

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 27, 2023

Scott C. Anderson, RA
Scott C. Anderson & Associates Architects
4419 4th St. NW
Albuquerque, NM 87107

Re: 417 Tramway
417 Tramway Blvd. NE
Traffic Circulation Layout
Architect's Stamp 08-27-23 (K23-D020)

Dear Mr. Anderson,

Based upon the information provided in your submittal received 09-21-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Identify all existing access easements and rights of way width dimensions.
2. Identify the right of way width, medians, curb cuts, and street widths on Tramway Blvd., Cloudview Ave., and Panorama Pl.
3. Please provide a brief of work scope and project information.
4. Please show on the site plan the distance from the intersection to the site accesses.
5. Please show on the site plan the main entrance for the proposed Day Care.
6. All three site accesses and ADA ramps must be updated to current standards and have truncated domes installed.
7. Please provide the width for all the existing site accesses.
8. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
9. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
10. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
11. Define the ADA pathway from the public sidewalk to the building entrance by labeling flush or ramp.
12. Please list the width and length for all existing and proposed parking spaces. Some dimensions are not shown.
13. The minimum parking stall dimensions are:

Type of parking	Min. Width	Min. Length	Min. Overhang
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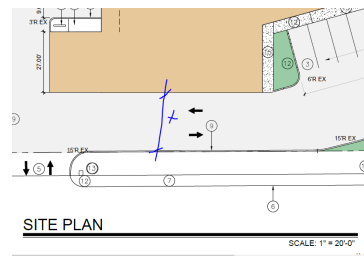
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Standard	8.5'	18'	2'
Compact	7.5'	15'	1.5'
Motorcycle	4'	8'	N/A
ADA	8.5'	18'	2'

14. Please provide the width for the existing drive aisle.



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15. Provide "ONE WAY" sign and pavement marking at the beginning of the drive-thru.
16. Show on the site plan the drive-thru radius.
17. The minimum drive through lane width is 12 feet with a 25-foot minimum radius (inside edge) for all turns. (A 15-foot radius can be used with an increase in lane width to 14 feet). Please dimension all lane widths and radii.
18. Please revise keynote 25.
19. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
20. The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.
21. Please provide a sight distance exhibit
22. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
23. Please specify the City Standard Drawing Number when applicable.
24. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
25. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: mgrush@cabq.gov**).

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26. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

PO Box 1293

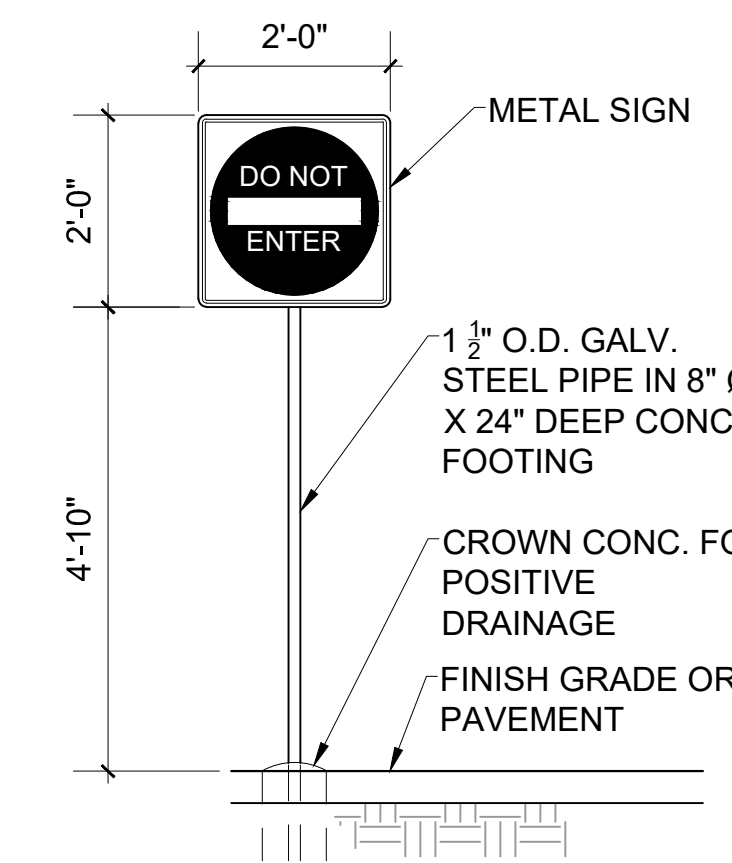
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Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

NM 87103

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\ma via: email
C: CO Clerk, File



DO NOT ENTER SIGN

TRAMWAY BLVD NE

SCALE: NTS

CLOUDVIEW AVE NE

PANORAMA PLACE NE

BUILDING
FOOTPRINT
24,950 SF

TOTAL SITE AREA: 2.0484 AC / 89,228 SF
BUILDING = 24,950 SF
PAVING = 19,910 SF
NET LOT AREA = 17,809 SF
15% NET LOT AREA = 2,671 SF
LANDSCAPING = 5,517 SF

KEYED NOTES

- EXISTING REFUSE ENCLOSURE TO REMAIN AS PREVIOUS APPROVED.
- EXISTING LANDSCAPING AREA TO REMAIN.
- EXISTING HANDICAP PARKING STALL WITH PAVEMENT SIGN, POSTED SIGN, RAMP AND AISLE STRIPPING TO REMAIN.
- EXISTING PAVEMENT TO REMAIN.
- EXISTING ENTRY DRIVEWAY TO REMAIN, COA DETAIL A-2425A.
- EXISTING CITY CURB AND GUTTER TO REMAIN.
- EXISTING CITY SIDE WALK TO REMAIN.
- EXISTING COVERED CONCRETE SIDE WALK.
- EXISTING CONCRETE CURB TO REMAIN.
- EXISTING PROPERTY LINE.
- EXISTING LIGHT POLE TO REMAIN.
- EXISTING RAMP TO REMAIN COA DETAIL 2426.
- EXISTING PHONE PEDESTAL TO REMAIN.
- EXISTING PAINTED PARKING STRIPING TO REMAIN.
- EXISTING CONCRETE SIDE WALK TO REMAIN.
- EXISTING CANOPY STRUCTURE.
- EXISTING BIKE RACK LOCATION 6 SPACES
- EXISTING PYLON SIGN TO REMAIN.
- EXISTING MONUMENT SIGN TO REMAIN.
- AREA OF PROPOSED EXISTING OUTDOOR GATHERING
- EXISTING LANDSCAPING IRRIGATION.
- EXISTING CONCRETE CURB.
- EXISTING BIKE RACK LOCATION W/ 3 SPACES ON CONCRETE SLAB.
- EXISTING 4'-0" WIDE X8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE.
- NEW DRIVE THROUGH STRIPING
- NEW MENU BOARD
- NEW DO NOT ENTER SIGN
- EXISTING PERPENDICULAR HC RAMP COA DETAIL 2447
- EXISTING CROSSWALK TO REMAIN
- EXISTING MOTORCYCLE PARKING
- EXISTING 6 SPACE BIKE RACK
- NEW DO NOT ENTER SIGN, REF DETAIL THIS SHEET

UPC: 102305701105030112

LEGAL: TRACT A-1, BLOCK L, CENAROCA SUBDIVISION

ZONING: MX-L

PARKING CALCULATION:

DAY CARE CENTER: 10,298 SF X 0.0025 = 25.75 SPACES
25 SPACES REQUIRED PER IDO 5-5(C)(1)(c)

HC SPACES PROVIDED = 1 PER ADAAG S208.2

MOTORCYCLE SPACES REQUIRED = 1

BIKE SPACES = 25 PARKING / 20 PER SPACE = 2 REQUIRED: 3 PROVIDED

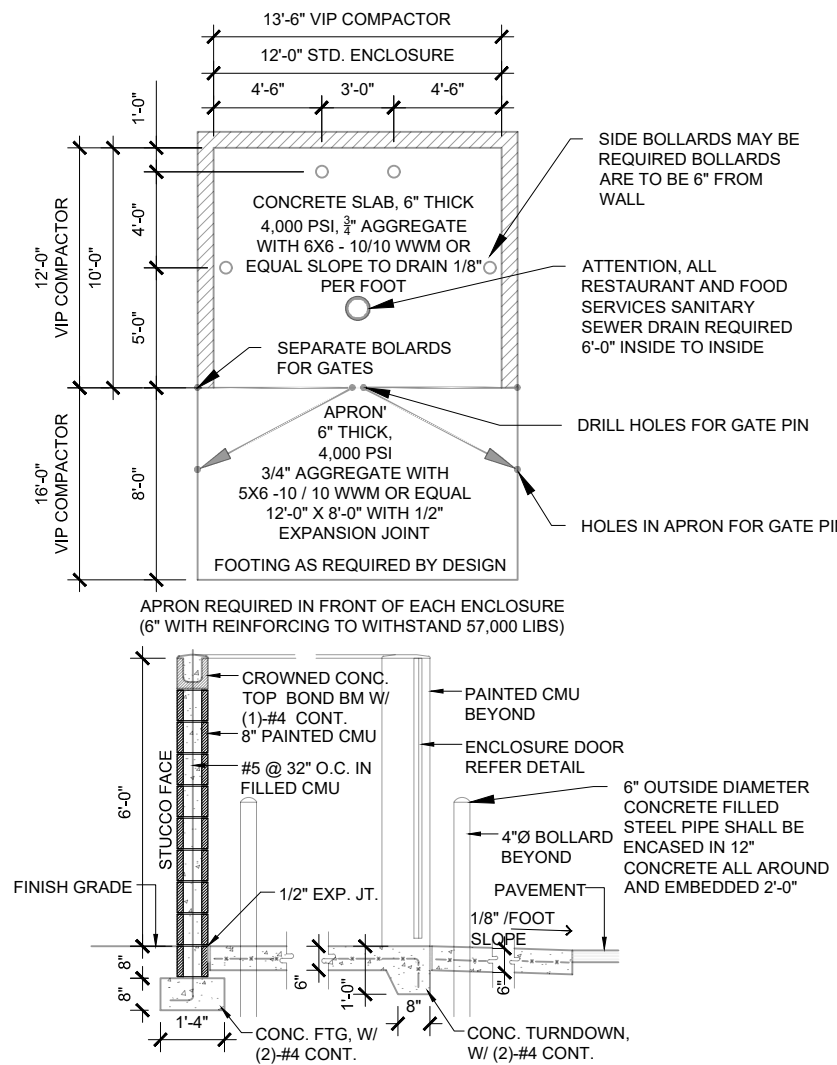


VICINITY MAP

0 10 20 40

SITE PLAN

SCALE: 1" = 20'-0"

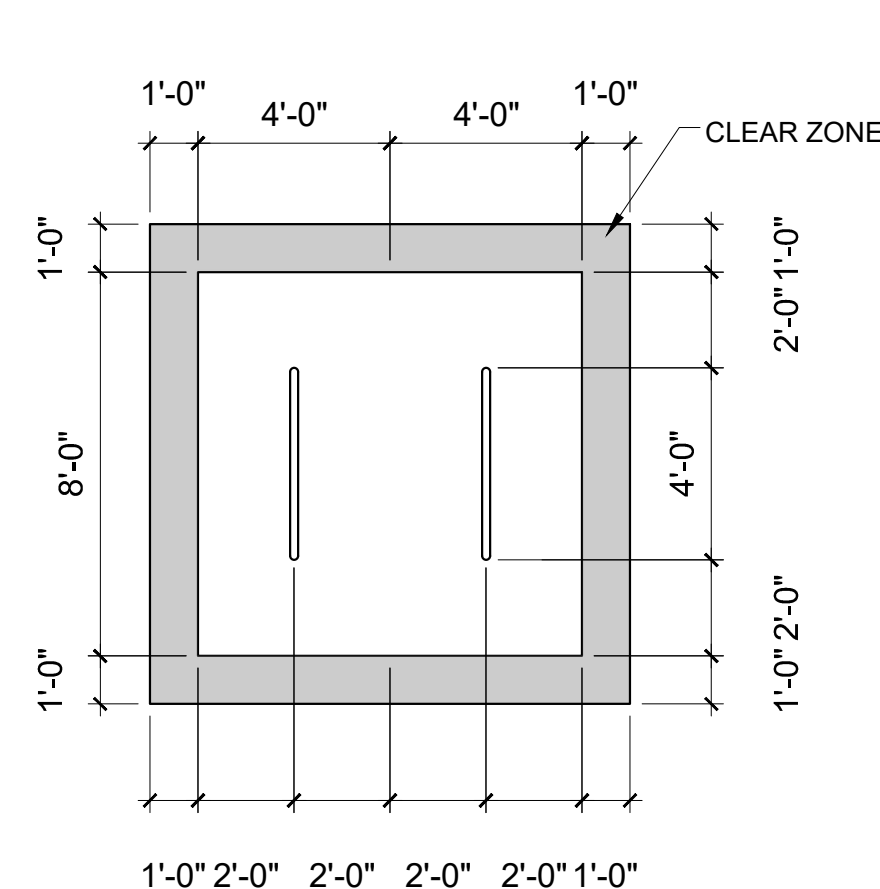


TRASH ENCLOSURE

SCALE: 1/8" = 1'-0"

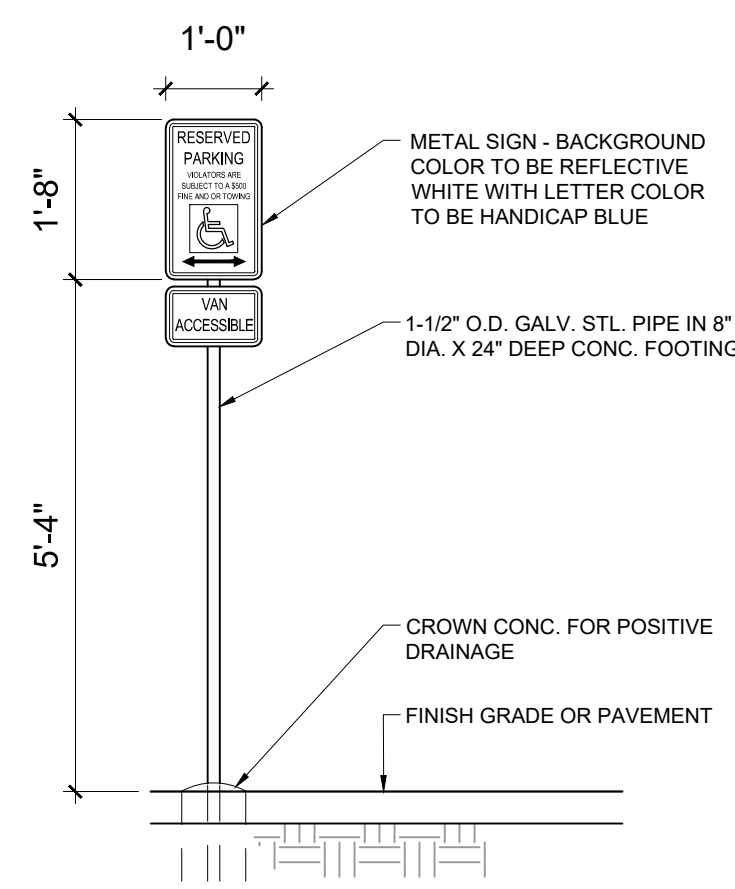
BICYCLE PARKING

SCALE: 1/4" = 1'-0"



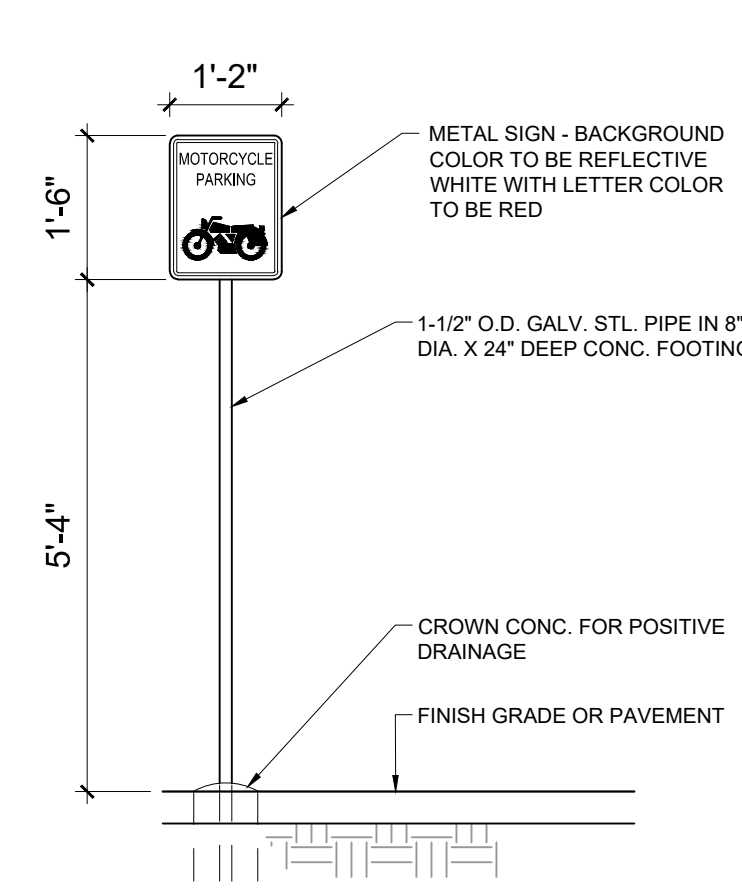
HC SIGN

SCALE: NTS



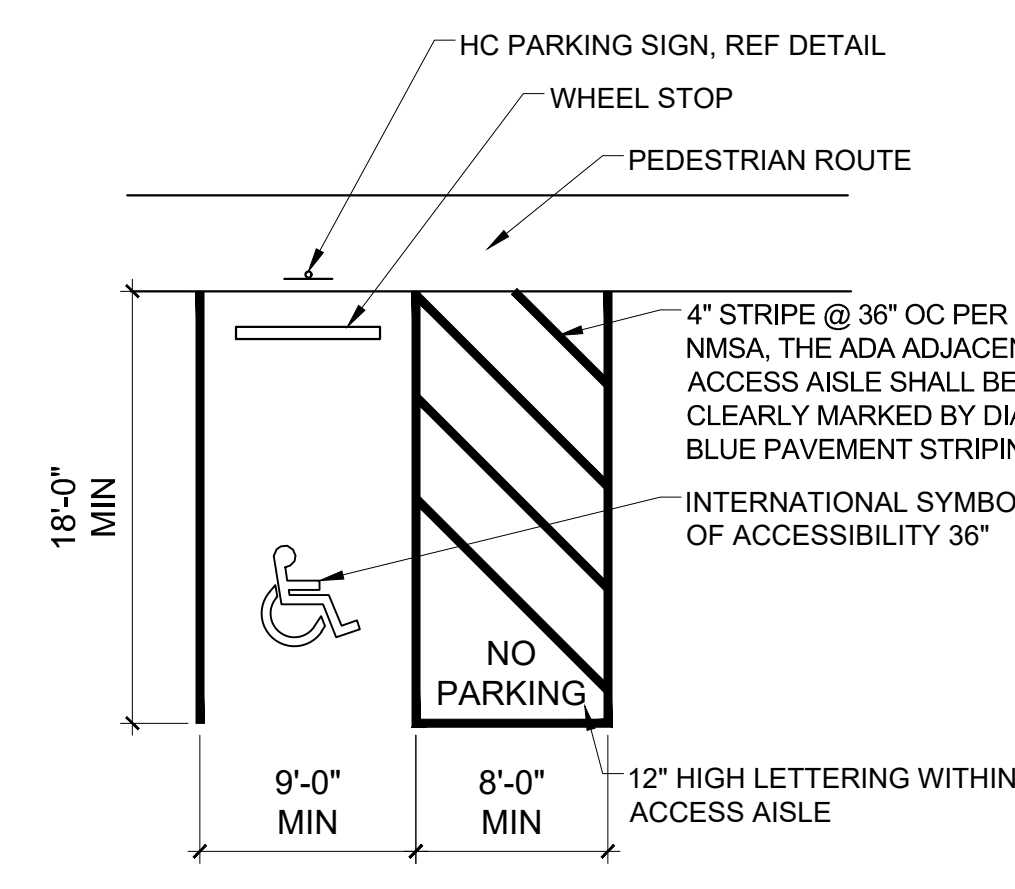
MOTORCYCLE SIGN

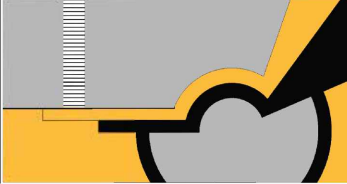
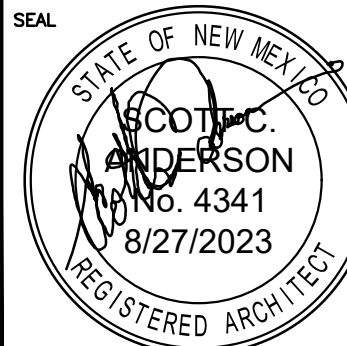
SCALE: 1/2" = 1'-0"



ADA PARKING

SCALE: 1/8" = 1'-0"



No	Revision	Item	Date
 SCOTT C. ANDERSON & associates architects 4432 4th St. NW, Ste. B Albuquerque, NM 87107 scott@scottcanderson.com 505.401.7575			
ADMINISTRATIVE AMENDMENT 417 TRAMWAY BLVD NE ALBUQUERQUE, NM 87123			
DRAWING TITLE			
SITE PLAN			
	DESIGNED	PROJECT NO	
	DRAWN	SCALE	
	CHECKED	DRAWING NO	
	REVIEWED	A-100	
DATE		8/27/2023	