

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

June 7, 2022

Roger Cinelli, RA  
Roger Cinelli and Associates Inc Architects  
2418 Manuel Torres Ln NW  
Albuquerque, NM 87107

**Re: Duplexs for Ahmet Tirkaki**  
**12100 Copper Ave NE**  
**Traffic Circulation Layout**  
Architect's Stamp 05-22-2022

Dear Mr. Cinelli,

The TCL submittal received 06-07-2022 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Nilo Salgado-Fernandez, P.E.  
Senior Traffic Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File

CONDITION OF C.O. (FINAL) APPROVAL:  
SIDEWALK EASEMENT FOR EXISTING 25'  
DRIVEPAD ACCESSIBLE SIDEWALK  
SHALL BE APPROVED,  
ACCEPTED AND IN PLACE. (NSF)

TRAFFIC CIRCULATION LAYOUT  
APPROVED

Signed

Date

TCL DESIGN CRITERIA

A TWO DUPLEX DEVELOPMENT FOR AHMET TIRYAKI

CODES: 2015IRC, 2015UMC, 2015UPC, 2017NEC,  
2015IFC, 2018IECC

PROJECT LOCATION:  
12,100 COPPER AVE NE., ALBUQUERQUE, NM

ZONE ATLAS MAP: K-22

LEGAL DESCRIPTION: TRACT A1 PLAT OF TRACTS A1  
AND A2 LA CUESTA SUBD., ALBUQUERQUE, NEW  
MEXICO .3261 A.

TOTAL ACREAGE: 0.3261 A.

EXISTING ZONING: RT

LAND USE CLASSIFICATION: 3000

PROPOSED USES: RESIDENTIAL DWELLINGS

MAXIMUM HEIGHT: 22'-6" COMPLIES

CONSTRUCTION TYPE: TYPE VB NON SPRINKLERED

SEISMIC ZONE: C

MAXIMUM TOTAL DWELLING UNITS: 4 DU'S - TWO  
DUPLEXES ON ONE LOT

REQUIRED PARKING PER IDO:  
DUPLEX UNITS: (1) PER 2 BR UNIT + (2) PER 3BR UNIT =  
(6) SPACES REQUIRED .

PROPOSED OFF STREET PARKING:

OFF STREET PARKING (INCLUDING GARAGE SPACES) =  
16 PARKING SPACES PROVIDED. 16>6 COMPLIES

DUPLEX BUILDING AREAS:

BUILDING HEATED AREA:

TWO BEDROOM UNIT = 1403 SF  
THREE BEDROOM UNIT = 1671 SF  
TOTAL = 3,074 SF

TOTAL HEATED AREA (TWO BUILDINGS X 2,974) =  
5,948 SQUARE FEET

THREE BEDROOM GARAGE = 493 SF  
TWO BEDROOM GARAGE = 481 SF  
TOTAL = 984 SF

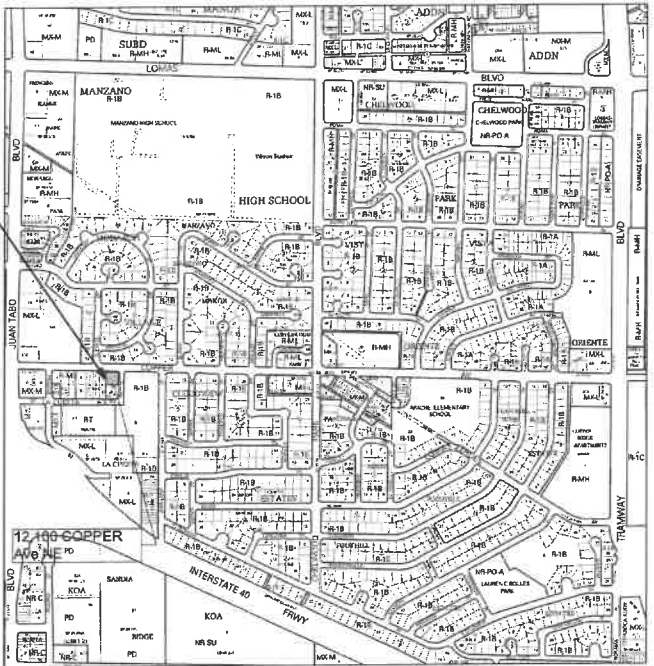
TOTAL GARAGE AREA (TWO BUILDINGS X 984) =  
1,968 SQUARE FEET

TOTAL DUPLEX AREA = 3,958 SQUARE FEET  
TOTAL PROJECT AREA = 7,916 SQUARE FEET

LARGEST UNIT (HEATED) IN PROJECT SEPARATED BY  
ONE HOUR FIRE PARTITION = 1,571 SF

LARGEST BUILDING (HEATED AREA) IN PROJECT =  
2,974 SF

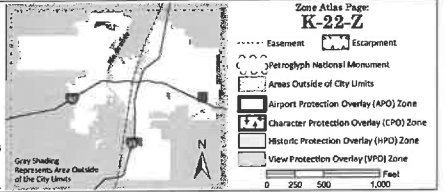
DUPLEX PROJECT FOR AHMET TIRYAKI  
12,100 COPPER AVE NE



IDO Zone Atlas  
May 2018



IDO Zoning Information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



VICINITY MAP

ZA MAP K-22-Z

NOTES:

1. ALL BROKEN OR CRACKED SIDEWALK, CURB AND  
GUTTER MUST BE REPLACED AS PER COA STD  
DWG #2415A & #2430.
2. SEE TRAFFIC CIRCULATION LAYOUT LEGEND THIS  
SHEET FOR COA STD DRIVEPAD, CURBS,  
SIDEWALKS AND PAVEMENT SECTION DETAILS
3. ALL WHEELCHAIR RAMPS LOCATED WITHIN THE  
PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED  
DOME WARNING STRIPS
4. CITY WORK ORDER NOT REQUIRED - DRIVEPAD  
ACCESSIBLE SIDEWALK WILL BE BUILT UNDER  
BUILDING PERMIT
5. ALL IMPROVEMENTS, IF ANY, LOCATED IN THE  
RIGHT OF WAY MUST BE INCLUDED IN A CITY  
WORK ORDER., IF APPLICABLE.

MINI CLEAR SITE TRIANGLE

NOTE:  
CLEAR AND MINI CLEAR SIGHT TRIANGLE:  
LANDSCAPING AND SIGNAGE WILL NOT  
INTERFERE WITH CLEAR SIGHT RE-  
QUIREMENTS. THEREFORE, SIGNS,  
WALLS, TREES AND SHRUBBERY  
BETWEEN 3' AND 8' FEET TALL (MEAS-  
URED FROM THE GUTTER PAN) SHALL  
NOT BE ACCEPTABLE IN THIS AREA

SECTION  
6" HIGH 6"  
WIDE  
CONCRETE  
CURB

NEW CONCRETE  
SIDEWALK -  
NEW CONCRETE SITE  
WORK - 4" MIN CONCRETE  
2% MAX. CROSS SLOPE

UNIT ENTRY

DRIVEPAD - COA STANDARD  
DETAIL DWG 2425 - SECTION  
E-E - ADA ACCESSIBLE. SEE  
SITE PLAN FOR WIDTH

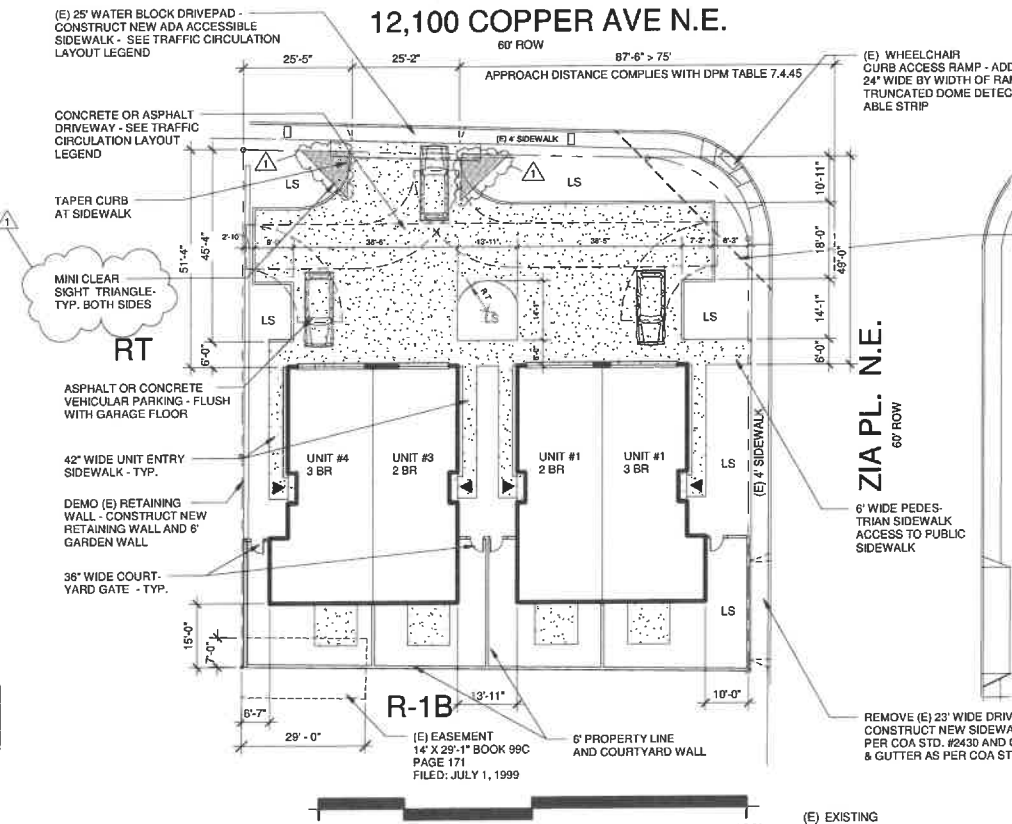
PAVEMENT  
SECTION

LANDSCAPE  
AREA -  
NO  
PARKING

TRAFFIC CIRCULATION LAYOUT LEGEND

1 TRAFFIC CIRCULATION LAYOUT

Scale: 1" = 20'-0"



CLEAR SIGHT TRIANGLE  
LANDSCAPING AND SIGNAGE WILL NOT  
INTERFERE WITH CLEAR SIGHT REQUIRE-  
MENTS. THEREFORE, SIGNS, WALLS, TREES  
AND SHRUBBERY BETWEEN 3' AND 8' TALL  
(MEASURED FROM THE GUTTER PAN)  
SHALL NOT BE ACCEPTABLE IN THIS AREA.

REVISION HISTORY

REVISION 1  
6/6/22

Cinelli / Roger Cinelli & Assoc.  
ARCHITECTS  
2418 Manuel Tomas Lane N.W.  
Albuquerque, New Mexico 87107  
(505) 243-6211

PROJECT TITLE:  
DUPLEXES FOR AHMET TIRYAKI

12,100 COPPER N.E.  
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:  
TRAFFIC CIRCULATION PLAN

SEAL



DATE

MAY 2022

PROJECT NO.

TIRY43

DRAWING NO.

CIVIL101

5/22/22

REV. 6/6/22

K22-0064