KEYED NOTES

- SIDEWALK(S) AND RAMP(S): TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%.
- CONSTRUCTION WITHIN THE R.O.W. INCLUDING ENTRANCE DRIVE, CONCRETE VALLEY GUTTER, PUBLIC SIDEWALK, STREET PAVEMENT, ADA COMPLIANT RAMPS, ETC. TO BE CONSTRUCTED BY PUBLIC WORK ORDER. GRADES WITHIN R/W ARE SHOWN FOR INFORMATION ONLY. NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
- NEW PAVING AT ELEVATIONS SHOWN.
- HIGH POINT / GRADE BREAK.
- 0.5' DESIGN CONTOURS ARE SHOWN DASHED AS NECESSARY TO CLARIFY GRADING CONCEPT. SEE LEGEND FOR ADDITIONAL INFORMATION.
- 4:1 GRADING ON ADJACENT PROPERTY TO TRANSITION TO EXISTING GRADES.
- CONCENTRATED ROOF DISCHARGE TO BACK OF UNIT. INSTALL PRECAST SPLASHPAD AT EACH (TYP). EXTEND EROSION PROTECTION TO SPLASHPAD.
- 18" WIDE (BOTTOM WIDTH) COVERED CONCRETE SIDEWALK CULVERT.
- 8" THICK X 3" DEPRESSED ANGULAR ROCK SWALE. SEE PLAN FOR SWALE WIDTH. SEE DETAIL ON SHEET CG-501.
- CONCRETE STEPS TO ACHIEVE REQUIRED GRADE DIFFERENCE. SEE ARCHITECTURAL FOR DETAILS.
- CONSTRUCT CONCRETE CURB OR GARDEN RETAINING WALL (RETAINING - 12") TO ACCOMMODATE GRADE DIFFERENCE. SEE SECTION ON CG-501. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
- BUILDING RETAINING/EXTENDED STEMWALL REQUIRED TO ACHIEVE GRADES SHOWN. SEE ARCHITECTURAL / STRUCTURAL PLANS.
- INSTALL 8" THICK ANGULAR ROCK EROSION PROTECTION. SEE DETAIL SHEET CG-501.
 - 13.1. ALL SLOPES > 3:1;
 - 13.2. 3'x3' AT ENTRANCE AND EXIT TO COVERED SIDEWALK CULVERT;
 - 13.3. DRAINAGE SWALES PER KEYED NOTE #9.

STORMWATER QUALITY

FOR NEW DEVELOPMENT SITES, THE CABQ STORMWATER QUALITY VOLUME (SWQV) IS BASED ON THE 90TH PERCENTILE STORM EVENT OR 0.42".

THE IMPERVIOUS AREA FOR THIS PROPERTY IS CALCULATED AS 80% OF TOTAL AREA = 10,542 SF. THE TOTAL REQUIRED S.Q. RETENTION VOLUME = 0.42" * TYPE 'D' AREA: 0.42/12 * 10,542 SF = 369 CF.

PRIOR TO BUILDING PERMIT APPROVAL, A "PAYMENT-IN-LIEU FOR S.Q. VOLUME REQUIREMENT" TREASURY DEPOSIT SLIP WILL BE PROVIDED BY C.O.A. HYDROLOGY. A COPY OF THE PAID RECEIPT WILL BE REQUIRED PRIOR TO RECEIVING HYDROLOGY APPROVAL FOR BUILDING PERMIT.

CALCULATIONS: 2439 SAN JACINTO TOWNHOUSES : 10-Sep-21
Based on City of Albuquerque DMP, Article 6-2 Hydrology dated June 26, 2020

100-YEAR, 6-HOUR CALCULATIONS

AREA OF SITE:	13177	SF	=	0.30	ACRE
100-year, 6-hour					
HISTORIC FLOWS:	Treatment SF %		DEVELOPED FLOWS:		EXCESS PRECIP:
Area A	0	0%	Area A	0	0%
Area B	0	0%	Area B	1318	10%
Area C	13177	100%	Area C	1318	10%
Area D	0	0%	Area D	10542	80%
Total Area	13177	100%	Total Area	13177	100%

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)
Weighted E = $E_A A_A + E_B A_B + E_C A_C + E_D A_D$
 $A_A + A_B + A_C + A_D$

Historic E = 1.20 in. Developed E = 2.89 in.

On-Site Volume of Runoff: $V_{360} = E^* A / 12$
Historic $V_{360} = 1318$ CF Developed $V_{360} = 3170$ CF

On-Site Peak Discharge Rate: $Q_p = Q_{pA} A_A + Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D / 43,560$
For Precipitation Zone 4

$Q_{pA} = 2.09$	$Q_{pC} = 3.41$
$Q_{pB} = 2.73$	$Q_{pD} = 4.78$
Historic $Q_p = 1.0$ CFS	Developed $Q_p = 1.3$ CFS

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 11/05/21
BY: *Renee C. Brissette*
HydroTrans # K22D063

THE APPROVAL OF THESE PLANS SHALL NOT BE CONSIDERED TO BE A GUARANTEE OF ANY CITY OR COUNTY OR STATE OR FEDERAL AGENCY. THE CITY OF ALBUQUERQUE, NEW MEXICO, DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION OR DATA PROVIDED HEREON. SPECIFICATIONS ON CONTRACT SHALL BE APPROVED PLANS. SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.

Isaacson & Arfman, Inc.
Civil Engineering Consultants

128 Monroe Street NE
Albuquerque, NM 87108
505-266-8828 | www.iafcivil.com

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Engineer

SAN JACINTO AVE. TOWNHOMES
Albuquerque, New Mexico 87114

CONSTRUCTION DOCUMENTS	ISSUE: DOCUMENTS
PROJECT NUMBER: IA 2439	FILE: BJB
DRAWN BY: FCA	CHECKED BY: DATE: SEPT. 14, 2021

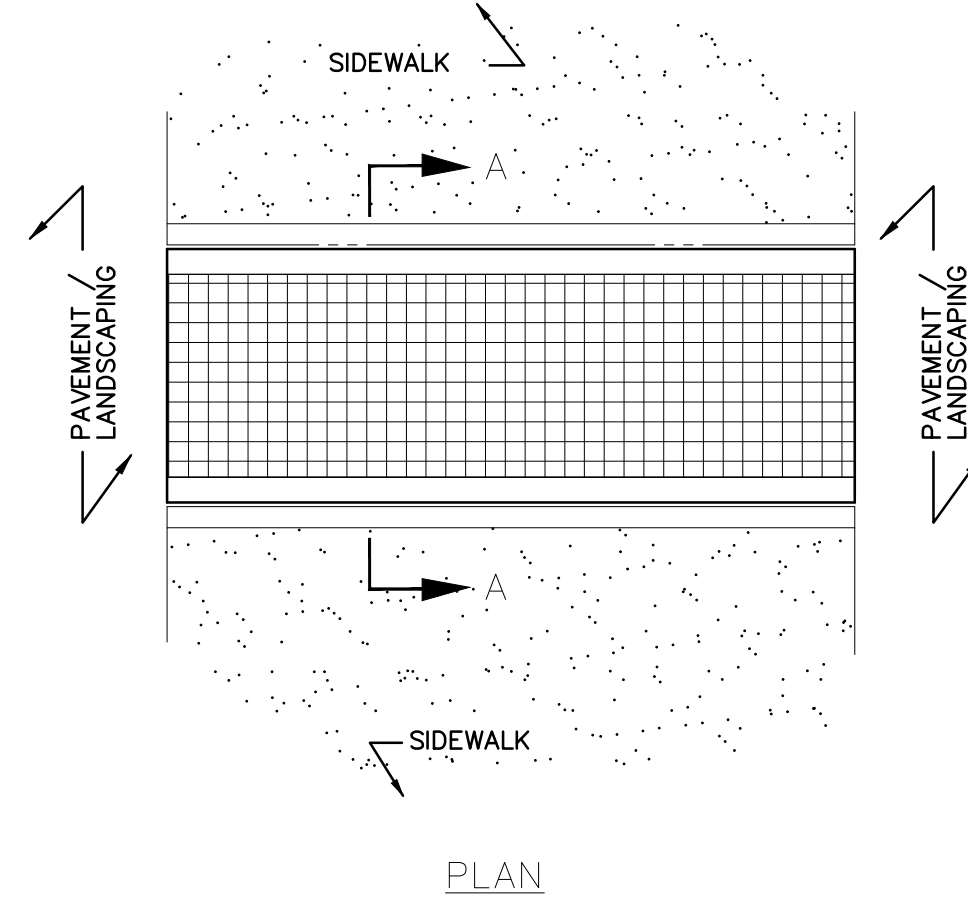
No	Date	Description

LEGEND

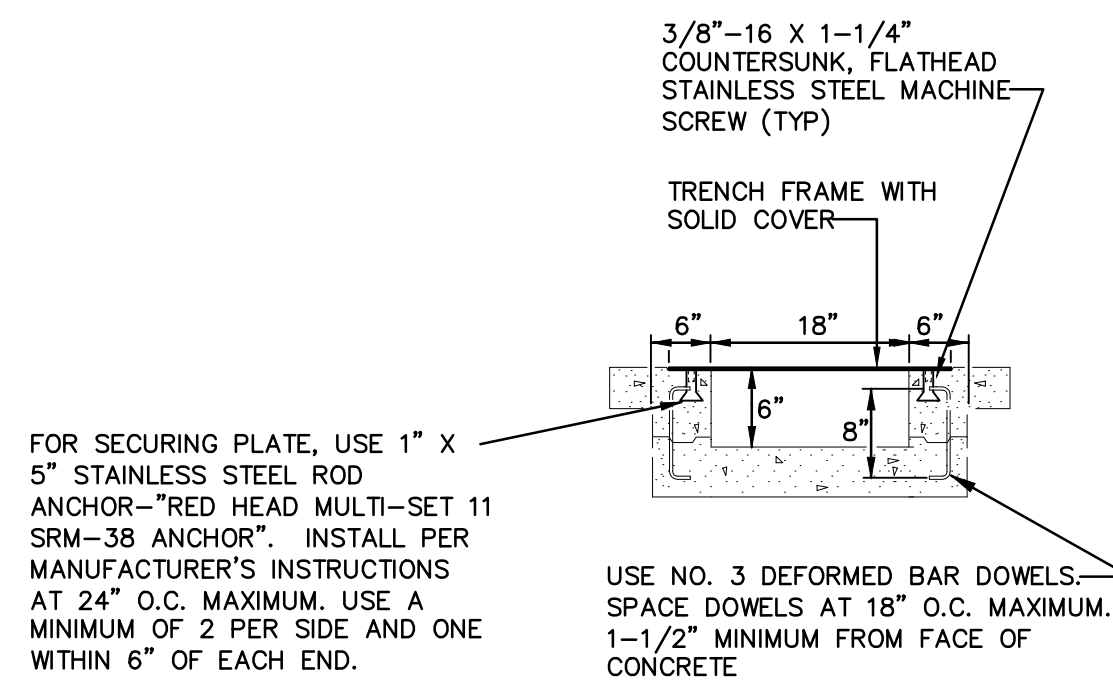
- 5647 --- EXISTING CONTOUR
- 42 --- PROPOSED 1.0' CONTOUR
- 42.5 --- PROPOSED 0.5' CONTOUR
- ◆ 42.4 --- PROPOSED SPOT ELEVATION
- FLOW DIRECTION
- FF = 5646.40 FINISH FLOOR ELEVATION

SHEET TITLE
GRADING & DRAINAGE PLAN

SHEET NUMBER
CG-101



PLAN

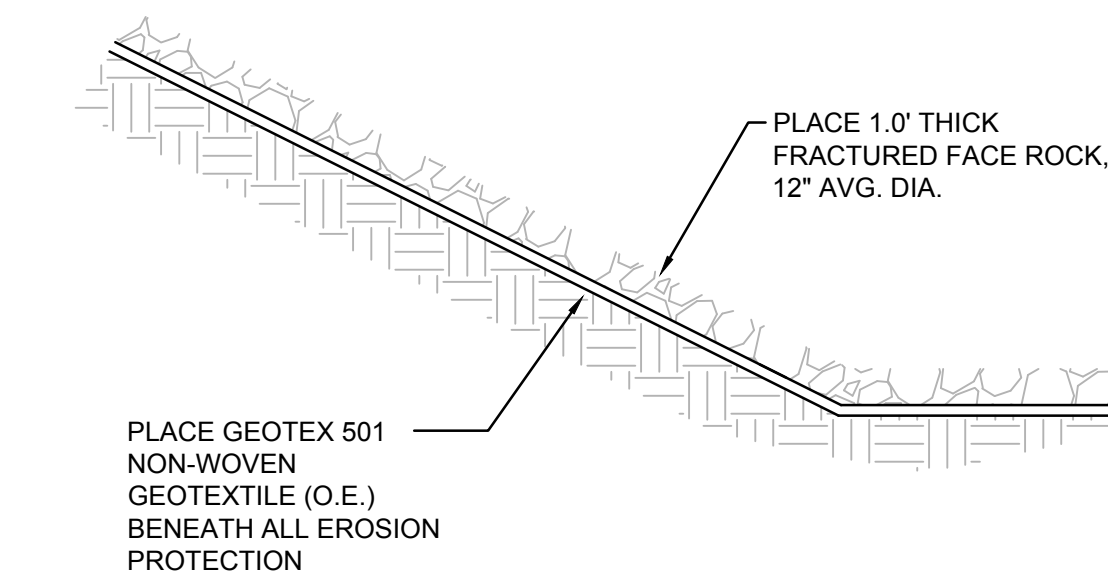


SECTION A-A

SCALE: N.T.S.

EROSION PROTECTION - MEDIUM

- 4" AVERAGE DIAMETER (D60) ANGULAR ROCK (VARY BETWEEN 2" AND 6" DIAMETER. TOTAL THICKNESS = 8" TYPICAL).
- PLACE GEOTEX 501 NON-WOVEN GEOTEXTILE (O.E.) BENEATH ALL EROSION PROTECTION
- INSTALL ALL EROSION PROTECTION FLUSH WITH ADJACENT GRADE TO ENSURE RUNOFF CAN BE CAPTURED AND CONVEYED PROPERLY.

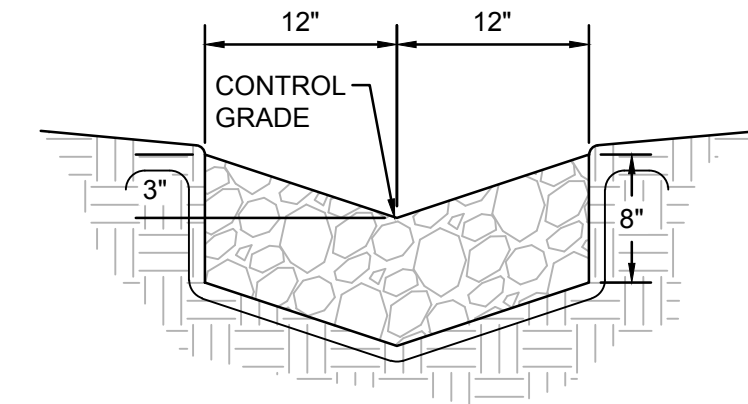


SCALE: N.T.S.

ANGULAR ROCK EROSION PROTECTION

GENERAL NOTES

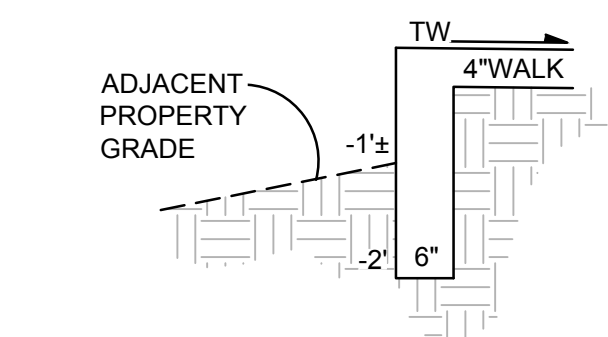
- 4" AVERAGE DIAMETER (D60) ANGULAR ROCK (VARY BETWEEN 2" AND 6" DIAMETER)
- PLACE GEOTEX 501 NON-WOVEN GEOTEXTILE (O.E.) BENEATH ALL EROSION PROTECTION
- INSTALL ALL EROSION PROTECTION FLUSH WITH ADJACENT GRADE TO ENSURE RUNOFF CAN BE CAPTURED AND CONVEYED PROPERLY.
- EROSION PROTECTION THICKNESS = 2 X D60
- SWALE INVERT TO BE DEPRESSED 1.5" PER FOOT OF WIDTH.
 - 2' WIDE = 3" DEPRESSED
 - 4' WIDE = 6" DEPRESSED



SCALE: N.T.S.

TURNED DOWN GRADE TRANSITION AT R

NEW SIDEWALK ALONG WEST PROPERTY LINE SHALL BE CONSTRUCTED WITH TURNED DOWN EDGE OR APPROVED EQUAL TO ACHIEVE TRANSITION BETWEEN PROPOSED GRADE AND EXISTING ADJACENT PAVEMENT. BASED ON SURVEY INFORMATION, MAX. GRADE DIFFERENCE = 1'0". FINAL DESIGN, INCLUDING GUARDRAILS, IF REQUIRED, SHALL BE PROVIDED BY OTHERS.



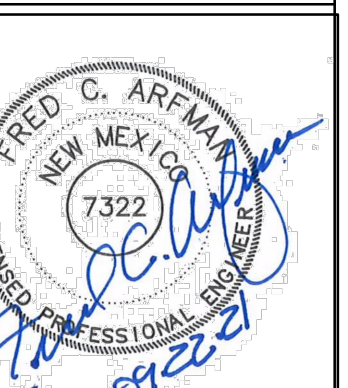
SCALE: N.T.S.

CIVIL GENERAL NOTES

- LAWS, CODES, RULES AND REGULATIONS: THE CONTRACTOR SHALL ABIDE BY ALL STATE, LOCAL, AND FEDERAL LAWS, CODES, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA AND ADA REQUIREMENTS.
- STANDARDS AND SPECIFICATIONS - THE GOVERNING AUTHORITIES' PUBLIC WORKS AND WATER DEPARTMENT REQUIREMENTS, PLUMBING CODES, AND FIRE DEPARTMENT REGULATIONS SHALL TAKE PRECEDENCE FOR ALL PRIVATE IMPROVEMENTS WHERE APPLICABLE. ALL OTHER PRIVATE CONSTRUCTION, NOT REGULATED BY THE GOVERNING AUTHORITY, SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION, LATEST PRINTING AND AMENDMENTS THERETO, EXCEPT AS MODIFIED OR AMENDED BY THE PROJECT CONTRACT DOCUMENTS.
- SUBSURFACE INVESTIGATION: SUBSURFACE EXPLORATION TO ASCERTAIN THE NATURE OF SOILS IS THE RESPONSIBILITY OF THE CONTRACTOR. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE SUCH SUBSURFACE INVESTIGATIONS AS HE DEEMS NECESSARY TO DETERMINE THE NATURE OF THE MATERIAL TO BE ENCOUNTERED.
- TOPOGRAPHIC SURVEY: TOPOGRAPHIC SURVEY INFORMATION SHOWN WAS PROVIDED BY THE OWNER AND IS INCLUDED FOR INFORMATIONAL PURPOSES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE INFORMATION SHOWN IS CORRECT, AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY ERRORS, DISCREPANCIES OR OMISSIONS TO THE SURVEY INFORMATION PROVIDED.
- COMPLIANCE WITH LAWS: THE CONTRACTOR SHALL FULLY COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, INCLUDING ALL CODES, ORDINANCES AND REGULATIONS APPLICABLE TO THE WORK TO BE DONE
- PUBLIC CONVENIENCE AND SAFETY: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. MATERIALS STORED ON THE WORK SITE SHALL BE SO PLACED, AND THE WORK SHALL AT ALL TIMES BE SO CONDUCTED, AS TO CAUSE NO GREATER OBSTRUCTION TO THE TRAVELING PUBLIC THAN IS CONSIDERED ACCEPTABLE BY THE GOVERNING AUTHORITIES AND THE DEVELOPER. THE MATERIALS EXCAVATED SHALL BE PLACED SO AS NOT TO ENDANGER THE WORK OR PREVENT FREE ACCESS TO ALL FIRE HYDRANTS, WATER VALVES, GAS VALVES, MANHOLES, AND FIRE ALARM OR POLICE CALL BOXES IN THE VICINITY.
- SURVEYING: ALL SURVEYING REQUIRED FOR CONSTRUCTION STAKING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL EMPLOY A REGISTERED PROFESSIONAL LAND SURVEYOR TO PERFORM ALL ADDITIONAL SURVEY, LAYOUT AND MEASUREMENT WORK NECESSARY FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL VERIFY THE SITE BENCHMARKS' ELEVATION SHOWN ON THE PLANS AND REPORT ANY DISCREPANCIES TO THE OWNER AND ENGINEER PRIOR TO ANY CONSTRUCTION STAKING. ALL CONSTRUCTION TRADES SHALL COORDINATE THROUGH THE GENERAL CONTRACTOR USING THE SAME BENCHMARKS FOR VERTICAL CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE REMOVAL, REPLACEMENT AND REDESIGN OF ANY IMPROVEMENTS CONSTRUCTED PRIOR TO CHECKING HORIZONTAL/VERTICAL CONTROL AND PLAN DIMENSIONS AND NOTIFICATION OF ANY DISCREPANCIES TO THE OWNER AND ENGINEER.
- PROTECTION OF PROPERTY CORNERS AND BENCHMARKS: THE CONTRACTOR SHALL PROTECT ALL PROPERTY CORNER MARKERS AND BENCHMARKS, AND WHEN ANY SUCH MARKERS OR MONUMENTS ARE IN DANGER OF BEING DISTURBED, THEY SHALL BE PROPERLY REFERENCED AND IF DISTURBED SHALL BE RESET BY A REGISTERED LICENSED SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- EXISTING STRUCTURES: THE SURVEY, PROVIDED BY THE PROPERTY OWNER, SHOWS THE LOCATION OF KNOWN SURFACE AND SUBSURFACE STRUCTURES, HOWEVER, THE ENGINEER ASSUMES NO RESPONSIBILITY FOR FAILURE TO SHOW ANY OR ALL OF THESE STRUCTURES ON THE PLANS, OR TO SHOW THEM IN THEIR EXACT LOCATION.
- PROTECTION OF EXISTING UTILITIES: NEW MEXICO ONE CALL (NM811 PHONE: 1-800-321-2537) SYSTEM MUST BE CONTACTED AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION OPERATIONS BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT NM811 SYSTEM. THE LOCATION AND DIMENSIONS SHOWN ON THE PLANS RELATIVE TO EXISTING UTILITIES ARE BASED ON THE BEST RECORDED AND/OR FIELD INFORMATION AVAILABLE AND ARE NOT GUARANTEED BY THE DEVELOPER OR ENGINEER TO BE ACCURATE AS TO LOCATION AND DEPTH. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS OF ADJACENT AND/OR CONFLICTING UTILITIES SUFFICIENTLY IN ADVANCE OF HIS ACTIVITIES IN ORDER TO NEGOTIATE SUCH LOCAL ADJUSTMENTS AS NECESSARY IN THE CONSTRUCTION PROCESS TO PROVIDE ADEQUATE CLEARANCES. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL EXISTING UTILITIES, SERVICES AND STRUCTURES ENCOUNTERED, WHETHER OR NOT THEY ARE INDICATED ON THE PLANS. ANY DAMAGE TO UTILITIES RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED AT HIS/HER EXPENSE. TO AVOID UNNECESSARY INTERFERENCES OR DELAYS, THE CONTRACTOR SHALL COORDINATE ALL UTILITY REMOVALS, REPLACEMENTS AND CONSTRUCTION WITH THE APPROPRIATE GOVERNING AUTHORITIES. THEIR REQUEST WRITTEN AUTHORIZATION FROM THE ENGINEER. THE DEVELOPER WILL NOT BE LIABLE FOR DAMAGES DUE TO DELAY AS A RESULT OF THE ABOVE.
- ELECTRIC UTILITIES: THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING, IN ADVANCE OF THEIR CONSTRUCTION OPERATIONS, IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION IS EVIDENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ALL COSTS FOR THESE REQUIREMENTS ARE INCIDENTAL TO THE CONTRACT.
- DAMAGE TO EXISTING FACILITIES: ALL UTILITIES, PAVEMENT, SIDEWALKS, WALLS, FENCES, ETC. NOT DESIGNATED TO BE REMOVED BUT THAT ARE DAMAGED DURING CONSTRUCTION ACTIVITIES SHALL BE REPLACED TO A CONDITION AS GOOD AS OR BETTER THAN THE CONDITIONS PRIOR TO STARTING THE WORK, SOLELY AT THE EXPENSE OF THE CONTRACTOR.
- RECORD INFORMATION: THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES. THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS OR KEYED NOTES SHALL BE USED.
- ALL SITE PREPARATION, GRADING OPERATIONS, FOUNDATION CONSTRUCTION, AND PAVEMENT INSTALLATION WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, IF ONE IS PROVIDED BY THE OWNER OR ARCHITECT. ALL OTHER WORK SHALL, UNLESS OTHERWISE NOTED IN THE PLANS, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATION (FIRST PRIORITY), AND/OR NMDOT STANDARD SPECIFICATIONS FOR PUBLIC WORK (SECOND PRIORITY.)
- VIBRATORY COMPACTION SHALL NOT BE USED OVER IN-PLACE UTILITIES.
- STRIPPING AND DEBRIS REMOVAL: ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE SHALL BE APPROPRIATELY DISPOSED OF OFF-SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMITS REQUIRED TO HAUL OR DISPOSE OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS.
- PROPOSED GRADES: THE PROPOSED CONTOURS INDICATED ON THE GRADING PLAN ARE FINISHED GRADES AND ARE SHOWN AT ONE-FOOT INTERVALS UNLESS NOTED. SPOT ELEVATIONS SHOWN IN PAVED AREAS ARE TOP OF PAVEMENT, UNLESS NOTED OTHERWISE.
- EARTHWORK QUANTITIES: THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING THE EARTHWORK QUANTITIES BASED ON THE EXISTING CONTOURS SHOWN ON THESE PLANS. PROPOSED SPOT AND CONTOUR ELEVATIONS SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON PROPOSED ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- TRANSITION TO EXISTING: WHERE GRADES BETWEEN NEW AND EXISTING ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH.
- STRIPPING AND DEBRIS REMOVAL: THE BUILDING PAD SITES, AREAS TO BE PAVED, AND ALL AREAS THAT ARE TO RECEIVE FILL MATERIAL SHALL BE STRIPPED OF VEGETATION, TREES, ROOTS, STUMPS, DEBRIS, AND OTHER ORGANIC MATERIAL. THE DEPTH OF STRIPPING IS ESTIMATED TO BE ON THE ORDER OF SIX (6) INCHES IN ORDER TO REMOVE
- STORMWATER FACILITIES: POND DESIGN PARAMETERS AND STORMWATER CONTROL MEASURES SHOWN ON THIS PLAN (TOP OF POND, BOTTOM OF POND, SIZE AND ELEVATION OF ORIFICE, AREA OF POND, ETC.) TO BE STRICTLY ADHERED TO FOR CERTIFICATION PURPOSES. POST-CONSTRUCTION MAINTENANCE FOR PRIVATE STORMWATER FACILITIES WILL BE THE RESPONSIBILITY OF THE FACILITIES OWNER. PERIODIC INSPECTION AND CERTIFICATIONS OF THE FACILITIES MAY BE REQUIRED. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED.
- AS-BUILT SURVEY: FOR ENGINEER'S CERTIFICATION OF SUBSTANTIAL COMPLIANCE, CONTRACTOR SHALL PROVIDE AN AUTOCAD FORMAT AS-BUILT SURVEY PREPARED BY A LICENSED SURVEYOR WHICH INCLUDES:
 - AS-BUILT SPOT ELEVATIONS AT EACH DESIGN SPOT ELEVATION SHOWN ON THE APPROVED GRADING & DRAINAGE PLAN;
 - TOP AND BOTTOM AREAS AND ELEVATIONS AS REQUIRED TO CONFIRM THE VOLUMES OF PONDS;
 - POND OVERFLOW ELEVATIONS;
 - ALL CONSTRUCTION, INCLUDING DRAIN INLETS, PIPES AND PONDS SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLAN IN ORDER TO RECEIVE ENGINEER'S CERTIFICATION.
- GRADING OF STORMWATER QUALITY RETENTION PONDS WILL BE INSPECTED AS PART OF ENGINEER'S CERTIFICATION FOR CERTIFICATE OF OCCUPANCY.
- ELECTRONIC FILES: UPON WRITTEN REQUEST COORDINATED THROUGH THE PROJECT ARCHITECT, THE ELECTRONIC FILE OF THE GRADING AND DRAINAGE MAY BE PROVIDED TO THE CONTRACTOR FOR VERTICAL CONTROL. DO NOT USE GRADING & DRAINAGE PLAN FOR PROJECT STAKING AS THERE IS NO CERTAINTY THAT IT IS USING THE MOST CURRENT SITE BASE. SITE CONSTRUCTION LAYOUT / STAKING SHALL BE COORDINATED WITH THE ARCHITECT USING THE ARCHITECT PROVIDED SITE PLAN.
- EROSION AND SEDIMENT CONTROL: IF THE SITE IS SMALL ENOUGH NOT TO REQUIRE AN NOI, THE CONTRACTOR SHALL BE RESPONSIBLE FOR USING EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PUBLIC RIGHT-OF-WAY. MEASURES REQUIRED FOR EROSION AND SEDIMENT CONTROL SHALL BE INCIDENTAL TO THE PROJECT COST.
- PROTECTION OF ADJACENT PROPERTY: CONTRACTOR SHALL ASSUME FULL LIABILITY FOR DAMAGE TO ADJACENT PROPERTIES AND/OR PUBLIC RIGHT-OF-WAY RESULTING FROM FAILURE TO FULLY IMPLEMENT AND EXECUTE ALL EROSION CONTROL METHODS AND PROCEDURES SHOWN AND NOTED IN THE PLANS AND SWPs.
- BMP REMOVAL: THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL SEDIMENT BARRIERS AND INLET PROTECTION AFTER VEGETATION HAS BEEN COMPLETED AND ALL AREAS OF THE SITE HAVE BEEN STABILIZED AND ACCEPTED BY THE GOVERNING AUTHORITIES AND THE DEVELOPER.
- ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR AN IMPERVIOUS SURFACE SHALL BE RE-VEGETATED WITH NATIVE GRASS SEEDING IN ACCORDANCE WITH SECTION 1012 OF THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, APWA NM CHAPTER, CURRENT EDITION.
- EROSION PROTECTION - SLOPES: TYPICAL EROSION PROTECTION SHALL BE INSTALLED AT 8" TOTAL DEPTH, 4" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 501 NON-WOVEN GEOTEXTILE (O.E.) UNLESS NOTED. SIDESLOPES STEEPER THAN 3:1 MUST HAVE PERMANENT EROSION PROTECTION INSTALLED.
- EROSION PROTECTION - SWALES: TYPICAL EROSION PROTECTION WITHIN SWALES SHALL BE INSTALLED AT 8" TOTAL DEPTH, 4" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 501 NON-WOVEN GEOTEXTILE (O.E.) UNLESS NOTED. SWALES SHALL BE EXCAVATED SO THAT TOP OF ROCK IS FLUSH WITH ADJACENT GRADE.
- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FROM THE REGULATORY AGENCIES.
- ADJUST ALL RIMS OR COVERS OF UTILITY FEATURES (EXISTING AND NEW) AS NECESSARY TO MATCH NEW GRADES. RIMS AND COVERS IN PAVED AREAS SHALL BE HS-25 TRAFFIC RATED.

Isaacson & Arfman, Inc.
Civil Engineering Consultants
128 Monroe Street NE
Albuquerque, NM 87108
505-266-8828 | www.iafcivil.com

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Engineer

SAN JACINTO AVE.
TOWNHOMES
Albuquerque, New Mexico 87114

ISSUE:	PROJECT NUMBER:
FILE:	DRAWN BY:
CHECKED BY:	DATE:

No	Date	Description

SHEET TITLE

CIVIL NOTES & DETAILS

SHEET NUMBER

CG-501