

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

August 4, 2022

David Soule, P.E.  
Rio Grande Engineering  
PO Box 93924  
Albuquerque, NM 87199

**RE: 12100 Copper  
Grading and Drainage Plan  
Engineer's Stamp Date: 6/15/2022  
Hydrology File: K22D064**

Dear Mr. Soule:

Based upon the information provided in your submittal received 6/15/2022, the Grading & Drainage Plan is **not** approved for Grading or Building Permit. The following comments need to be addressed for approval of the above referenced project:

General Notes

PO Box 1293

Albuquerque

NM 87103

1. Please provide pond sections with elevations for:
  - a. Bottom, top, outlet, and SWQV. Back pond/front pond.
  - b. Are these stormwater quality ponds? Detention?
  - c. Please label ponds.
2. Please make the small text large enough to read at scale.
3. Please include benchmark and datum.
4. Is there an existing wall? If so call it out with BW/TW elevations.
- 5.

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3695 or [dggutierrez@cabq.gov](mailto:dggutierrez@cabq.gov)

Sincerely,

David G. Gutierrez, P.E.  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** 12100 Copper **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** TRACT 1A LA CUESTA SUBDIVISION  
**City Address:** 12100 Copper

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** RIO GRANDE ENGINEERING **Contact:** DAVID SOULE  
**Address:** PO BOX 93924 ALB NM 87199  
**Phone#:** 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

Check all that Apply:

### DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE  
\_\_\_\_\_ TRAFFIC/ TRANSPORTATION

### TYPE OF SUBMITTAL:

\_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_\_ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
\_\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_\_ STREET LIGHT LAYOUT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_\_ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: \_\_\_\_\_ Yes ☒ No

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL  
\_\_\_\_\_ CERTIFICATE OF OCCUPANCY  
\_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

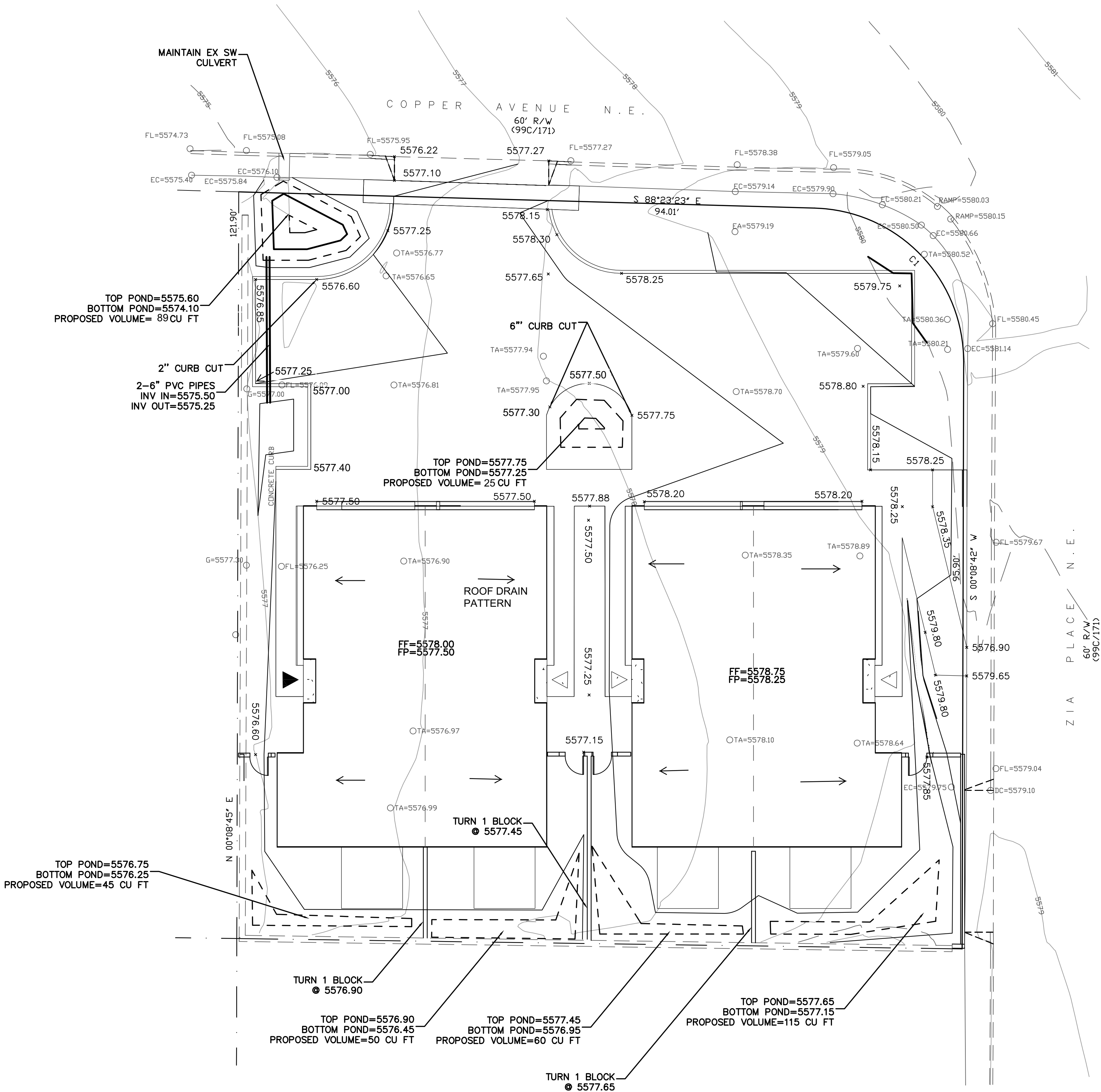
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

CAUTION

EXISTING UTILITIES ARE NOT SHOWN.  
IT SHALL BE THE SOLE RESPONSIBILITY  
OF THE CONTRACTOR TO CONDUCT ALL  
NECESSARY FIELD INVESTIGATIONS PRIOR  
TO ANY EXCAVATION TO DETERMINE THE  
ACTUAL LOCATION OF UTILITIES & OTHER



CURVE TABLE					
NUMBER	DELTA ANGLE	CHORD	DIRECTION	RADIUS	ARC LENGTH
C1	88°34'58"	N 44°09'31" W		25.00	38.65
					34.92

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

Weighted E Method

Basin	Area (sf)	Area (acres)	100-Year 6-Hr				100 Yr 10-day					
			Treatment A	Treatment B	Treatment C	Treatment D	Weighted E Volume	Flow	Volume	Flow		
			% (acres)	% (acres)	% (acres)	% (acres)	(ac-ft)	(ac-ft)	cfs	(ac-ft)	cfs	
EXISTING	14236.00	0.327	0%	0%	0.020	0%	0.000	94%	0.307	2.477	0.067	1.43
PROPOSED	14236.00	0.327	0%	0%	0.020	18%	0.059	78%	0.248	2.209	0.060	1.35

Equations:

Weighted E = EaAa + EbAb + EcAc + EdAd / (Total Area)

Volume = Weighted D \* Total Area

Flow = Qa \* Aa + Qb \* Ab + Qc \* Ac + Qd \* Ad

Where for 100-year, 6-hour storm (zone3)

Ea= 0.67

Eb= 0.86

Ec= 1.09

Ed= 2.58

Qa= 1.84

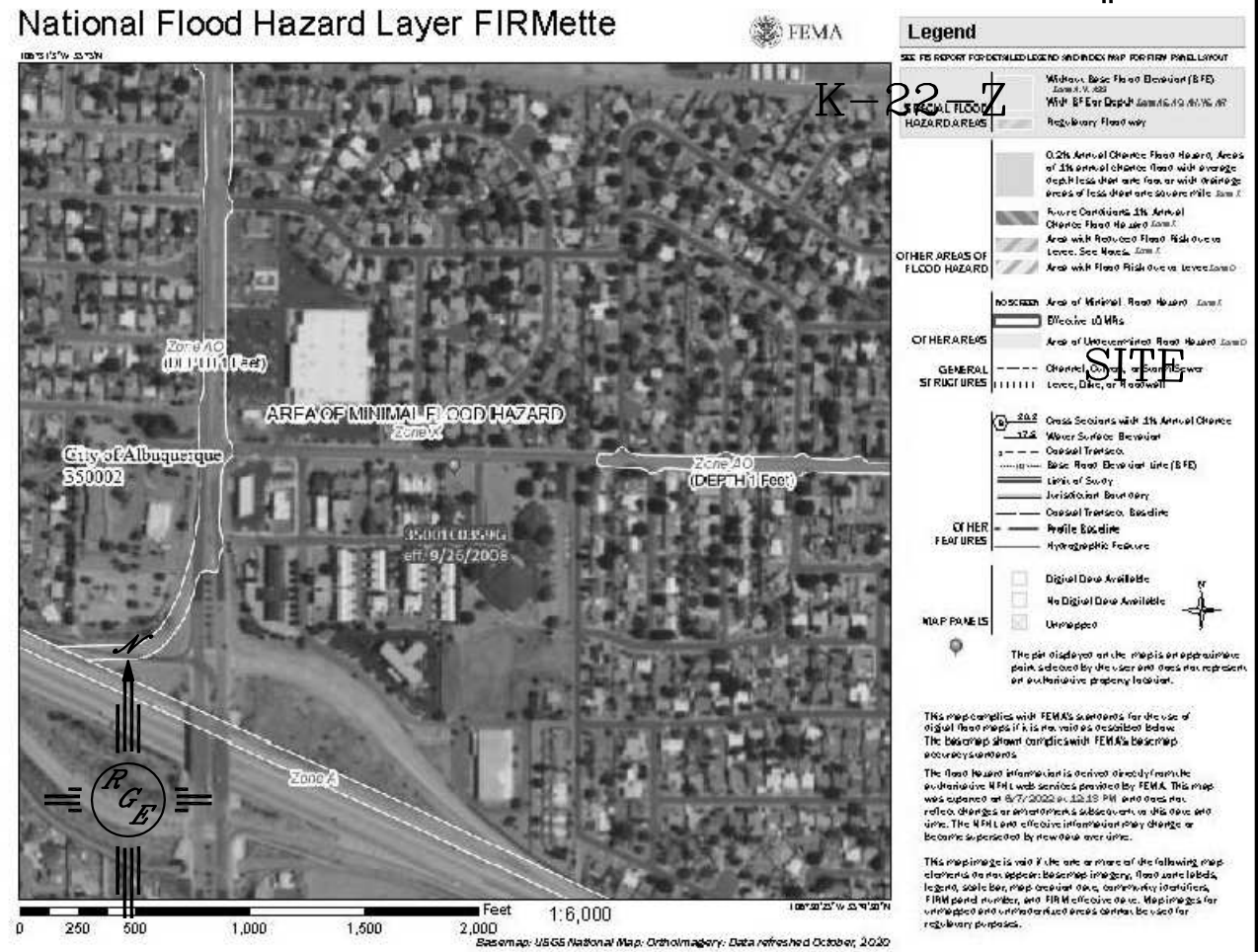
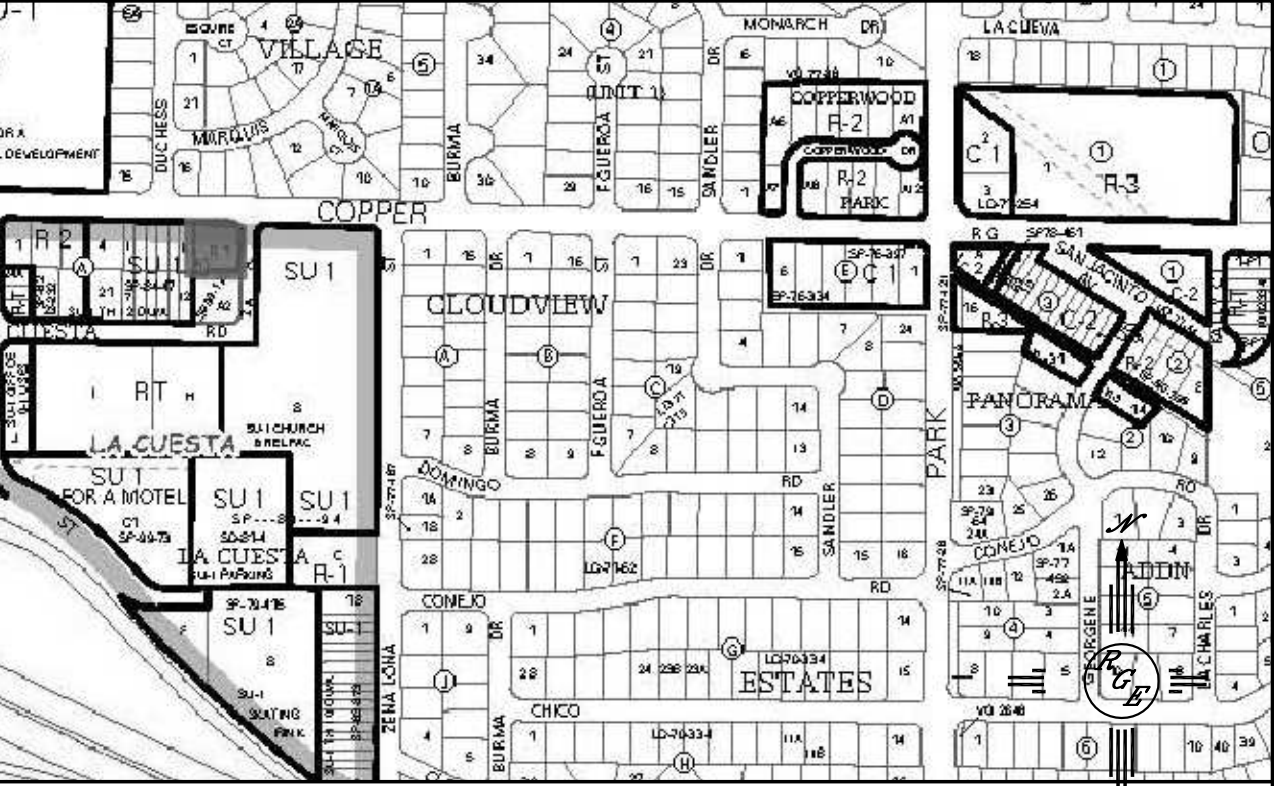
Qb= 2.49

Qc= 3.17

Qd= 4.49

Developed Conditions	TOTAL VOLUME	PEAK
HISTORICAL DISCHARGE	5402.80 CF	1.43 CFS
DEVELOPED DISCHARGE	4612.70 CF	1.351 CFS
FIRST FLUSH REQUIREMENT	307 CF	
FIRST FLUSH RETAINED	384 CF	

This site is an redevelopment of an existing fully developed parking lot in a fully developed area. The down stream conveyance is in place, therefore we will continue to discharge at a rate less than existing. The site captures the first flush water quality volume required. Th site is not impacted by upland flows



FIRM MAP:

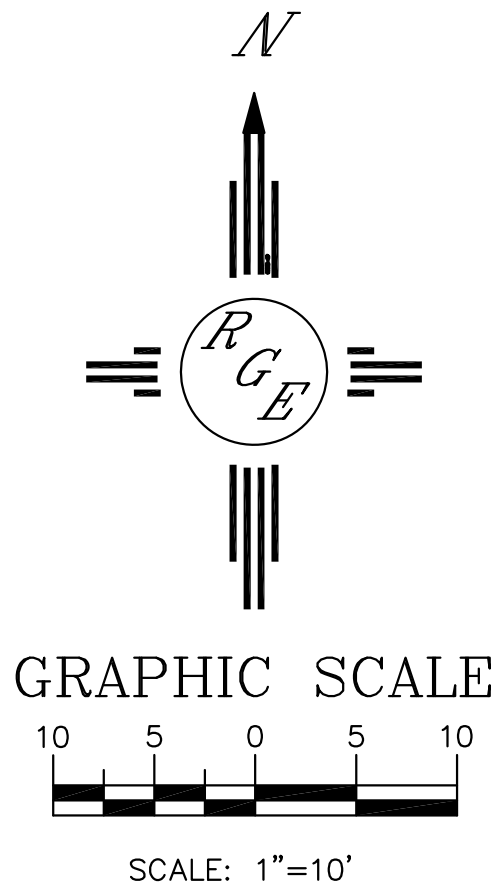
LEGAL DESCRIPTION:


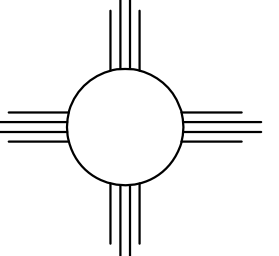
TRACT A-1, LA CUESTA SUBDIVISION

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. GARAGE UNITS SHALL HAVE 6" CURB AT PERIMETER EXCEPT AT GARAGE DOOR, GARAGE DOOR SHALL HAVE 1/2" LIP AT DOOR.
3. ALL DRIVEPADS SHALL BE BUILT PER COA STD DWG #2425.
4. ALL PADS SHALL BE CERTIFIED PRIOR TO CO.
5. ALL EX. ONSITE C&G AND PAVING SHALL BE REMOVED AND DISPOSED OF

LEGEND	
— 5414 —	EXISTING CONTOUR
— 5415 —	EXISTING INDEX CONTOUR
— 5414 —	PROPOSED CONTOUR
— 5415 —	PROPOSED INDEX CONTOUR
— 5415 —	SLOPE TIE
• 4045.00	EXISTING SPOT ELEVATION
• 4048.25	PROPOSED SPOT ELEVATION
— — — — —	BOUNDARY
— — — — —	CENTERLINE
— — — — —	RIGHT-OF-WAY
— — — — —	PROPOSED CURB AND GUTTER
— — — — —	EXISTING CURB AND GUTTER
— — — — —	PROPOSED SIDEWALK
— — — — —	PROPOSED SETBACK
— — — — —	PROPOSED LOT LINE



ENGINEER'S SEAL  6/15/22	12100 COPPER TOWNHOMES GRADING AND DRAINAGE PLAN	DRAWN BY WCWJ DATE 6-14-22 20220047-LAYOUT-6-14-22
	 1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET # — JOB # 20220047