

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 6, 2022

Roger Cinelli
Roger Cinelli and Associates Inc. Architects
2418 Manuel Tores Ln. NW
Albuquerque, NM 87107

Re: Duplex for Ahmet Tiryaki
12016 Copper Ave. NE
Traffic Circulation Layout
Architect's Stamp: 9/4/2022 (K22D065)

Dear Mr. Cinelli,

The revised TCL received 9/5/2022 with comments addressed is approved for building permit by Transportation.

Please use the approved drawing when requesting for Certificate of occupancy.

PO Box 1293

If you have any questions, please contact me at (505) 924-3991 or earnmijo@cabq.gov.

Albuquerque

Sincerely,

A handwritten signature in black ink, appearing to read 'Ernest Armijo', is written over a light blue horizontal line.

NM 87103

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: DUPLEX FOR AHMET TIRYAKI Building Permit #: _____ Hydrology File #: K22-D065
 DRB#: _____ EPC#: _____ Work Order#: _____
 Legal Description: LOT 3, BL A - LA CUESTA ADD'N.
 City Address: 12,016 COPPER AVE NE, ABQ., N.M.

Applicant: ROGER CINELLI AND ASSOCIATES INC ARCHITECTS Contact: ROGER
 Address: 2418 MANUEL TORRES LN N.W. ALBUQ., N.M. 87107
 Phone#: 505-243-8211 Fax#: 505-243-8196 E-mail: rcinelli@q.com

Owner: AHMET TIRYAKI Contact: CHRIS
 Address: 1815 CAGUA NE, ABQ., N.M. 87110
 Phone#: 505-615-4278 Fax#: _____ E-mail: atiryaki@comcast.net

TYPE OF SUBMITTAL: _____ PLAT (_____ # OF LOTS) _____ RESIDENCE _____ DRB SITE ADMIN SITE

IS THIS A RESUBMITTAL?: Yes _____ No

DEPARTMENT: TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: 8/15/2022 By: ROGER CINELLI

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Cinelli

ARCHITECTS

OFFICE (505) 243-8211 FAX (505) 243-8196

ROGER CINELLI & ASSOCIATES, INC. 2418 MANUEL TORRES LANE N.W. ALBUQUERQUE, NEW MEXICO 87107

8/16/22

CITY OF ALBUQUERQUE
TRANSPORTATION DEVELOPMENT SECTION
PLAZA DEL SOL BUILDING
600 2ND STREET N.W.
ALBUQUERQUE, NEW MEXICO 87102

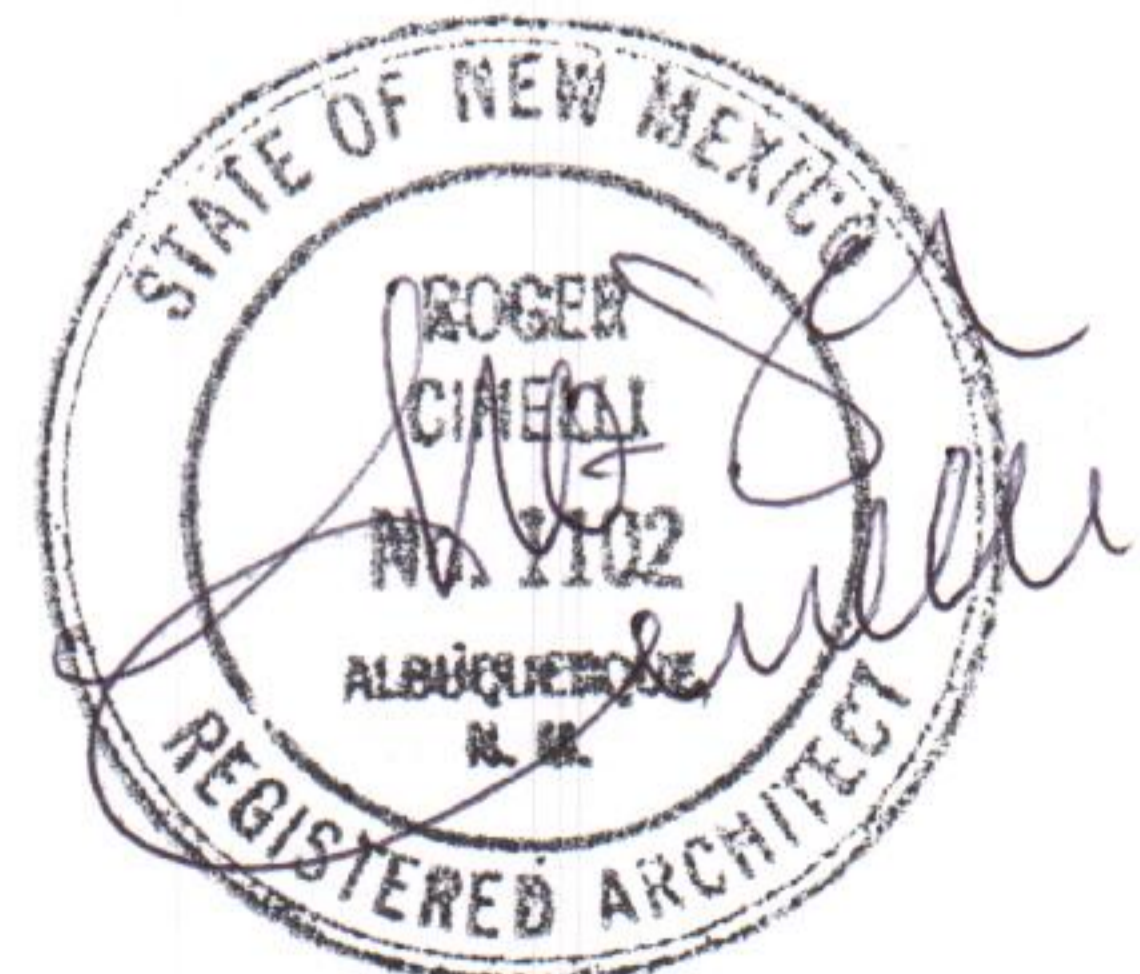
RE: **DUPLEX PROJECT FOR TIRYAKI**, 12,016 COPPER AVE NE, ALBUQUERQUE, NEW MEXICO,
TRAFFIC CIRCULATION LAYOUT (K22-D065)- ARCHITECT'S STAMP DATED 7/7/2022 - RESPONSE
TO TRAFFIC CIRCULATION COMMENTS DATED 8/10/22.

1. PER DISCUSSION WITH ZONING, LOW DENSITY DEVELOPMENT DOES NOT REQUIRE MOTORCYCLE OR BICYCLE PARKING. PARKING SPACE CALCULATION IS ACCEPTABLE.
2. PROPOSED DRIVEPAD 2425 IS APPROVED AS SUBMITTED. SEE APPROVAL CORRESPONDENCE ATTACHED.
3. NOT APPLICABLE
4. NOT APPLICABLE
5. NOT APPLICABLE
6. EXISTING 4' SIDEWALK SHALL BE REPLACED WHERE APPLICABLE
7. SEE ATTACHED REFUSE 1 APPROVAL
8. LOW DENSITY DEVELOPMENT DOES NOT REQUIRE FIRE 1 SUBMITTAL PROCEDURE
9. PROPERTY LINE WALL IN STOPPING DISTANCE LINE CHANGED TO 36" ABOVE GUTTER FLOW LINE = 2'-4" HIGH.
11' X 11' CLEAR SIGHT TRIANGLE HAS BEEN REMOVED

PLEASE LET US KNOW IF THERE ARE ANY CONCERNS OR QUESTIONS,

THANK YOU,

ROGER CINELLI, NMRA # 1102,



8/16/22

Cinelli

ARCHITECTS

OFFICE (505) 243-8211 FAX (505) 243-8196

ROGER CINELLI & ASSOCIATES, INC. 2418 MANUEL TORRES LANE N.W. ALBUQUERQUE, NEW MEXICO 87107

8/15/22

CITY OF ALBUQUERQUE
TRANSPORTATION DEVELOPMENT SECTION
PLAZA DEL SOL BUILDING
600 2ND STREET N.W.
ALBUQUERQUE, NEW MEXICO 87102

RE: **DUPLEX PROJECT FOR TIRYAKI**, 12,016 COPPER AVE NE, ALBUQUERQUE, NEW MEXICO,
TRAFFIC CIRCULATION LAYOUT (K22-D065)- ARCHITECT'S STAMP DATED 7/7/2022 - REQUEST
FOR CONSIDERATION OF PROPOSED DRIVEPAD PER COA STD 2425.

MR. ARMIJO,

THANK YOU FOR DISCUSSING THE PROJECT WITH MY CLIENT AND I.

THE TCL SUBMITTAL FOR THE DUPLEX DRIVEPAD IS BASED ON COA STD DWG 2425 SECTION E-E
ADA ACCESSIBLE. SEE ATTACHED.

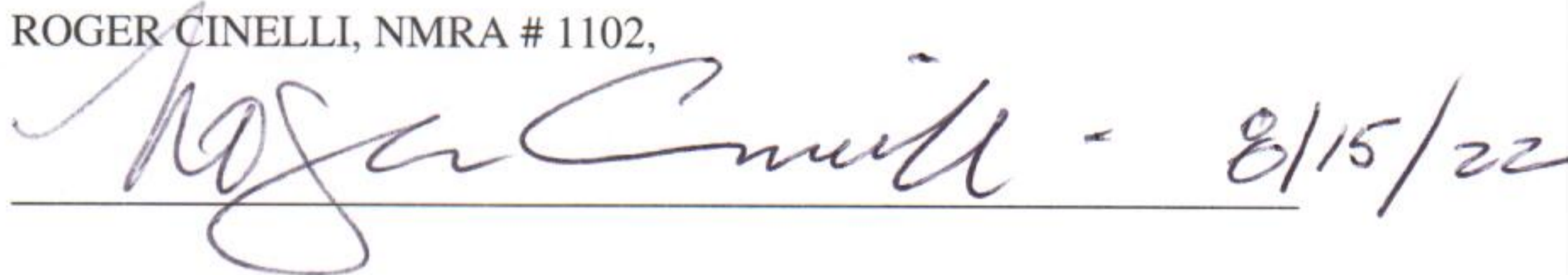
IT IS OUR UNDERSTANDING THAT A CURB RETURN DRIVEPAD DESIGN COA DWG 2426 IS
RECOMMENDED.

WE RESPECTFULLY REQUEST APPROVAL THE DRIVEPAD AS SUBMITTED TO TCL REVIEW ON
7/8/2022. SEE ATTACHED.

PLEASE LET US KNOW IF THERE ARE ANY CONCERNS OR QUESTIONS,

THANK YOU,

ROGER CINELLI, NMRA # 1102,

 - 8/15/22

Respond

Actions

Options

From: Armijo, Ernest M.
[earmijo@cabq.gov]

Sent: Tue 8/16/2022 8:27 AM

To: 'Roger Cinelli'

Cc:

Subject: RE: 12,016 Copper Ave Duplex for Tiryaki

Mr. Cinelli,

I have reviewed your request to allow the use of City Std 2425 rather than the recommended Std 2426 for the drivepad for the development at 12016 Copper. I have reviewed the submittal along with surrounding properties including the grading and have made the decision to allow the use of drivepad Std 2425 in this location.



ERNEST ARMIJO, P.E., C.F.M.

principal engineer

transportation

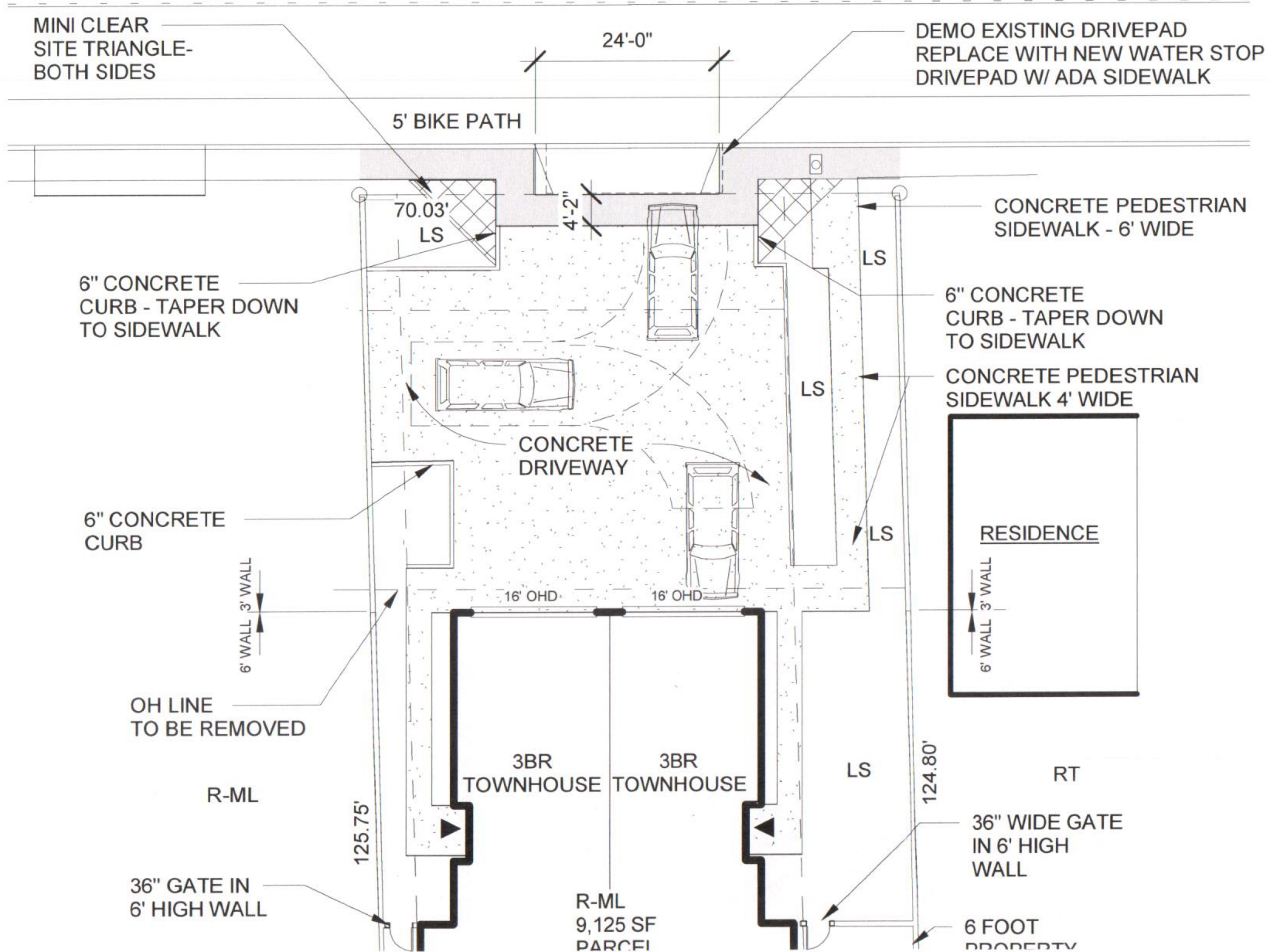
o 505.924.3986

e earmijo@cabq.gov

cabq.gov/planning

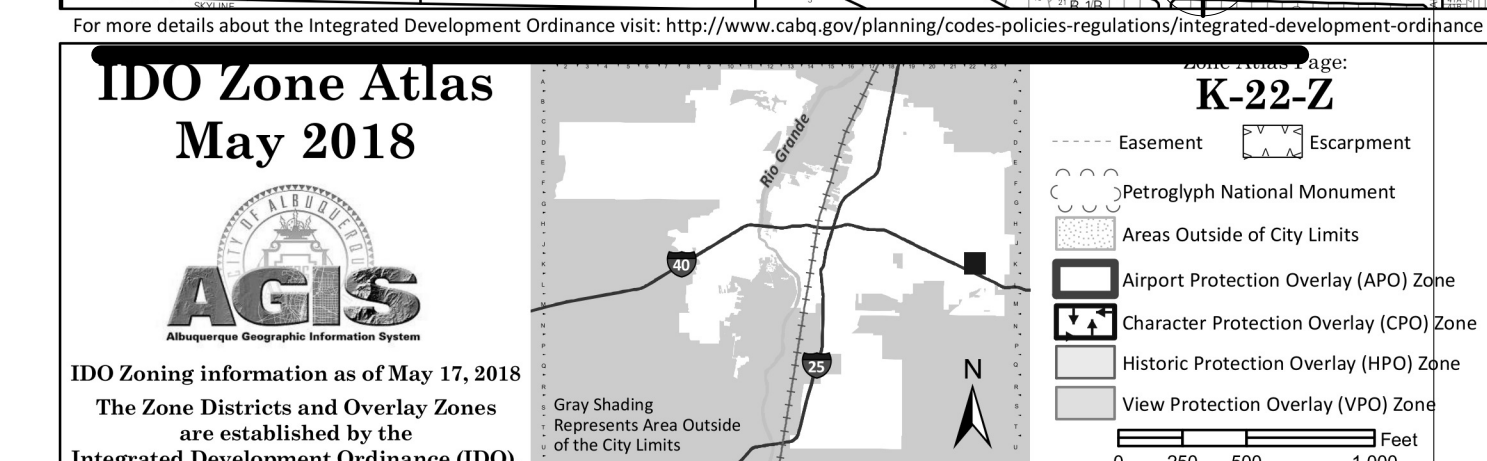
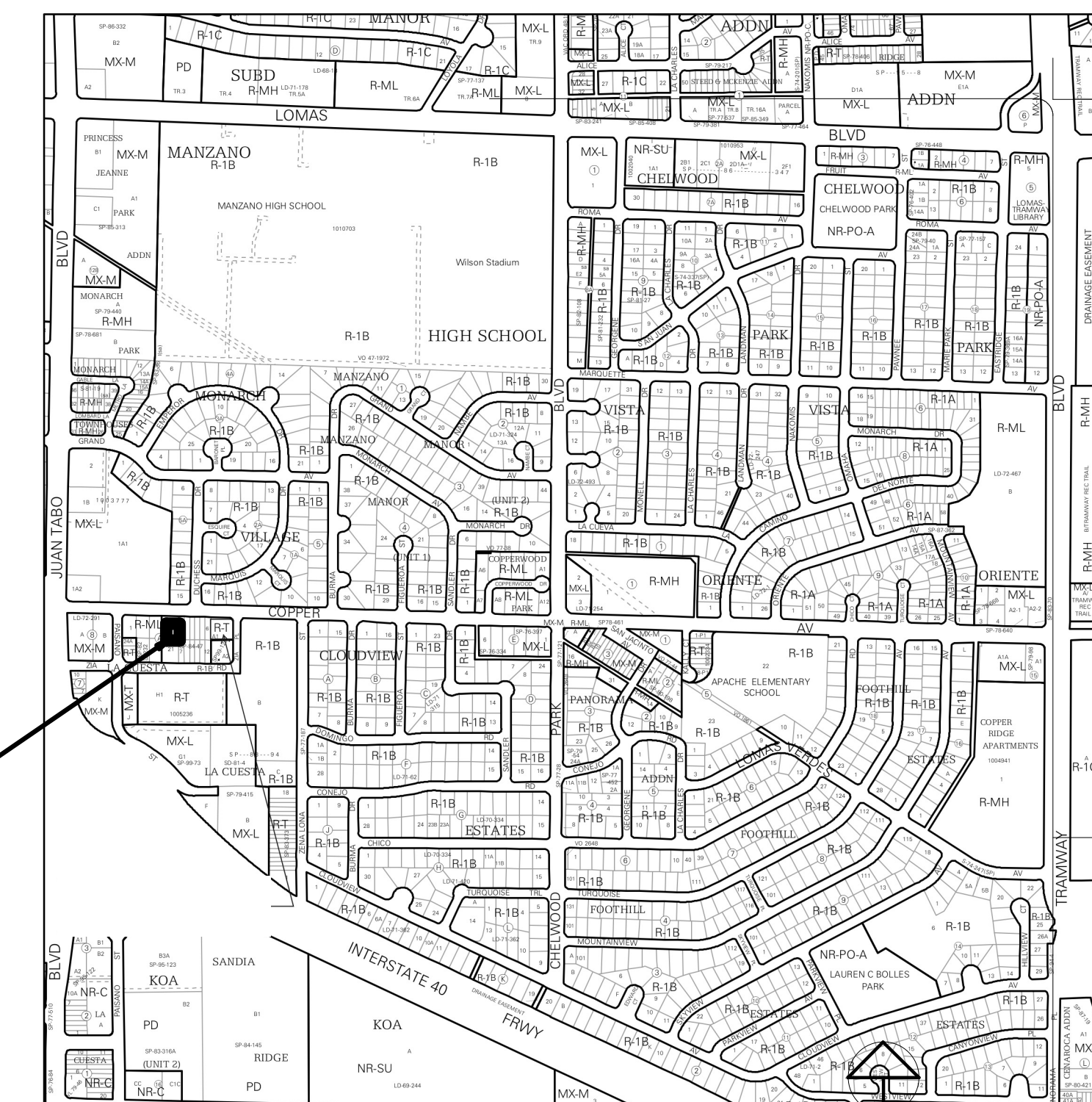
COPPER AVE N.E.

60' ROW

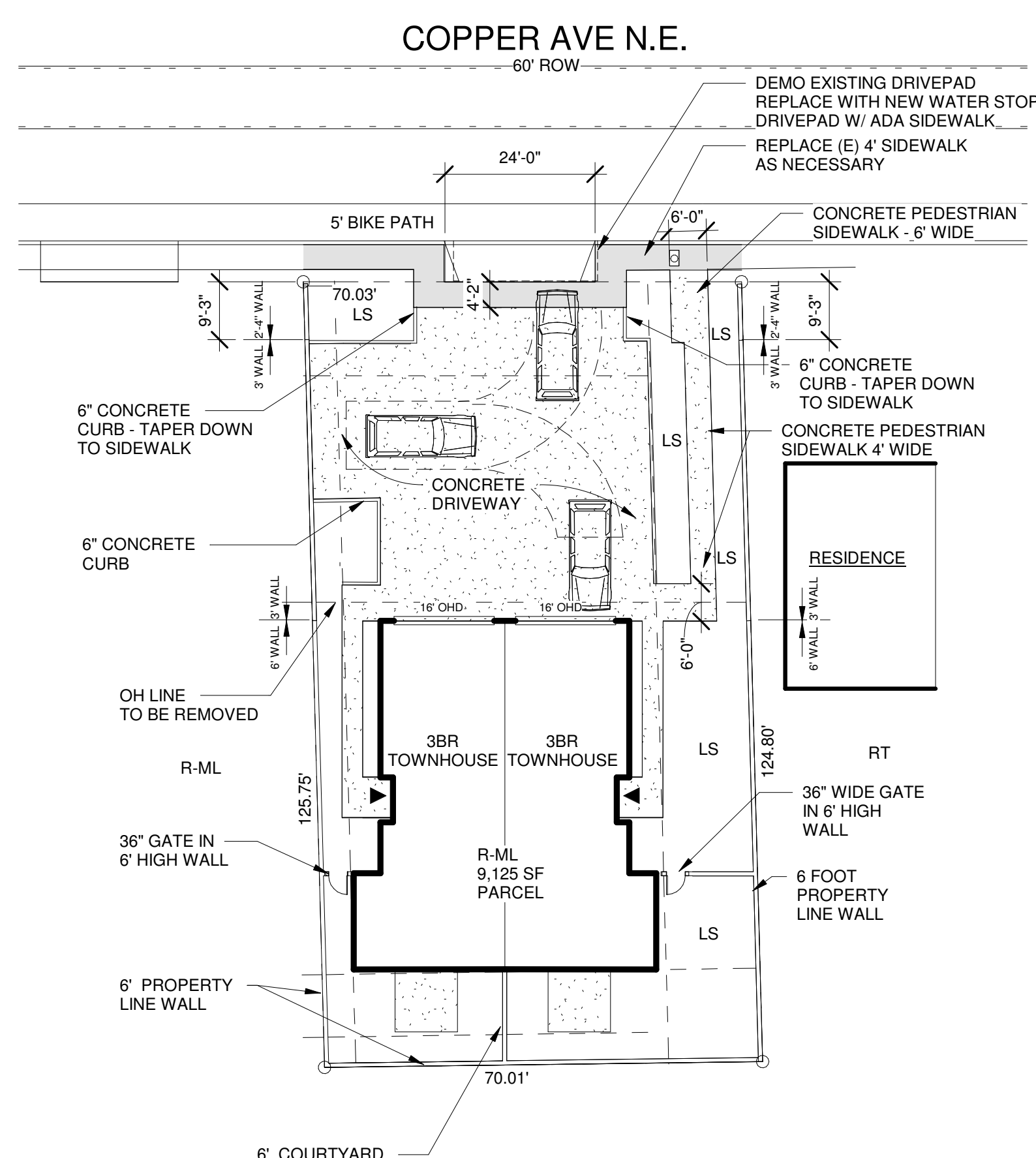


**CONDITION OF C.O. (FINAL) APPROVAL:
SIDEWALK EASEMENT FOR 24'
DRIVEPAD SHALL BE APPROVED,
ACCEPTED AND IN PLACE. (NSF)**

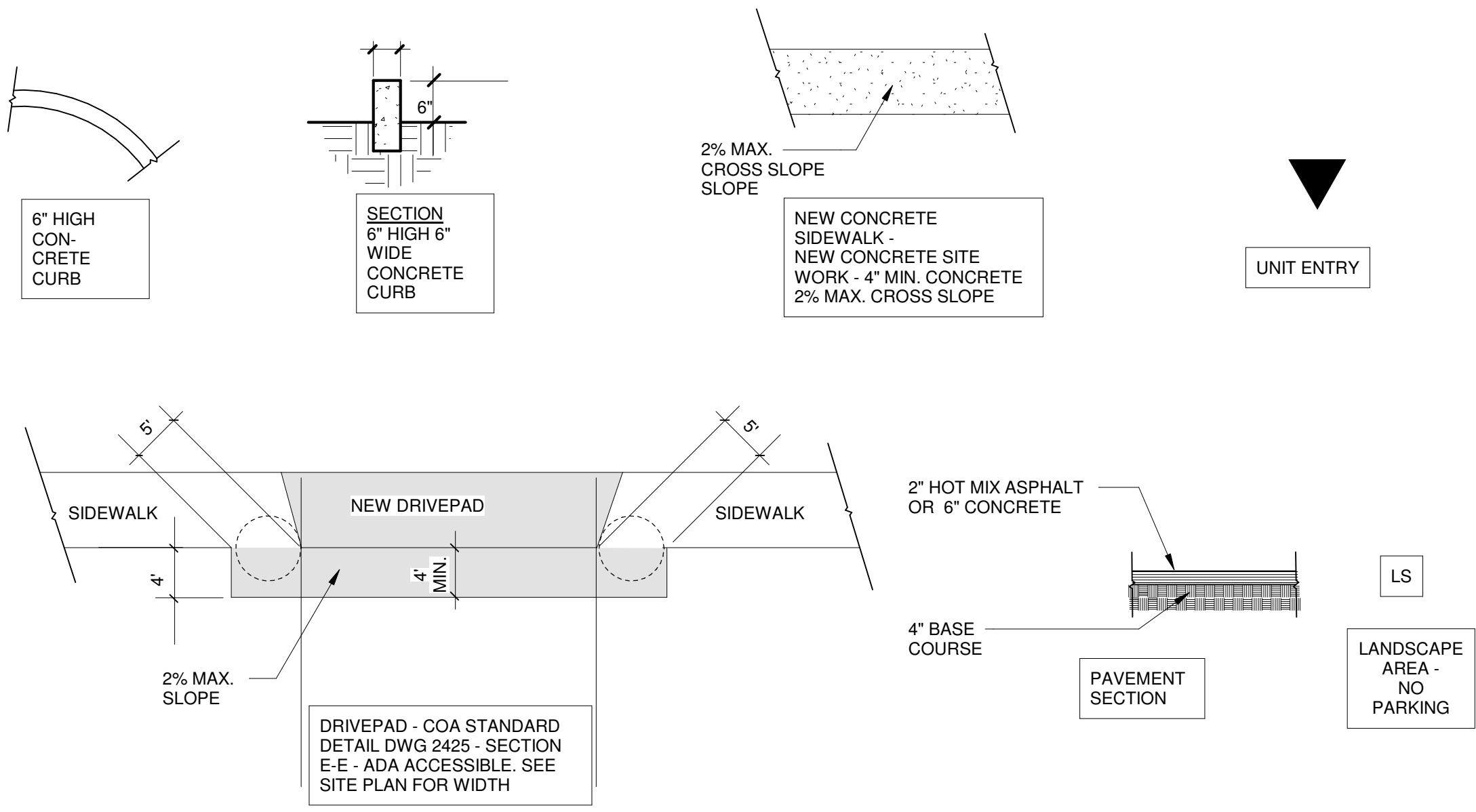
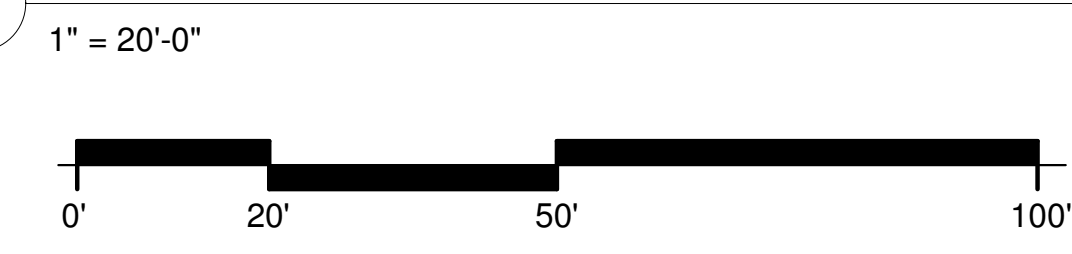
12,016 COPPER AVE N.E.



- NOTES:
1. ALL BROKEN OR CRACKED SIDEWALK, CURB AND GUTTER MUST BE REPLACED AS PER COA STD DWG #2415A & #2430.
 2. SEE TRAFFIC CIRCULATION LAYOUT LEGEND THIS SHEET FOR COA STD DRIVEPAD, CURBS, SIDEWALKS AND PAVEMENT SECTION DETAILS
 3. ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOME WARNING STRIPS
 4. CITY WORK ORDER NOT REQUIRED - DRIVEPAD ACCESSIBLE SIDEWALK WILL BE BUILT UNDER BUILDING PERMIT
 5. ALL IMPROVEMENTS, IF ANY, LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN A CITY WORK ORDER., IF APPLICABLE.



TRAFFIC CIRCULATION LAYOUT 12016



TRAFFIC CIRCULATION LAYOUT LEGEND

A DUPLEX DEVELOPMENT FOR AHMET TIRYAKI

CODES: 2015IRC, 2015UMC, 2015UPC, 2017NEC, 2015IFC, 2018IECC

PROJECT LOCATION: 12,016 COPPER AVE NE., ALBUQUERQUE, NM

ZONE ATLAS MAP: K-22

LEGAL DESCRIPTION: LOT 3, BLOCK A - LA CUESTA ADDN., ALBUQUERQUE, NEW MEXICO .3261 A.

TOTAL ACREAGE: 0.201 A.

EXISTING ZONING: R-ML

LAND USE CLASSIFICATION: 3000

PROPOSED USES: RESIDENTIAL DWELLINGS

MAXIMUM HEIGHT: 22'-6" COMPLIES

CONSTRUCTION TYPE: TYPE VB NON SPRINKLERED

SEISMIC ZONE: C

MAXIMUM TOTAL DWELLING UNITS: 2 DU'S - ONE DUPLEX ON ONE LOT

REQUIRED PARKING PER IDO: DUPLEX UNITS - (2) PER 3BR UNIT = (4) SPACES REQUIRED.

PROPOSED OFF STREET PARKING: OFF STREET PARKING (INCLUDING GARAGE SPACES) = 8 PARKING SPACES PROVIDED. 8+4 COMPLIES

DUPLEX BUILDING AREAS: BUILDING HEATED AREA: THREE BEDROOM UNIT = 1571 SF
TOTAL HEATED AREA (TWO 3BR X 1,571) = 3,142 SQUARE FEET
THREE BEDROOM GARAGE = 493 SF
TOTAL GARAGE AREA (TWO GARAGES X 493) = 986 SQUARE FEET
TOTAL DUPLEX HTD AREA = 3,142 SQUARE FEET
TOTAL PROJECT AREA = 4,128 SQUARE FEET

LARGEST UNIT (HEATED) IN PROJECT SEPARATED BY ONE HOUR FIRE PARTITION = 1,571 SF

LARGEST BUILDING (HEATED AREA) IN PROJECT = 3,142 SF

Cinelli / Roger Cinelli & Assoc.
ARCHITECTS
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

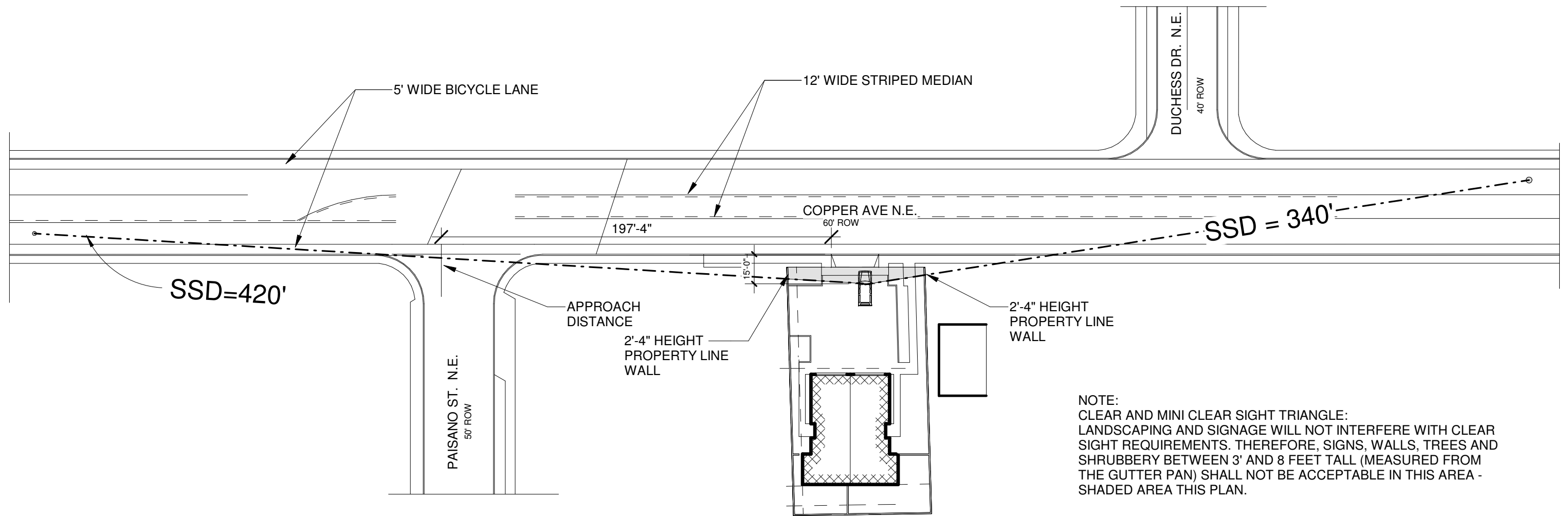
PROJECT TITLE: **DUPLEX FOR AHMET TIRYAKI**
12,016 COPPER AVE. N.E.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE: **TRAFFIC CIRCULATION LAYOUT**

SEAL: [Professional Seal] DATE: JULY 2022 PROJECT NO.: TIRY57 DRAWING NO.:

CIVIL101

7/7/2022
REV. 8/15/2022



STOPPING SIGHT DISTANCE 12,016 COPPER NE

1

Scale: 1" = 50'-0"



SSD STUDY

PER TABLE 7.4.65 MINIMUM INTERSECTION SIGHT DISTANCE

1. COPPER AVE NE - MAJOR COLLECTOR
2. COPPER AVE NE - TWO LANES W/
12 FOOT WIDE STRIPED MEDIAN
3. COPPER AVE NE - POSTED 35 MPH

PER TABLE 7.4.45 MINIMUM DISTANCE BETWEEN COMMERCIAL SITE ADDRESS AND INTERSECTION

1. PAISANO ST NE DRIVELANE TO LOCAL DRIVEPAD = 75' MIN.
197'-4" PROVIDED - **COMPLIES**



7/4/2022
REV. 8/15/2022

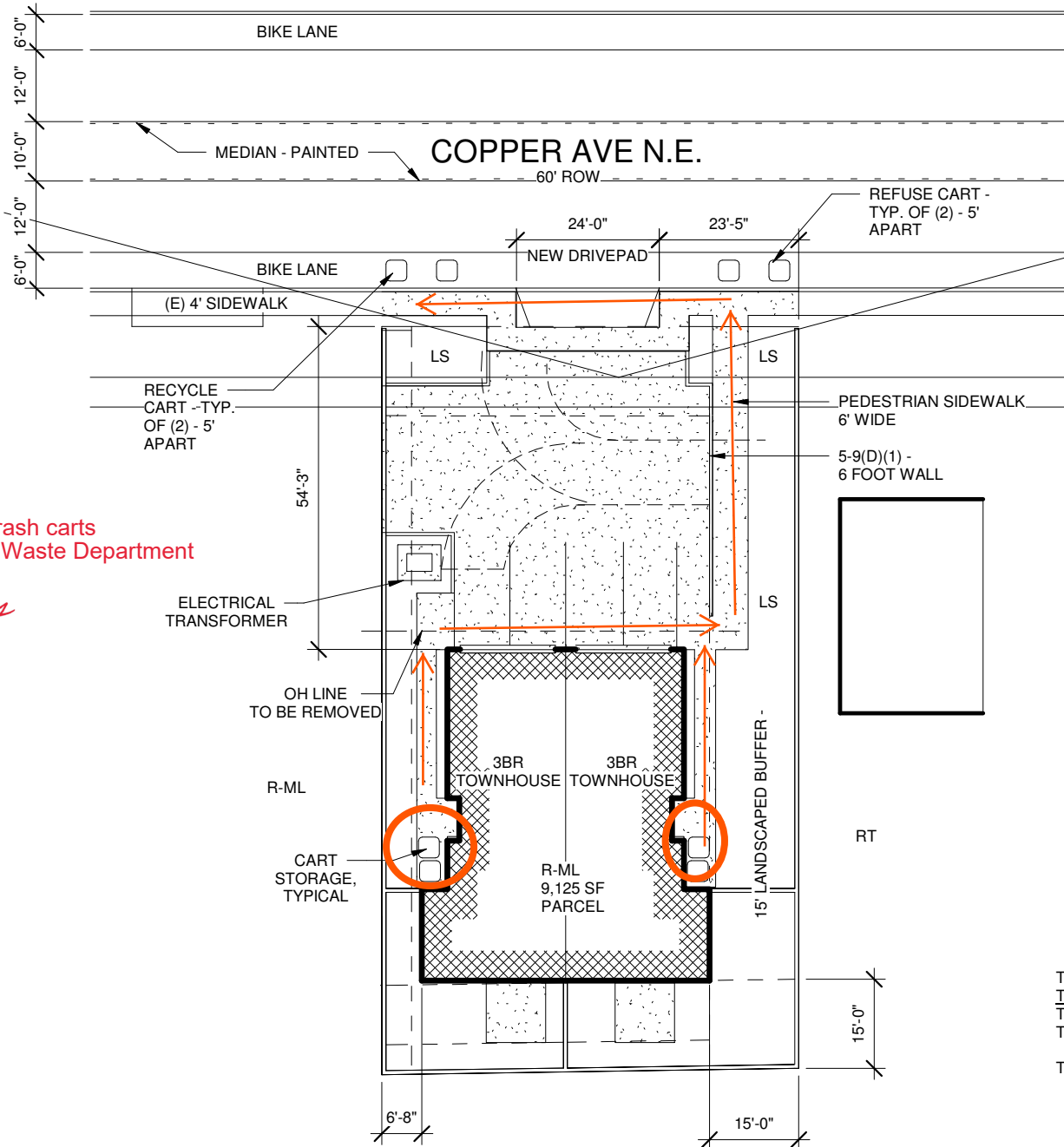
Cinelli
ARCHITECTS

Roger Cinelli & Assoc.
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

SHEET CIVIL101A

DUPLEX FOR AHMET TIRYAKI

12,016 COPPER AVE. N.E.
ALBUQUERQUE, NEW MEXICO
STOPPING SIGHT
DISTANCE PLAN



Approved for access for 2 trash carts
 2 recycle carts by the Solid Waste Department
 Herman Gallegos 05-06-22
Herman Gallegos

12,016 CO

THREE BEDROOM UNIT:

LOWER LEVEL	670 SF
UPPER LEVEL	901 SF
TOTAL	1,571 SF
GARAGE	493 SF

TOTAL PROJECT:

TWO THREE BR UNITS	= 2 X 1,571 =	3,142 SF
TOTAL HEATED		3,142 SF
TWO GARAGES	= 2 X 493 =	986 SF
TOTAL PROJECT AREA	=	4,120 SF

REFUSE PLAN 12,016 COPPER AVE N.E.

1

1" = 20'-0"



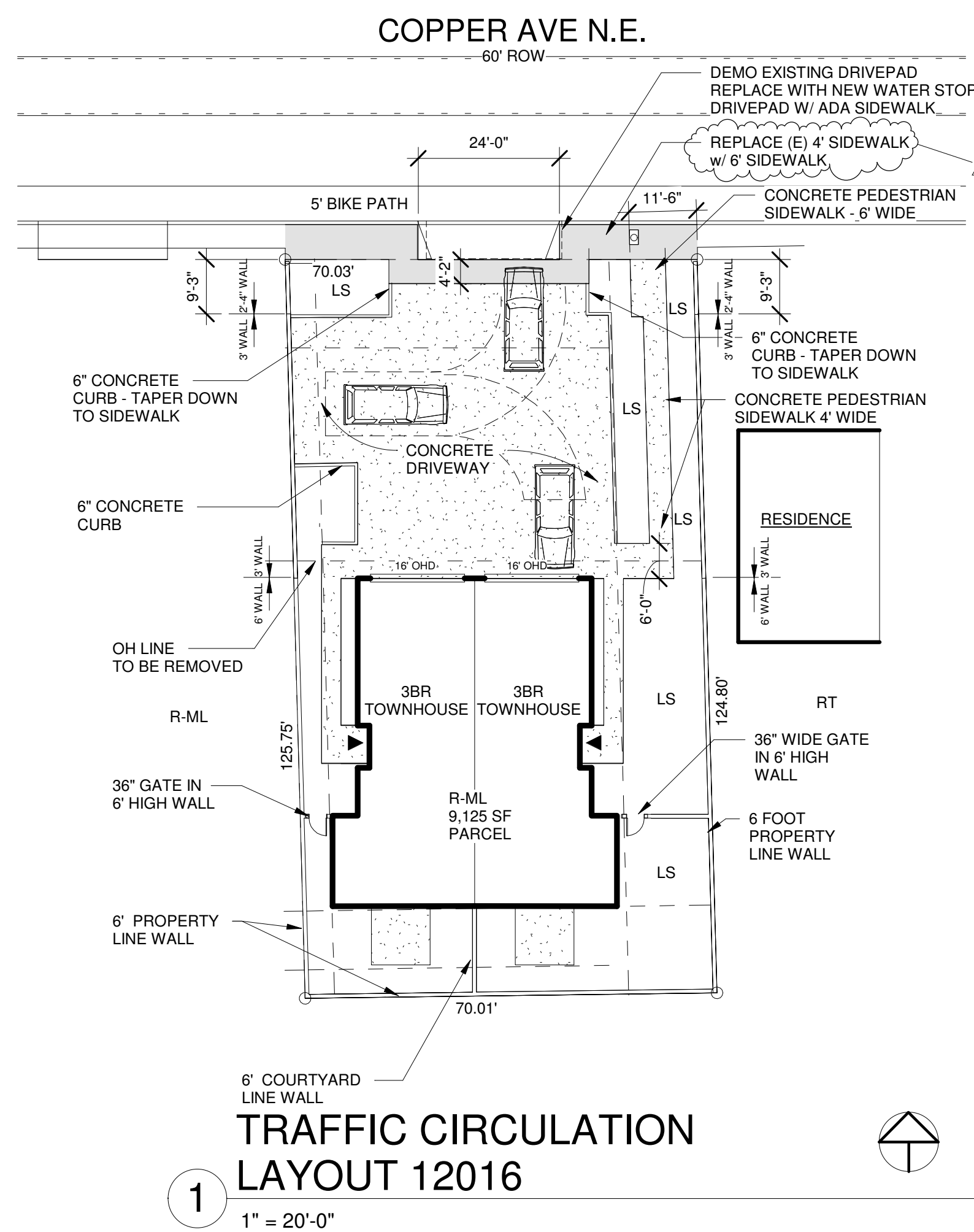
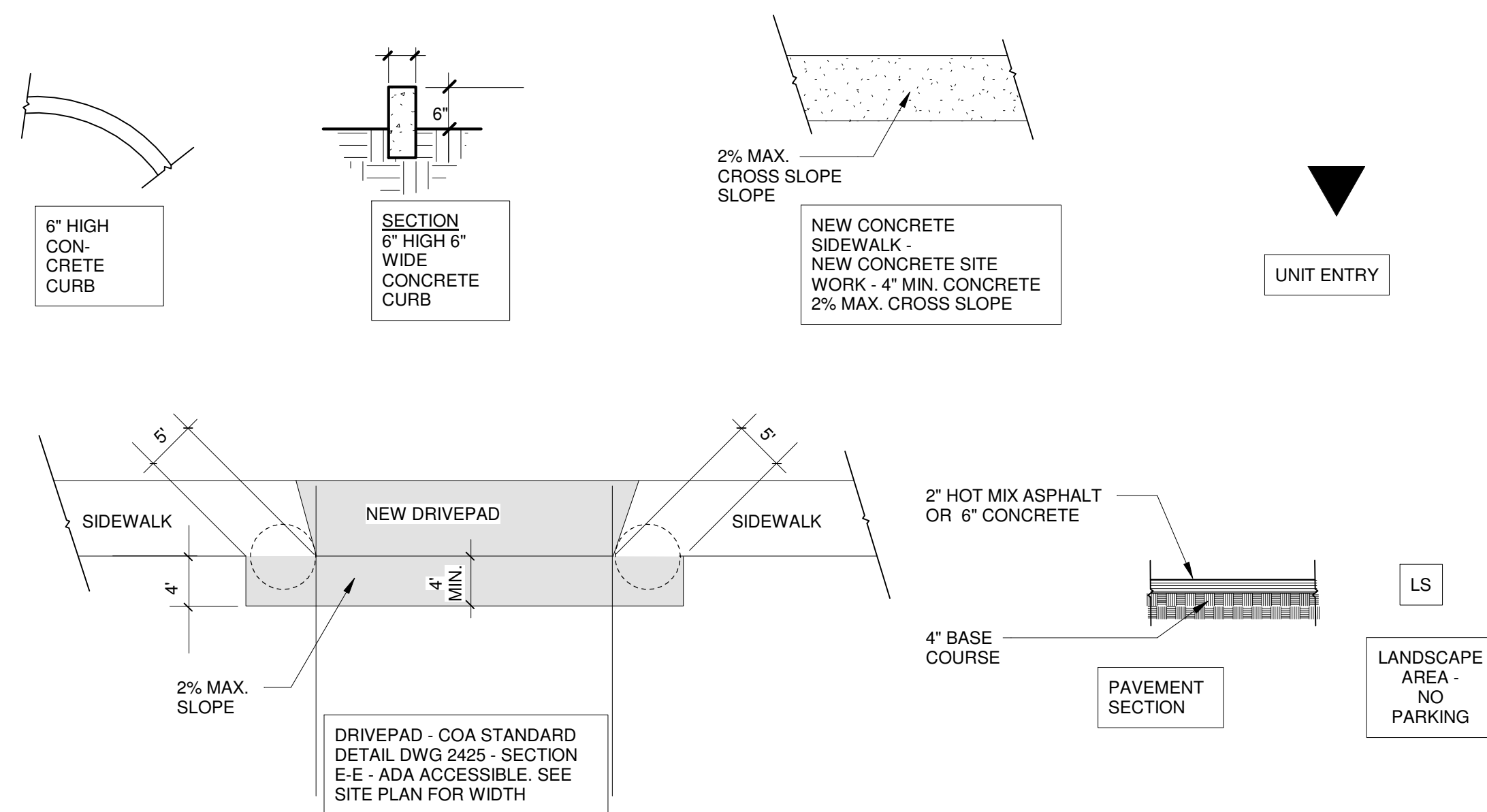
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**TRAFFIC CIRCULATION
LAYOUT APPROVED**

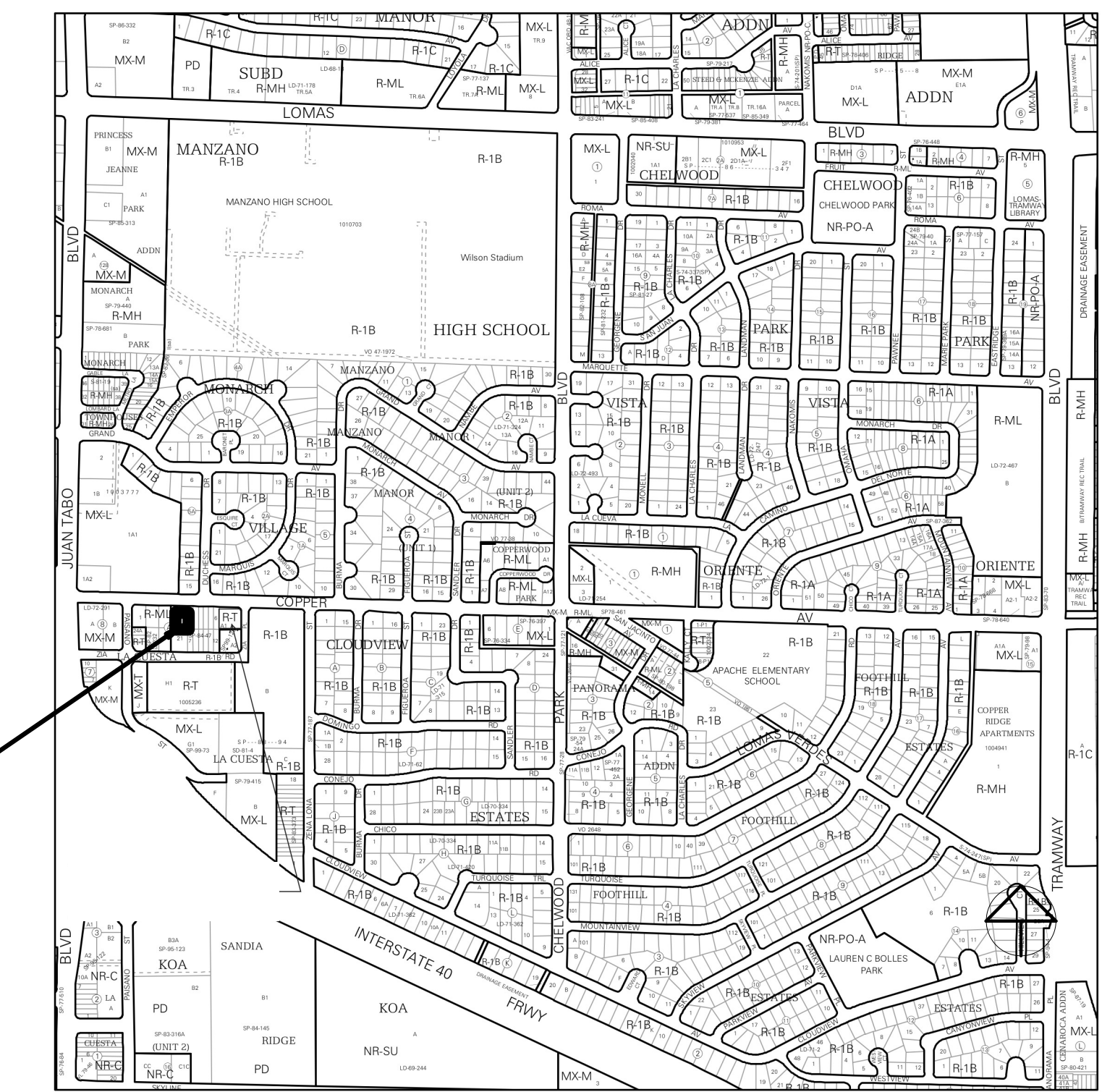
Ernest Armijo 9/16/2022
Signed Date

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12,016 COPPER AVE N.E.



DESIGN CRITERIA

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REVISION HISTORY

REV. 1 09/04/22

Cinelli / Roger Cinelli & Assoc.
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PROJECT TITLE:
DUPLEX FOR AHMET TIRYAKI
12,016 COPPER AVE. N.E.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
TRAFFIC CIRCULATION LAYOUT

SEAL DATE PROJECT NO.
JULY 2022 TIRY57

DRAWING NO.
CIVIL101

7/7/2022
REV. 8/15/2022
REV. 9/4/2022