

# CITY OF ALBUQUERQUE

*Planning Department*  
Brennon Williams, Director



*Mayor Timothy M. Keller*

April 20, 2022

Treveston Elliott, RA  
811 12<sup>th</sup> St NW  
Albuquerque, NM 87102

**Re: San Jacinto Ave. NE**  
**12710 San Jacinto Ave. NE**  
**Traffic Circulation Layout**  
Architect's Stamp 4-19-22 (K22-D063)

Dear Mr. Elliott,

The TCL submittal received 04-19-2022 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

*Jeanne Wolfenbarger*  
Jeanne Wolfenbarger, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\xxx via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** 12710 San Jacinto **Building Permit #:** BP-2022-06558 **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** 12710 San Jacinto Ave. NE Albuquerque NM 87123

**Applicant:** Treveston Elliott Architect **Contact:** Treveston Elliott

**Address:** 811 12th St NW Albuquerque NM 87102

**Phone#:** 505.259.4617 **Fax#:** \_\_\_\_\_ **E-mail:** treveston@tearchitect.com

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes \_\_\_\_\_ No

**DEPARTMENT** ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

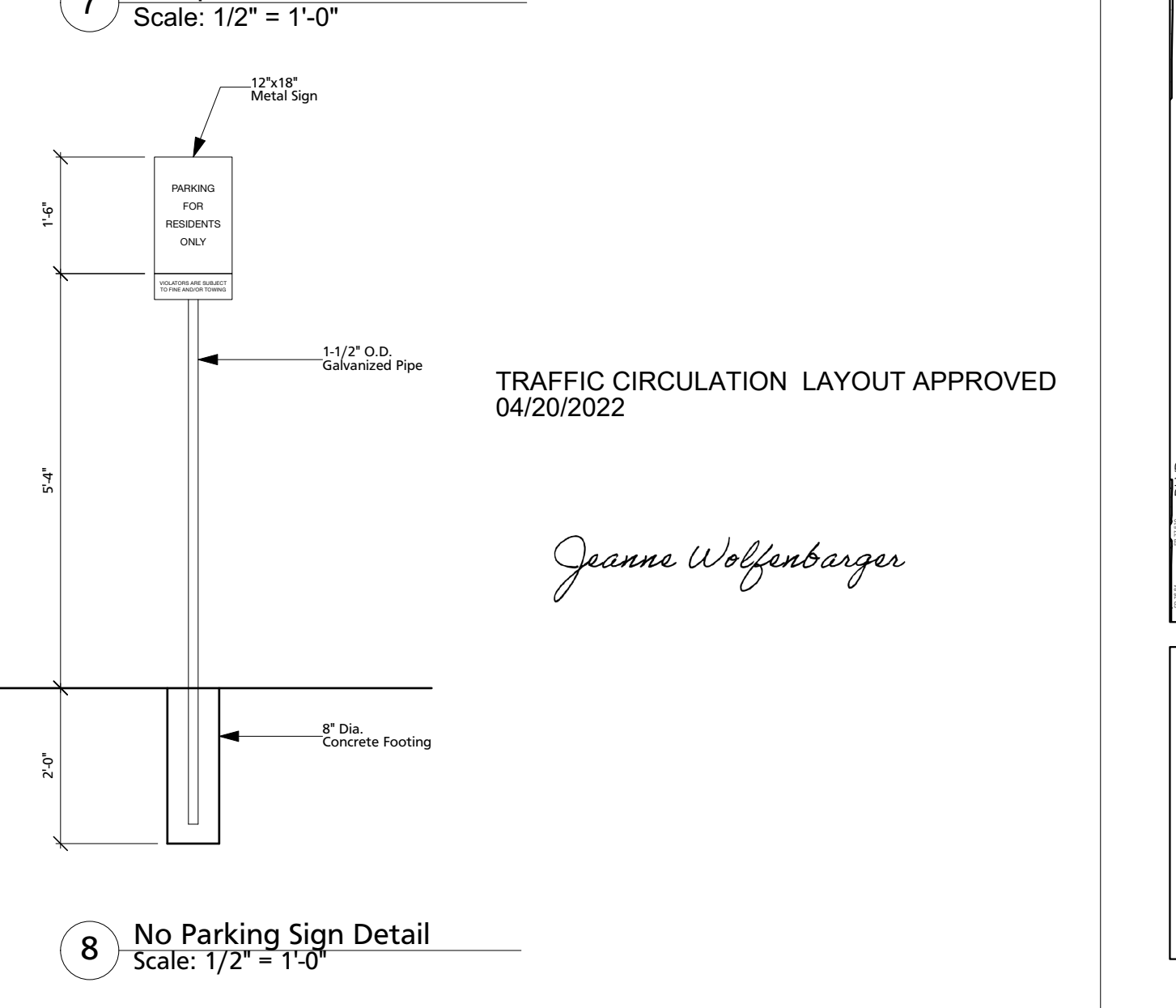
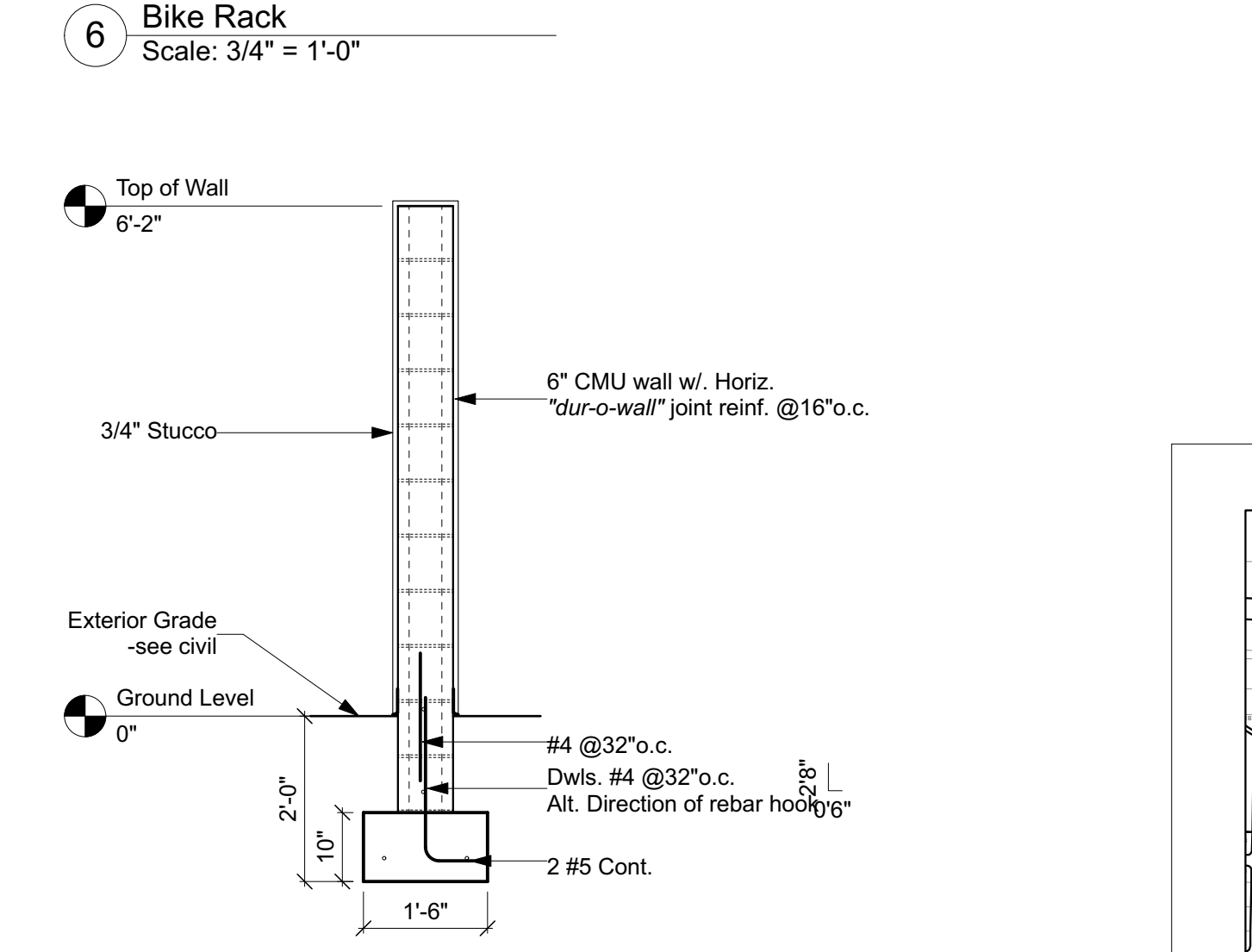
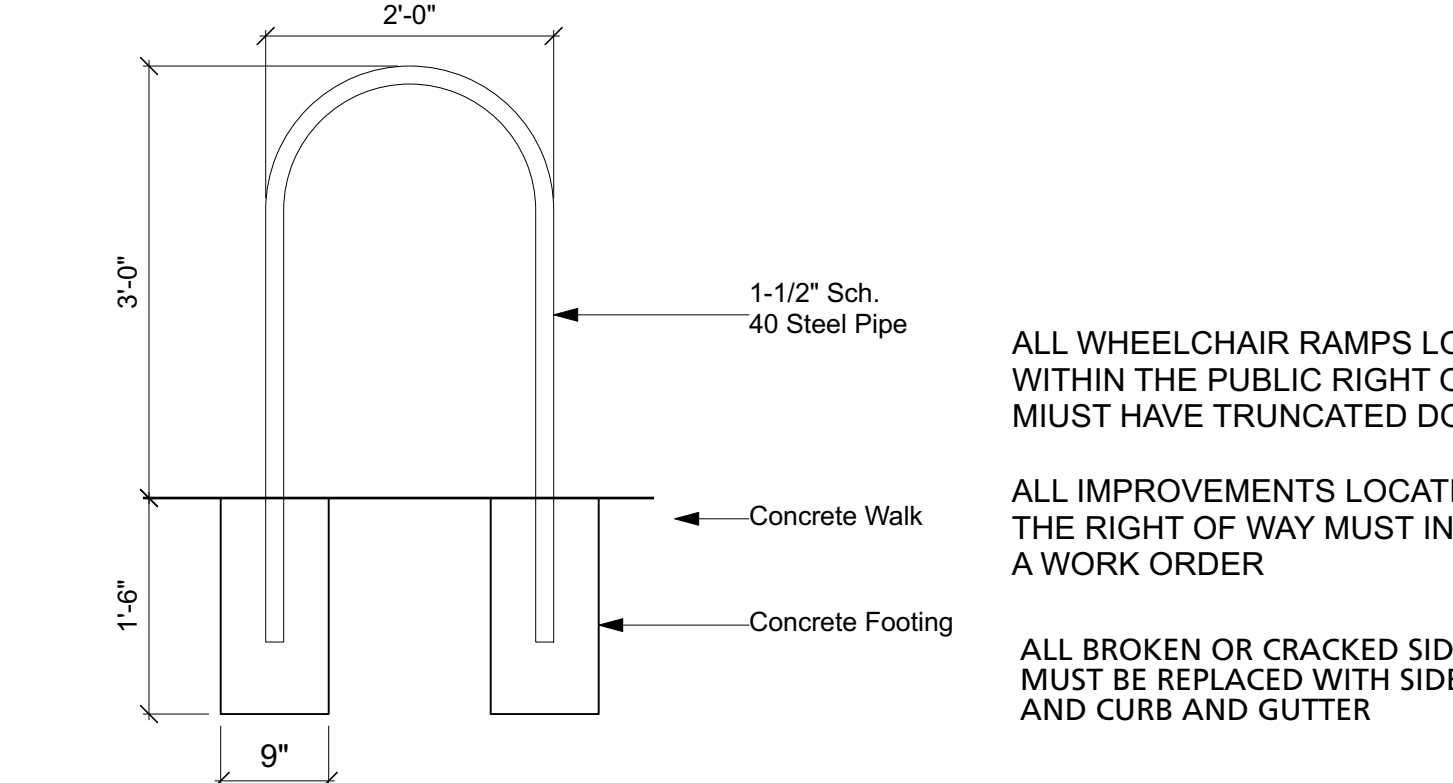
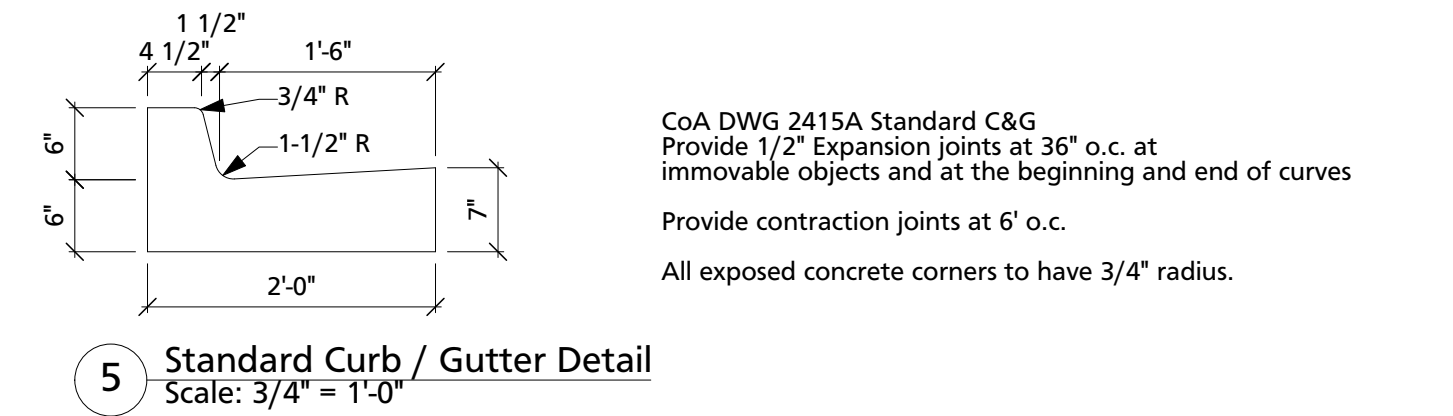
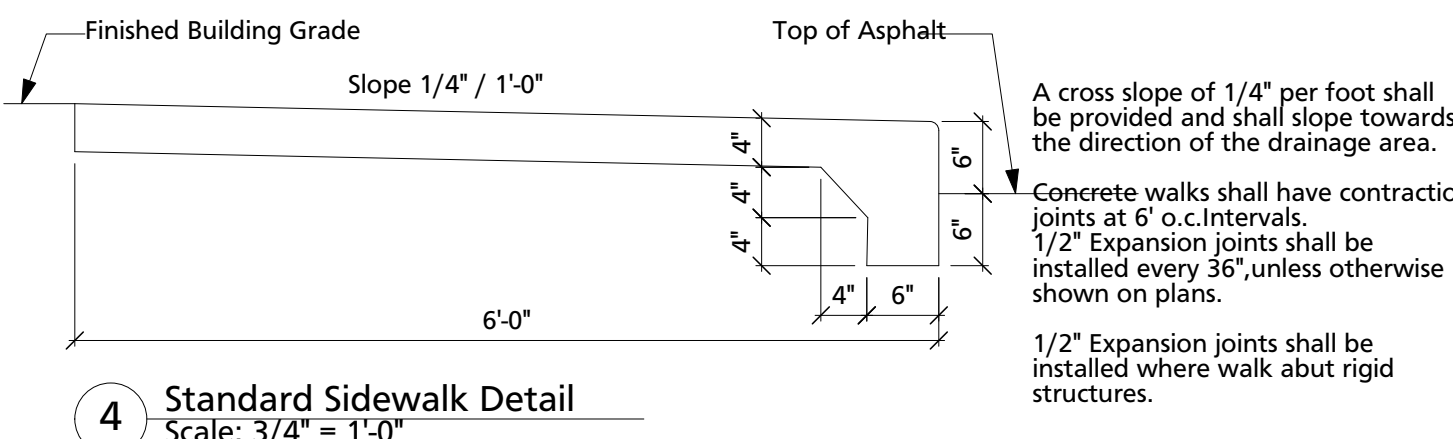
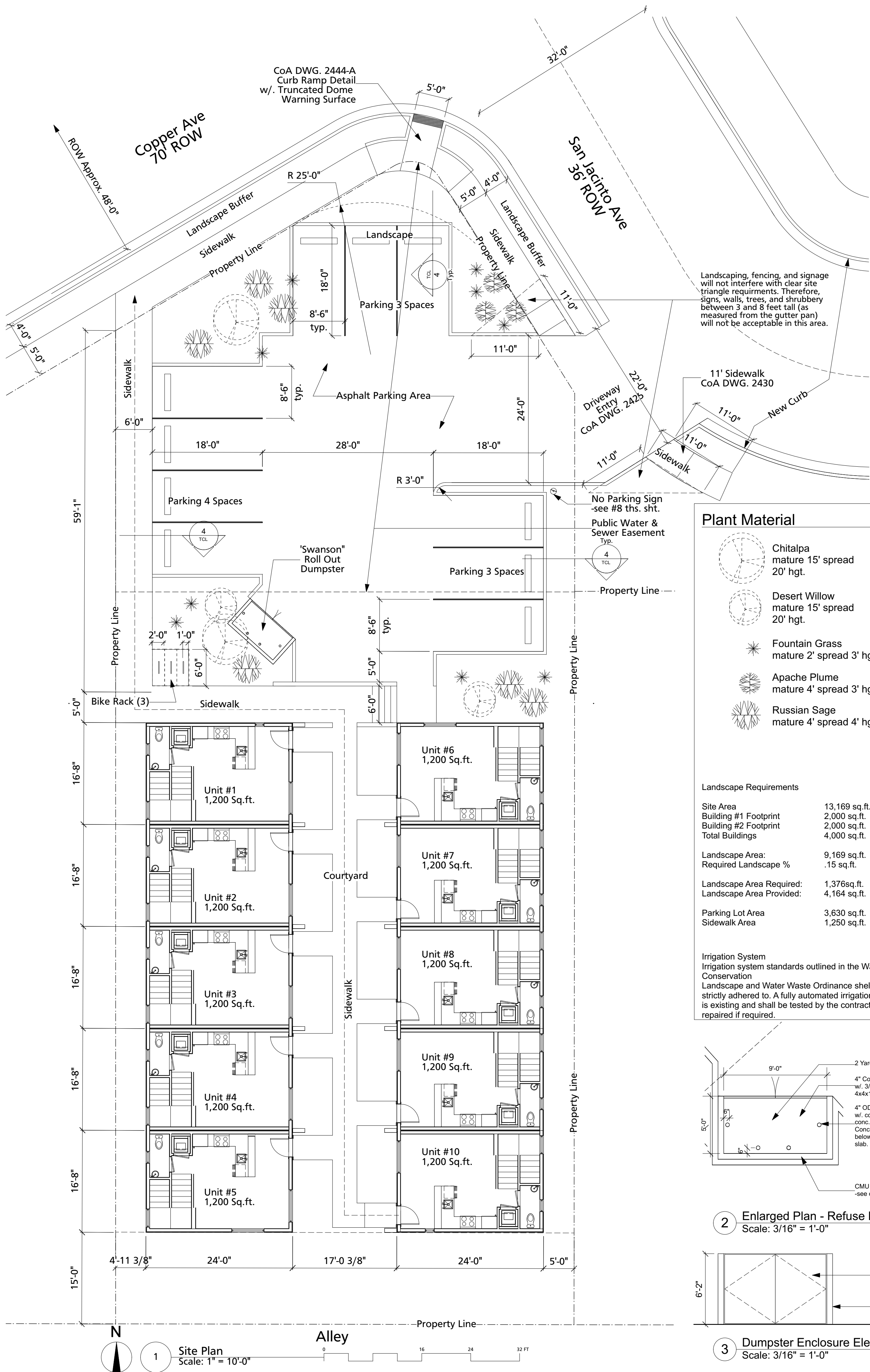
**DATE SUBMITTED:** 02/28/22 **By:** Treveston Elliott

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



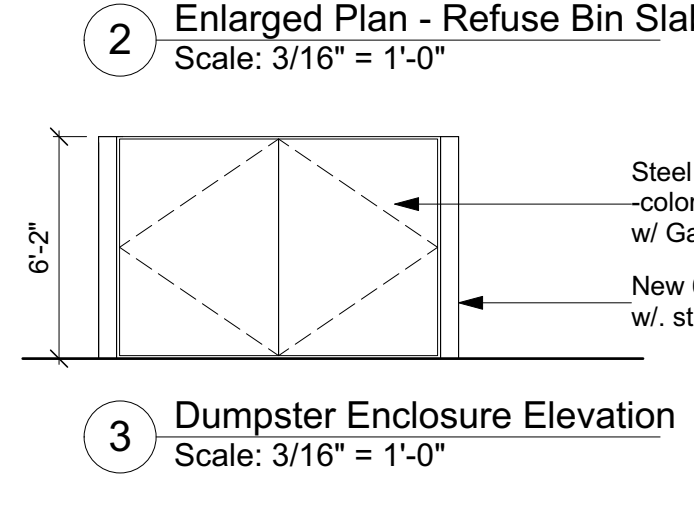
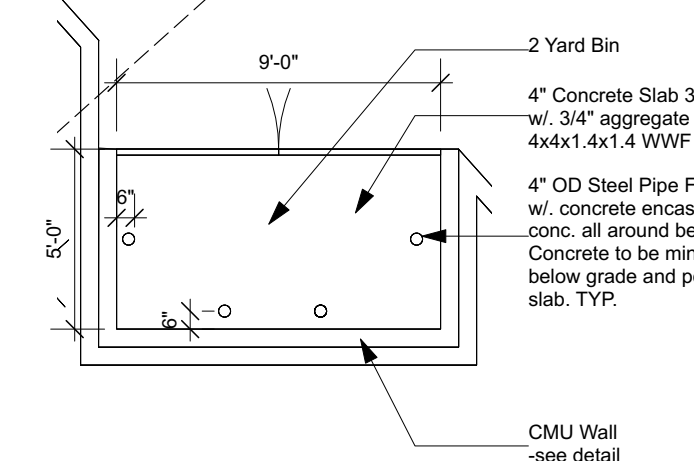


- Plant Material**
- Chitalpa mature 15' spread 20' hgt.
  - Desert Willow mature 15' spread 20' hgt.
  - Fountain Grass mature 2' spread 3' hgt.
  - Apache Plume mature 4' spread 3' hgt.
  - Russian Sage mature 4' spread 4' hgt.

**Landscape Requirements**

Site Area	13,169 sq.ft.
Building #1 Footprint	2,000 sq.ft.
Building #2 Footprint	2,000 sq.ft.
Total Buildings	4,000 sq.ft.
Landscape Area	9,169 sq.ft.
Required Landscape %	.15 sq.ft.
Landscape Area Required:	1,376sq.ft.
Landscape Area Provided:	4,164 sq.ft.
Parking Lot Area	3,630 sq.ft.
Sidewalk Area	1,250 sq.ft.

Irrigation System  
Irrigation system standards outlined in the Water Conservation Landscape and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system is existing and shall be tested by the contractor and repaired if required.

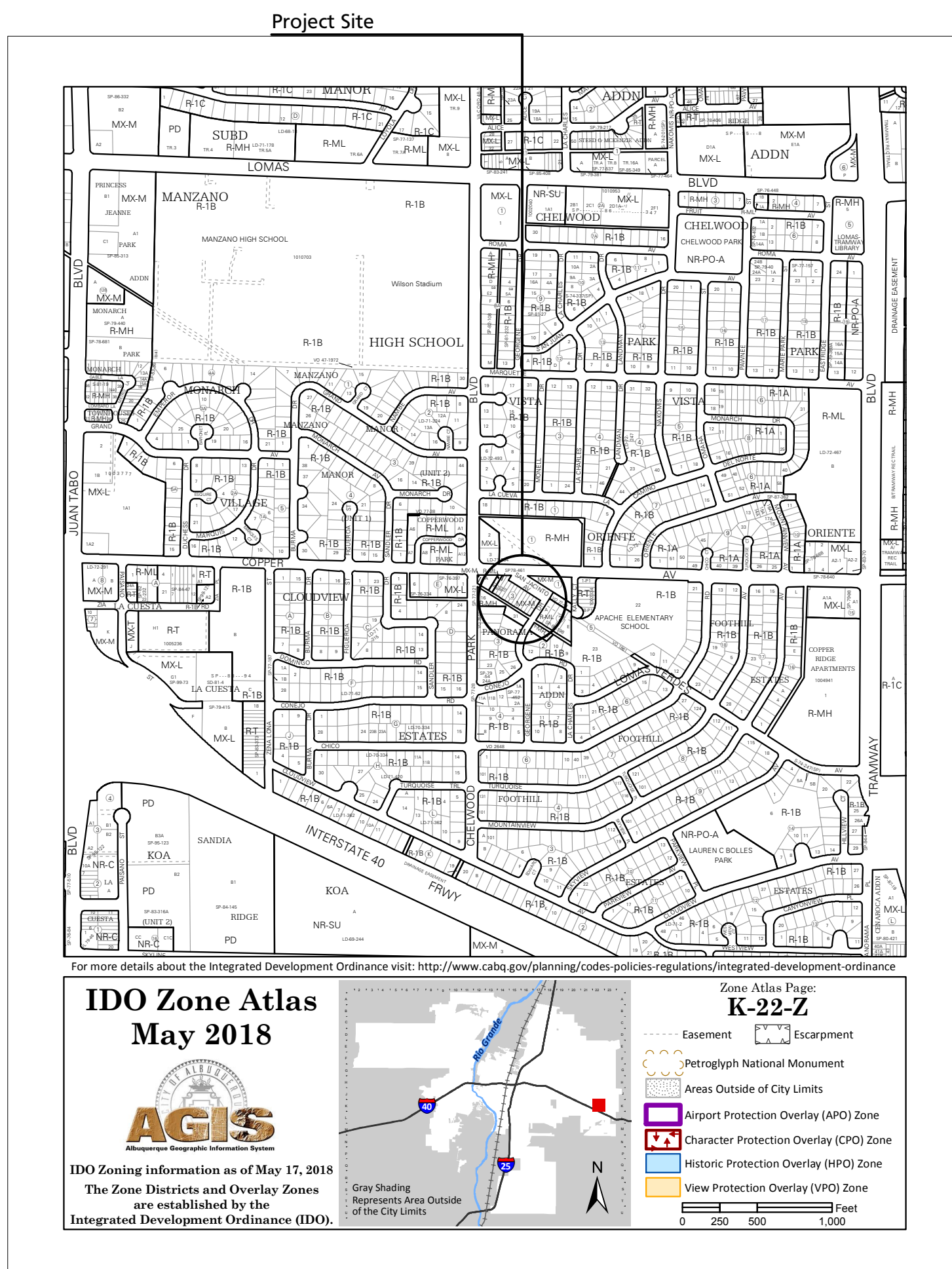


**CODE DATA**  
2015 International Residential Building Code  
2009 International Energy Conservation Code  
2015 International FIRE Code

City of Albuquerque Location:	12710 San Jacinto Ave NE Albuquerque, New Mexico 87114
Zoning:	MX-M
Zoning Atlas Page:	K-22
Setbacks:	5' Front 0' Side 15' Rear
Height:	45' Max
Parking:	1 Spaces per DU 3 Bike Spaces 10 Spaces Required
Bld. Area:	Building A = 6,000 sq.ft. (1,200 sq.ft. per unit) Building B = 6,000 sq.ft. (1,200 sq.ft. per unit) Total = 12,000 sq.ft.
Usable Outdoor Required:	250 sq.ft.
Occupancy:	R-3
Construction Type:	Type Vb
Separation:	1 Hour Btwn Units
Seismic:	C
Wind Speed:	115 3 Second Gust
Sprinkler:	NOT REQUIRED

Construct two new residential townhouse buildings with five units in each on single lot.

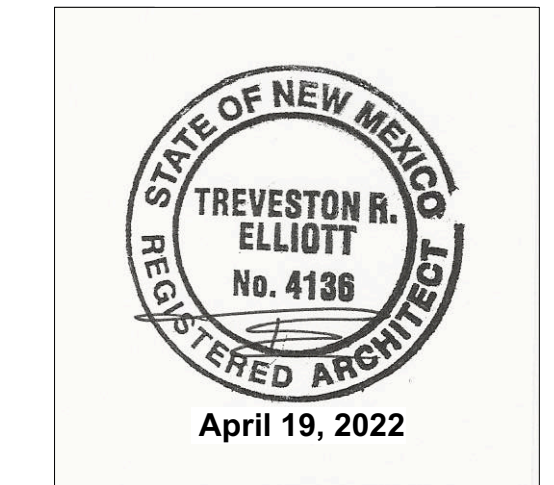
- Following listed items will be constructed under Work Order - City Project No. 749882
1. Corner proposed ramp (Copper / San Jacinto)
  2. Proposed 5 feet sidewalk segment from ramp to proposed driveway.
  3. 22 feet driveway (proposed)
  4. alley work proposed



- GENERAL NOTES**
- DO NOT SCALE DRAWINGS
  - CONTRACTOR TO COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION.
  - VERIFY EXISTING CONDITIONS IN FIELD. BRING DISCREPANCIES TO ATTENTION OF ARCHITECT.
  - DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.
  - \* DIMENSIONS TO FACE OF FINISH

**TREVESTON ELLIOTT**  
ARCHITECT  
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treveston@earthlink.net  
www.earthlink.net

**San Jacinto Ave**  
ALBUQUERQUE, NEW MEXICO 87114



Date: April 19, 2022  
Sheet: Site Plan

TCL

General Note:  
PRE POUR INSPECTION REQUIRED BY COA SOLID WASTE DEPARTMENT.





**CODE DATA**  
2015 International Residential Building Code  
2009 International Energy Conservation Code  
2015 International FIRE Code

City of Albuquerque  
Location: San Jacinto Ave NE  
Albuquerque, New Mexico 87114

Zoning: MX-M  
Zoning Atlas Page: K-22

Setbacks: 5' Front  
0' Side  
15' Rear

Height: 45' Max

Parking: 1 Spaces per DU 10 Spaces Required

Bld. Area: Approx 1,236 sq.ft. ea.

Usable Outdoor Required:250 sq.ft.

Occupancy: Residential

Construction Type: Type vb

Separation: NA

Seismic: C

Sprinkler: None

**GENERAL NOTES**

A. DO NOT SCALE DRAWINGS

B. CONTRACTOR TO COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION.

C. VERIFY EXISTING CONDITIONS IN FIELD. BRING DISCREPANCIES TO ATTENTION OF ARCHITECT.

D. DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.

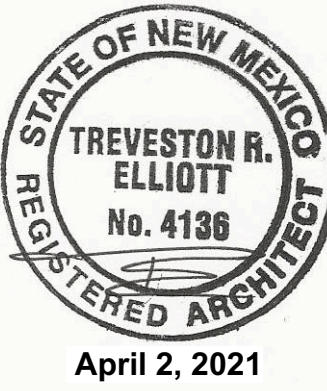
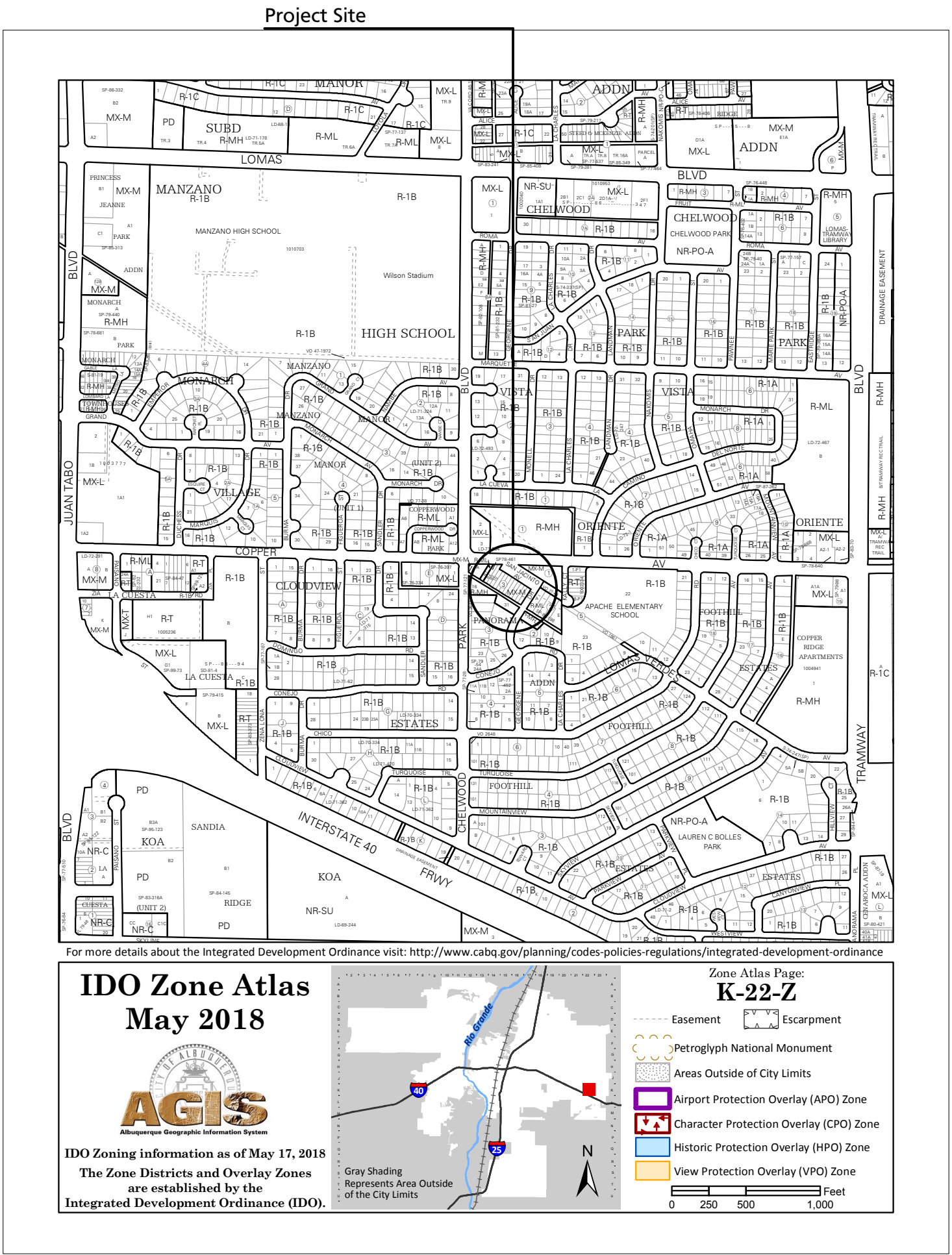
E. \* DIMENSIONS TO FACE OF FINISH

**TREVESTON ELLIOTT**  
ARCHITECT

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**San Jacinto Ave**  
ALBUQUERQUE, NEW MEXICO 87114

Approved for access by the Solid Waste Department  
Herman Gallegos 04-02-21 *Herman Gallegos*



Date: April 2, 2021

Sheet: Site Plan  
Solid Waste

**Solid Waste**