CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director

Mayor Timothy M. Keller

February 29, 2024

David Hickman, RA
Jeebs and Zuzu,LLC
5924 Anaheim Ave NE, Suite A
Albuquerque, NM 87113

Re: **Nana's Playhouse Daycare, 8801 Tunnabora Ave SW**
              TCL
              Architect's Stamp 2-22-24 (L09D028A)

Dear Mr. Hickman,

The TCL submittal received 2-29-24 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Curtis A Cherne

Curtis Cherne, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: File

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Applicant: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL: _____ PLAT (___# OF LOTS) ____ RESIDENCE ____ DRB SITE ____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:
- ____ ENGINEER/ARCHITECT CERTIFICATION
- ____ PAD CERTIFICATION
- ____ CONCEPTUAL G & D PLAN
- ____ GRADING PLAN
- ____ DRAINAGE MASTER PLAN
- ____ DRAINAGE REPORT
- ____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ____ ELEVATION CERTIFICATE
- ____ CLOMR/LOMR
- ____ TRAFFIC CIRCULATION LAYOUT (TCL)
- ____ TRAFFIC IMPACT STUDY (TIS)
- ____ OTHER (SPECIFY) _____
- ____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
- ____ BUILDING PERMIT APPROVAL
- ____ CERTIFICATE OF OCCUPANCY
- ____ PRELIMINARY PLAT APPROVAL
- ____ SITE PLAN FOR SUB'D APPROVAL
- ____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ____ FINAL PLAT APPROVAL
- ____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ____ FOUNDATION PERMIT APPROVAL
- ____ GRADING PERMIT APPROVAL
- ____ SO-19 APPROVAL
- ____ PAVING PERMIT APPROVAL
- ____ GRADING/ PAD CERTIFICATION
- ____ WORK ORDER APPROVAL
- ____ CLOMR/LOMR
- ____ FLOODPLAIN DEVELOPMENT PERMIT
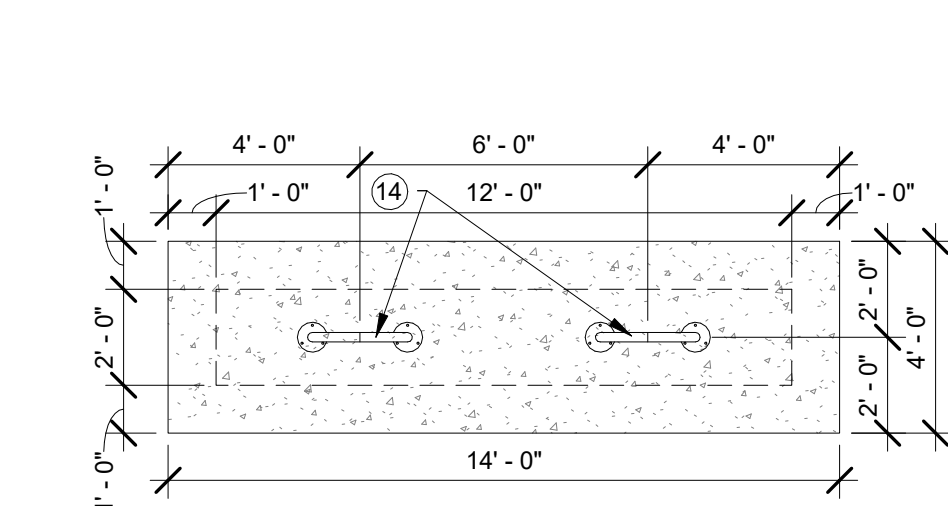- ____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ By: _____

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

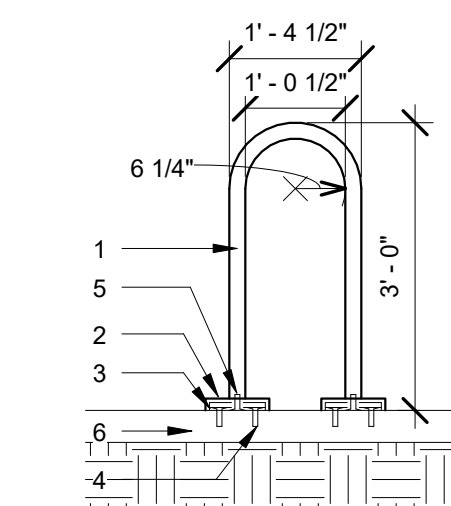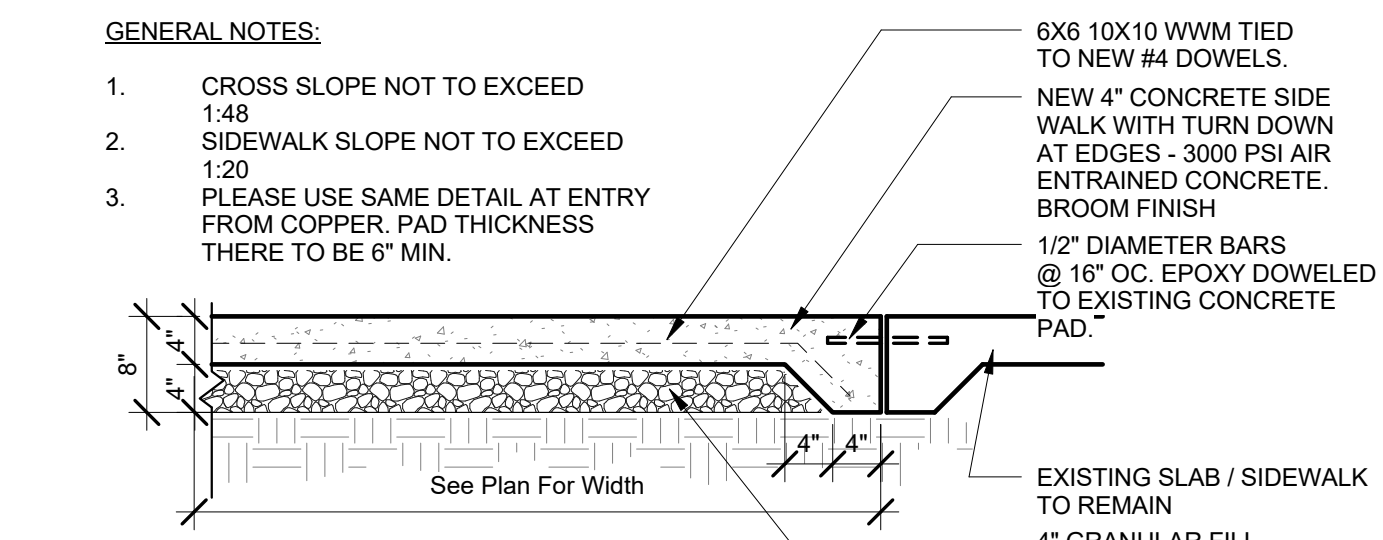FEE PAID: _____
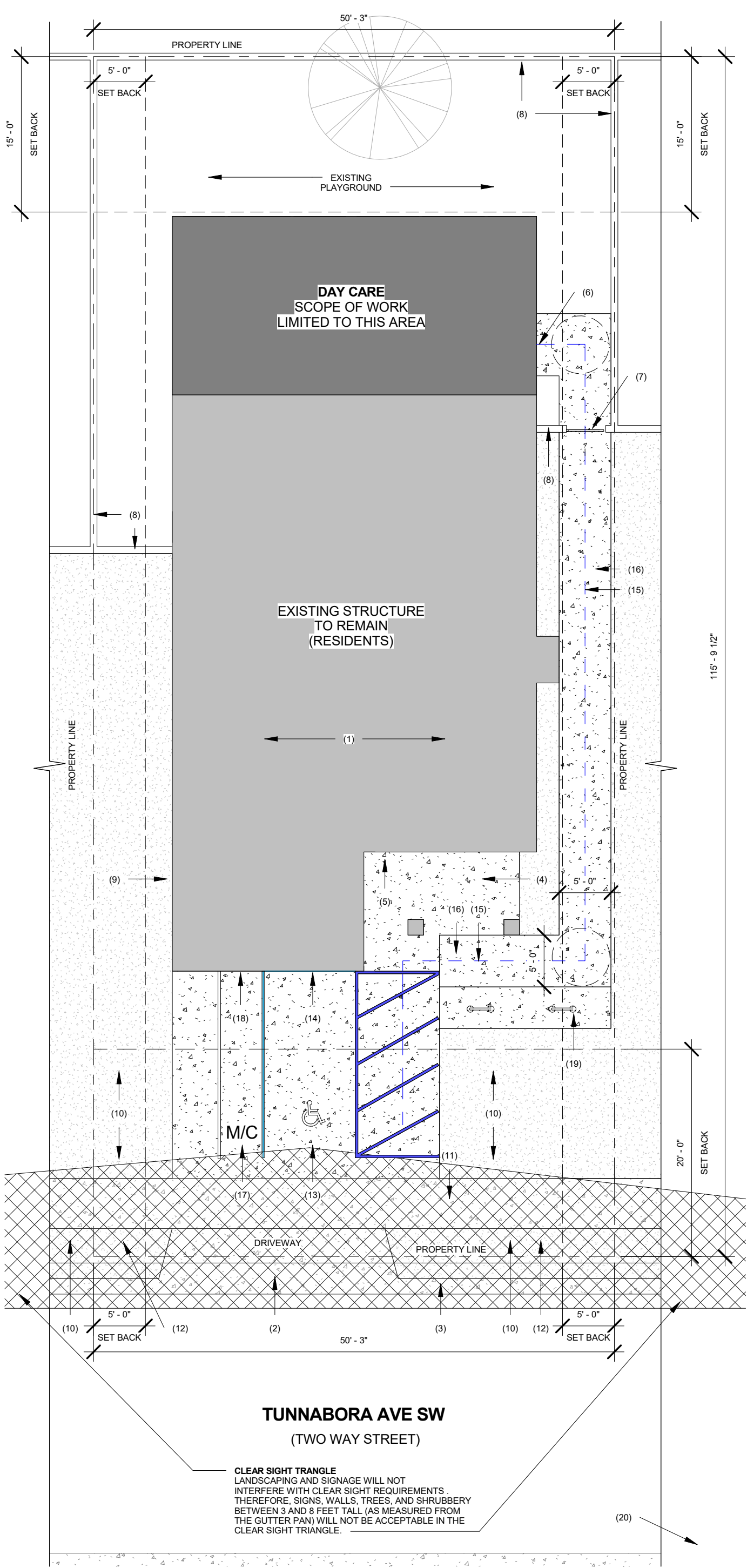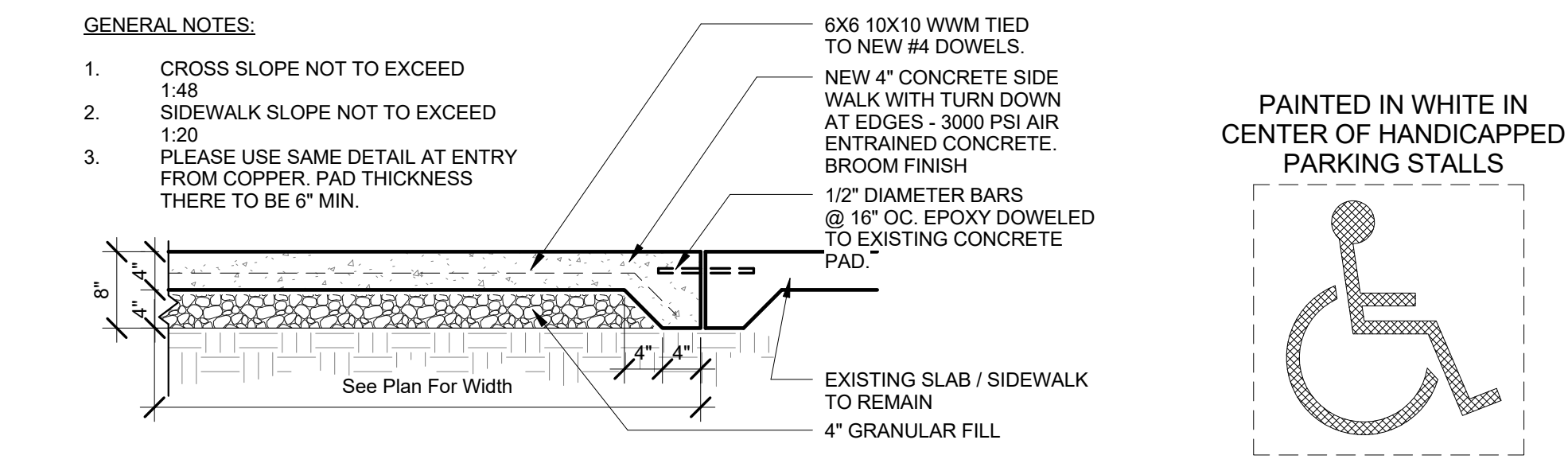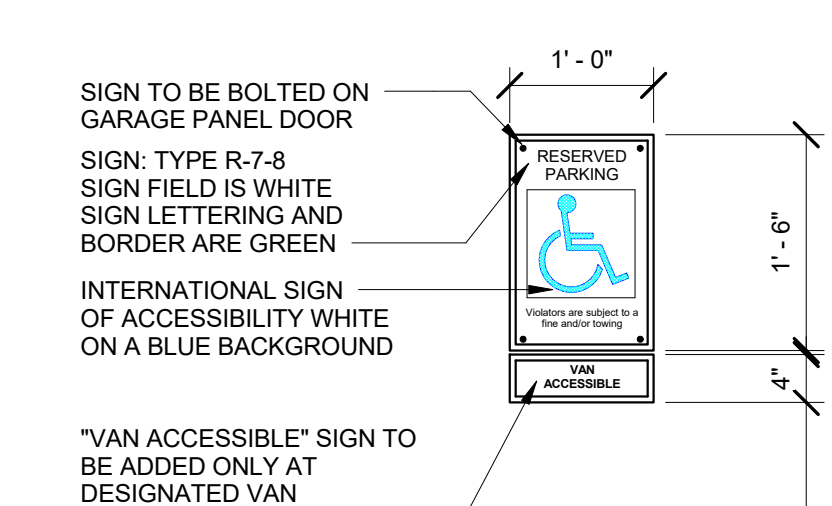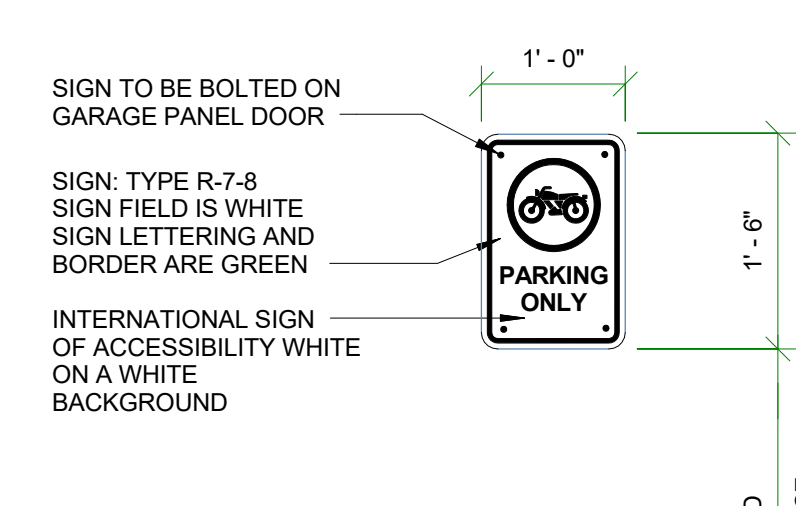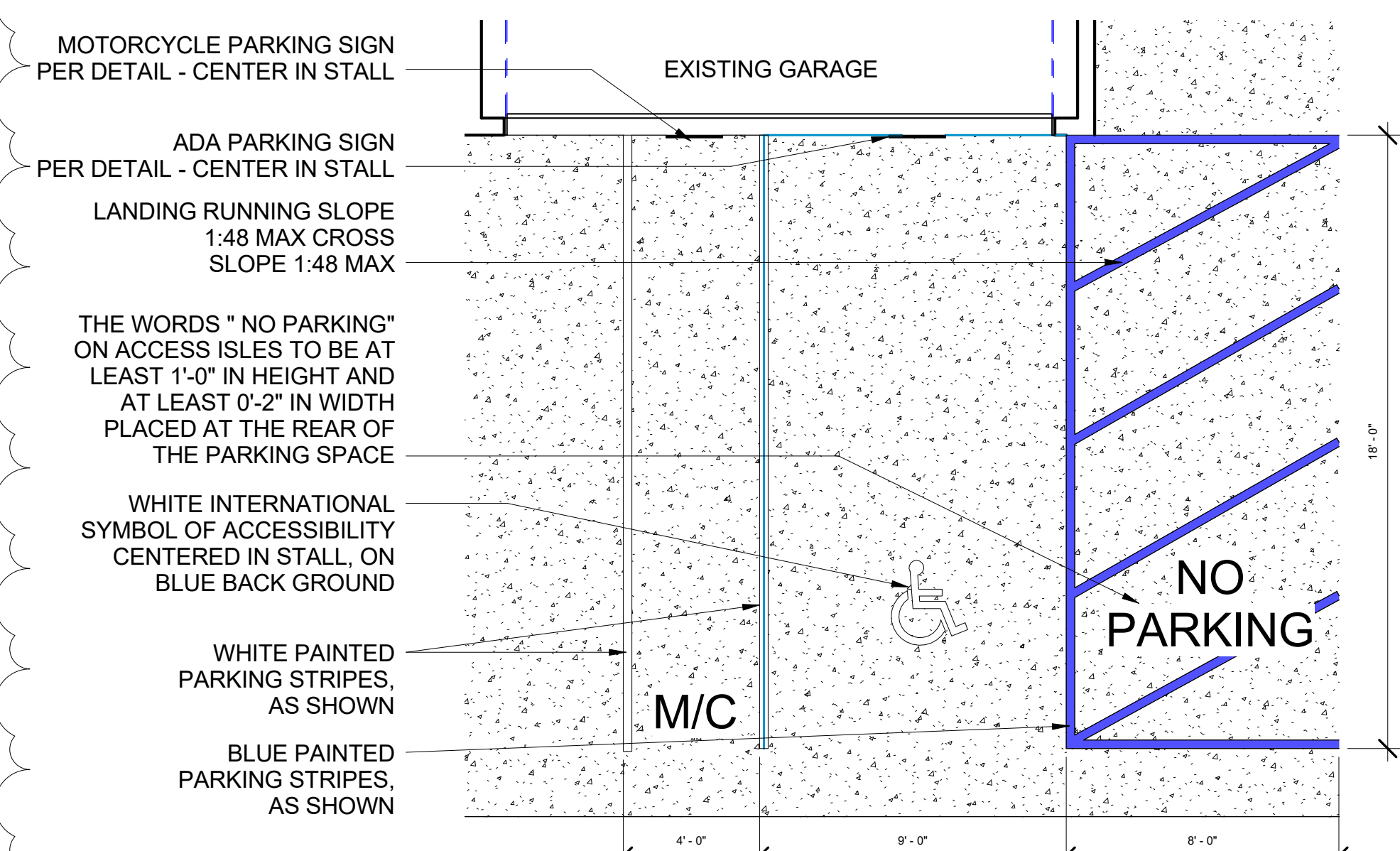
KEYED NOTES:

1. EXISTING HOME TO REMAIN
2. EXISTING DRIVEWAY TO REMAIN
3. EXISTING CURB TO REMAIN.
4. EXISTING CONCRETE PAD TO REMAIN
5. MAIN ENTRY OF EXISTING HOME
6. MAIN ENTRY OF DAYCAR
7. NEW METAL GATE
8. EXISTING CMU FENCE WALL TO REMAIN
9. EXISTING ELECTRICAL METER TO REMAIN.
10. EXISTING XEROSCAPE AREA TO REMAIN.
11. EXISTING SIDEWALK TO REMAIN.
12. EXISTING LANDSCAPE BUFFER TO REMAIN.
13. NEW ADA PARKING STALL.
    - SEE DETAIL (8)
14. ADA PARKING SIGN TO BE BOLTED ONTO GARAGE DOOR. - SEE DETAIL (6).
15. ADA PATHWAY FROM ADA PARKING AISLE INTO DAYCARE ENTRANCE TO BE ZERO STEP WITH 1/2" MAX TRANSITION INTO THE BUILDING.
16. NEW 5'-0" WIDE CONCRETE SIDEWALK
17. MOTORCYCLE PARKING SPACE. PARKING STALL TO BE 4'X8' MINIMUM IN ITS DIMENSIONS - SEE DETAIL (8).
18. MOTORCYCLE PARKING SIGN - SEE DETAIL (7).
19. METAL BIKE RACK LOOP ANCHORED TO CONCRETE - SEE DETAILS (2) & (3).
20. EXISTING FIRE HYDRANT @ 130' SOUTHEAST OF PROPERTY

DAY CARE SCOPE OF WORK LIMITED TO THIS AREA

EXISTING STRUCTURE TO REMAIN (RESIDENTS)

EXISTING PLAYGROUND

TRAFFIC CIRCULATION LAYOUT APPROVED
Curtis A Cherne   2-29-24
Signed   Date

M/C

TUNNABORA AVE SW
(TWO WAY STREET)

CLEAR SIGHT TRIANGLE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

GENERAL NOTES:
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH IBC 2015, UMC 2015, UPC 2015, NEC 2017, ANSI A117.1-2009 AND IN ACCORDANCE WITH LOCAL PERMIT REQUIREMENTS. SUBCONTRACTORS SHALL VERIFY LOCAL REQUIREMENTS.
2. ALL UTILITIES (PRIVATE AND PUBLIC) AND ACCESS CONNECTIONS SHALL BE COORDINATED, FEES PAID AND CONSTRUCTION INSTALLED AS REQUIRED BY GOVERNING AGENCIES OR COMPANY. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SPECIFIC PERMIT, APPROVALS AND PAYING ALL FEES AND TAXES.
3. ALL BROKEN AND CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER AND PER CITY STANDARD DWG 2430 AND 2415A.

① TCL - Site Plan
1" = 10'-0"

ZONE ATLAS

For more details about the Integrated Development Ordinance visit: http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance

IDO Zone Atlas May 2018

Zone Atlas Page: **L-09-Z**

AGIS
Albuquerque Geographic Information System

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Gray Shading Represents Area Outside of the City Limits

Legend:
- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

189

EDWARD GONZALES ELEMENTARY SCHOOL

DESIGN CRITERIA

A. ZONING DESIGN CRITERIA
1. LEGAL DESCRIPTION.......... UPC: 100905639316342215
   LT 25-PI PLAT FOR SAN YGNACIO PLACE CONT .1205 AC
   LOT: 25-PI
   BLOCK: 0000
   SUBD: SAN YGNACIO PLACE
   PIN: ABQ174840
2. ZONING CLASSIFICATION.......... R-1B SINGLE-FAMILY (MED LOT)
3. PERMITTED AND ACTUAL USE.......... BUSINESS
4. PREVIOUS USE.......... R-1B

B. ARCHITECTURAL DESIGN CRITERIA
1. NEW OCCUPANCY GROUP.......... E
2. CONSTRUCTION TYPE.......... VB - NON SPRINKLED
3. FLOOR AREAS
   DAYCARE AREA.......... 605 GROSS SF
4. OCCUPANCY LOAD

   DAY CARE 35 NET:
   481 SF / 35 NET = 13.7 PEOPLE

   TOTAL OCCUPANCY = 14 PEOPLE

PLUMBING FIXTURE COUNT:
CODE REQUIRED:
   WATER CLOSETS: 1/50
      35 PEOPLE/ 50 = 1 WATER CLOSET (1MALE & 1FEMALE)
   LAVATORIES: 1/50
      35 PEOPLE/ 50 = 1 LAVATORY (1MALE & 1 FEMALE)
   1/100 DRINKING FOUNTAIN
      35 PEOPLE / 100 = 1 DRINKING FOUNTAIN
   1 SERVICE SINK

2902.2 Seperate Facilities
Exception 4. Seperate facitlites shall not be required in business occupancies in which the maximum occupant load is 25 or fewer.

IBC - 2902.6 SMALL OCCUPANCIES -
- 15 OR FEWER SHALL NOT BE REQUIRED DRINKING FOUNTAINS.

PROVIDED FIXTURES:
   WATER CLOSETS: 1
   LAVATORIES: 1
   1 SERVICE SINK

PARKING CALCULATION:
1 SPACE REQ. PER 400 GROSS SF PER TABLE 5-5-1 OF IDO

DAYCARE: 481 SF / 400 SF = 2 SPACES REQUIRED

ON STREET STANDARD SPACES PROVIDED = 1 SPACES

NEW ADA PARKING SPACES PROVIDED = 1 SPACES
= 2 SPACES PROVIDED

MOTORCYCLE PARKING REQ. = 1 SPACE REQUIRED
MOTORCYCLE PARKING PROV. = **1 SPACE PROVIDED**

BICYCLE PARKING PER IDO TABLE 5-5-5 = 3 SPACES REQUIRED = **4 SPACES PROVIDED**

job no:	24-004
drawn:	IG
checked:	J&Z
date:	Feb. 22, 2024

IG 2/29/2024

② Bike Rack Plan Detail
1/4" = 1'-0"

③ Bike Rack Detail
1/2" = 1'-0"

GENERAL NOTES:
1. CROSS SLOPE NOT TO EXCEED 1:48
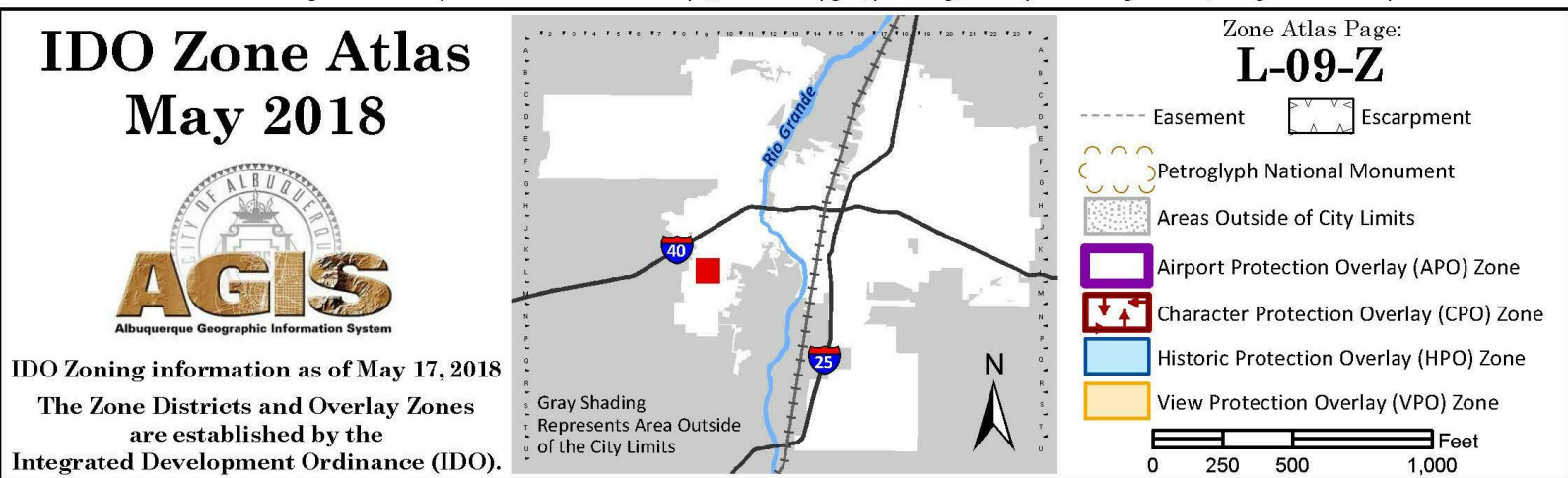2. SIDEWALK SLOPE NOT TO EXCEED 1:20
3. PLEASE USE SAME DETAIL AT ENTRY FROM COPPER. PAD THICKNESS THERE TO BE 6" MIN.

1. 2" Diameter pipe bike rack.
2. Anchor plate cover.
3. 3/8" Thick surface mount plate.
4. 5/8" Surface screw
5. 5/8" Cap Screw
6. New 4" concrete pad.

6X6 10X10 WWM TIED TO NEW #4 DOWELS.
NEW 4" CONCRETE SIDE WALK WITH TURN DOWN AT EDGES - 3000 PSI AIR ENTRAINED CONCRETE. BROOM FINISH
1/2" DIAMETER BARS @ 16" OC. EPOXY DOWELED TO EXISTING CONCRETE PAD.
EXISTING SLAB / SIDEWALK TO REMAIN
4" GRANULAR FILL
See Plan For Width

④ Concrete Side Walk Detail
3/4" = 1'-0"

PAINTED IN WHITE IN CENTER OF HANDICAPPED PARKING STALLS

⑤ Handicap Parking Symbol
1/4" = 1'-0"

SIGN TO BE BOLTED ON GARAGE PANEL DOOR
SIGN: TYPE R-7-8 SIGN FIELD IS WHITE SIGN LETTERING AND BORDER ARE GREEN
INTERNATIONAL SIGN OF ACCESSIBILITY WHITE ON A BLUE BACKGROUND
"VAN ACCESSIBLE" SIGN TO BE ADDED ONLY AT DESIGNATED VAN ACCESSIBLE PARKING SPACES
NOTE: SIGN AND MOUNTING HEIGHT TO BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT
RESERVED PARKING
VAN ACCESSIBLE

⑥ Handicap Parking Sign
3/4" = 1'-0"

SIGN TO BE BOLTED ON GARAGE PANEL DOOR
SIGN: TYPE R-7-8 SIGN FIELD IS WHITE SIGN LETTERING AND BORDER ARE GREEN
INTERNATIONAL SIGN OF ACCESSIBILITY WHITE ON A WHITE BACKGROUND
EXISTING CONCRETE DRIVEWAY
BOTTOM OF LOWEST SIGN TO BE MOUNTED NOT LESS THAN 80" ABOVE PARKING SURFACE
PARKING ONLY

⑦ Motor Cycle Parking Sign
3/4" = 1'-0"

MOTORCYCLE PARKING SIGN PER DETAIL - CENTER IN STALL
EXISTING GARAGE
ADA PARKING SIGN PER DETAIL - CENTER IN STALL
LANDING RUNNING SLOPE 1:48 MAX CROSS SLOPE 1:48 MAX
THE WORDS " NO PARKING" ON ACCESS ISLES TO BE AT LEAST 1'-0" IN HEIGHT AND AT LEAST 0'-2" IN WIDTH PLACED AT THE REAR OF THE PARKING SPACE
WHITE INTERNATIONAL SYMBOL OF ACCESSIBILITY CENTERED IN STALL, ON BLUE BACK GROUND
WHITE PAINTED PARKING STRIPES, AS SHOWN
BLUE PAINTED PARKING STRIPES, AS SHOWN
M/C
NO PARKING

⑧ ADA Parking Detail
1/4" = 1'-0"