

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 2, 2024

David Aube, PE
Studio SW Architects
2101 Mountain Road, SW
Albuquerque, NM, 87104

daube@studioswarch.com

**Re: Albuquerque Collegiate Charter School
Sunset Gardens & 90th St. SW
Conceptual Traffic Circulation Layout for DFT Approval
Engineer's Stamp 11-18-24 (L09D032)**

Dear Mr. Aube,

The conceptual TCL submittal received 11-18-2024 is approved for DHO and/or DFT submittal. When submitting this project through the building permit process, a full Traffic Circulation Layout will need to be submitted and approved prior to building permit. **When submitting TCL for building permit approval, please ensure that both site access details are provided and updated to meet the current ADA city standard.**

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar
Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

C: File

GENERAL SHEET NOTES

1. CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS TO REMAIN INCLUDING, BUT NOT LIMITED TO, BUILDINGS, PAVING, CURBS, SITE WALLS, FOUNDATIONS AND UTILITIES. EXISTING FOUNDATIONS SHALL MAINTAIN THEIR ORIGINAL STRUCTURAL INTEGRITY AS THEY WERE DESIGNED.
2. GENERAL CONTRACTOR SHALL PATCH, REPAIR AND/OR REPLACE ITEMS TO REMAIN THAT HAVE BEEN DAMAGED DURING CONSTRUCTION, TO THE OWNER'S SATISFACTION AND AT NO COST TO THE OWNER.
3. CONTRACTOR SHALL ENSURE THAT UTILITY SERVICE TO EXISTING BUILDINGS TO REMAIN SHALL BE OPERATIONAL DURING CONSTRUCTION.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFETY MEASURES TO PROTECT PEDESTRIANS AND VEHICLES DURING CONSTRUCTION.
5. CONTRACTOR IS TO VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATION.
6. ALL SITE PLAN DIMENSIONS ARE IN DECIMAL UNITS.
7. SIDEWALK JOINTS SHALL FOLLOW PATTERN AS SHOWN ON SITE PLAN.
8. CONSTRUCTION AREA INCLUDED TREES AND PLANTS TO REMAIN.
9. ALBUQUERQUE COLLEGIATE CHARTER SCHOOL SHALL HAVE A STAFF MEMBER PRESENT DURING DROP-OFF AND PICK UP TIMES TO HELP STUDENTS SAFELY CROSS THE DRIVE AISLE WHEN DOUBLE STAKING IS IMPLEMENTED WITHIN THE DRIVE AISLE.
10. STAFF AT ALBUQUERQUE COLLEGIATE CHARTER SCHOOL SHOULD GET FAMILIARIZED WITH THE EPA IDLE-FREE SCHOOLS TOOL-KIT TO MINIMIZE ANY IDLING OF VEHICLES.

SHEET KEYED NOTES

1. EXISTING ASPHALT TO REMAIN.
2. EXISTING CURB AND GUTTER TO REMAIN.
3. EXISTING CONCRETE CURB ACCESS RAMP TO REMAIN.
4. CONCRETE PAVEMENT PER DETAIL D4/C501.
5. STANDARD CURB AND GUTTER PER DETAIL A5/C501.
6. CONCRETE CURB ACCESS RAMP PER DETAIL A1/C502.
7. LAYDOWN DEPRESSED CURB AND GUTTER PER DETAIL A5/C501.
8. DEPRESSED CURB AND GUTTER PER DETAIL A5/C501.
9. CONCRETE SIDEWALK PER DETAIL B4/C501.
10. FIRE LANE WITH ASPHALT PAVEMENT PER DETAIL D1/C501.
11. CONCRETE BANCHEO PER DETAIL C3/C501.
12. TURNDOWN EDGE ON SIDEWALK PER DETAIL E4/C501.
13. CONCRETE PARKING BLOCK PER DETAIL F2/C501.
14. HEADER CURB PER DETAIL A5/C501.
15. ADA RESERVED PARKING STALL PER DETAIL A3/C502.
16. ADA RESERVED PARKING SIGN PER DETAIL D3/C502 AND E6/C-502.
17. ADA VAN ACCESSIBLE RESERVED SIGN PER DETAIL D3/C502 AND E6/C-502.
18. CONCRETE STOOP PER DETAIL C1/C501.
19. 4" WIDE WHITE TRAFFIC PARKING.
20. PAINT CURB RED WITH 6" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
21. PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN 1/4" AND 6" TALL.
22. ASPHALT PAVEMENT PER DETAIL D1/C501.
23. STORMWATER MANAGEMENT POND, SEE GRADING PLANS.
24. MOTORCYCLE PARKING SPACE WITH SIGN AND 12" TALL "MC" LETTERS.
25. BIKE RACK PER DETAIL F3/C-501.
26. MONUMENT SIGN PER DETAIL A3/C-501 AND ARCHITECTURAL PLANS.
27. REFUSE ENCLOSURE PER DETAIL C5/C-502 WITH TWO PARS OF ENCLOSURE GATES PER DETAIL C4/C-502.
28. SWING GATES TO CLOSE OFF FIRE LANE, PER CITY OF ALBUQUERQUE STD DWG 2251.
29. HALF STREET SECTION PER DRC PLANS.
30. CONCRETE RAMP.
31. CONCRETE STEPS WITH HANDRAILS.

LEGEND

---	PROPERTY LINE
---	EASEMENT
ASPHALT PAVEMENT PER DETAIL D1/C501	
CONCRETE SIDEWALK PER DETAIL B4/C501	
CONCRETE PAVEMENT PER DETAIL D4/C501	

L-09-Z ZONE ATLAS PAGE



SITE PLAN - DFT

REVISION DATE

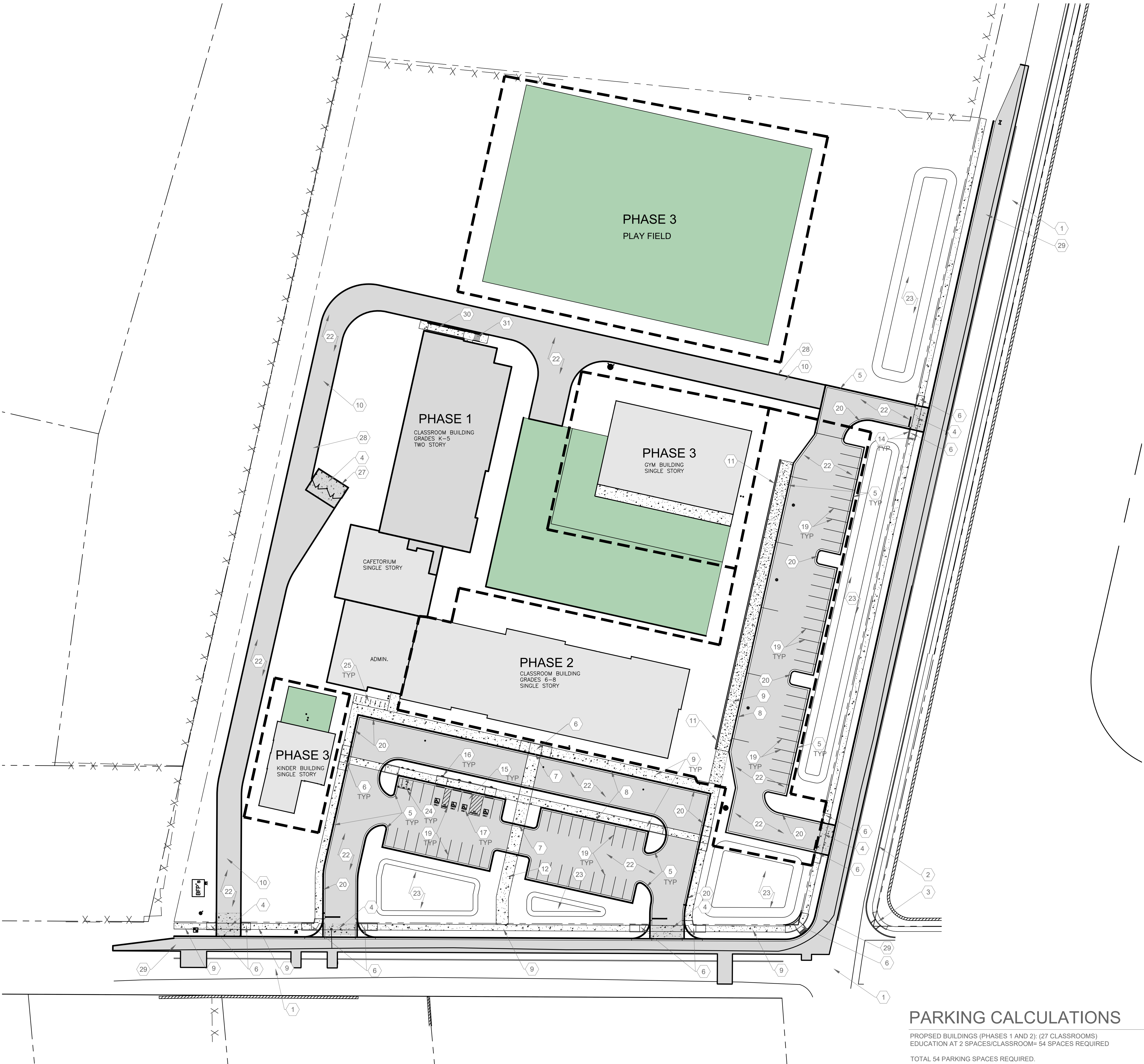
DATE 11-17-24

PROJECT NO

CONCEPTUAL
TRAFFIC
CIRCULATION
LAYOUT -
CAMPUS PLAN

SHEET NO.

TCL-0



PARKING CALCULATIONS

PROPOSED BUILDINGS (PHASES 1 AND 2): (27 CLASSROOMS)
EDUCATION AT 2 SPACES/CLASSROOM= 54 SPACES REQUIRED

TOTAL 54 PARKING SPACES REQUIRED.

PARKING PROVIDED 54 STANDARD SPACES PROVIDED
4 ADA ACCESSIBLE SPACES PROVIDED
3 MOTORCYCLE SPACES REQUIRED, 3 MOTORCYCLE SPACES PROVIDED
11 BICYCLE SPACES REQUIRED, 12 BICYCLE SPACES PROVIDED

CONCEPTUAL TRAFFIC CIRULATION LAYOUT - CAMPUS PLAN

A1

1" = 40'-0"

0 20' 40' 80'

GENERAL SHEET NOTES

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- CONTRACTOR IS TO VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATION. ALL SITE PLAN DIMENSIONS ARE IN DECIMAL UNITS.
- SIDEWALK JOINTS SHALL FOLLOW PATTERN AS SHOWN ON SITE PLAN.
- CONSTRUCTION AREA INCLUDED TREES AND PLANTS TO REMAIN.
- ABUQUERQUE CHARTER SCHOOL SHALL HAVE A STAFF MEMBER PRESENT DURING DROP-OFF AND PICK UP TIMES TO HELP STUDENTS SAFELY CROSS THE DRIVE AISLE WHEN DOUBLE STAKING IS IMPLEMENTED WITHIN THE DRIVE AISLE.
- STAFF AT ABUQUERQUE CHARTER SCHOOL SHOULD GET FAMILIARIZED WITH THE EPA IDLE-FREE SCHOOLS TOOL KIT TO MINIMIZE ANY IDLING OF VEHICLES.

SHEET KEYED NOTES

- EXISTING ASPHALT TO REMAIN.
- EXISTING CURB AND GUTTER TO REMAIN.
- EXISTING CONCRETE CURB ACCESS RAMP TO REMAIN.
- CONCRETE PAVEMENT PER DETAIL D4/C501.
- STANDARD CURB AND GUTTER PER DETAIL A5/C501.
- CONCRETE CURB ACCESS RAMP PER DETAIL A1/C502.
- LAYDOWN DEPRESSED CURB AND GUTTER PER DETAIL A5/C501.
- DEPRESSED CURB AND GUTTER PER DETAIL A5/C501.
- CONCRETE SIDEWALK PER DETAIL B4/C501.
- FIRE LANE WITH HEAVY DUTY ASPHALT PAVEMENT PER DETAIL D1/C501.
- CONCRETE BANCHE PER DETAIL C3/C501.
- TURNDOWN EDGE ON SIDEWALK PER DETAIL E4/C501.
- CONCRETE PARKING BLOCK PER DETAIL F2/C501.
- HEADER CURB PER DETAIL A5/C501.
- ADA RESERVED PARKING STALL, PER DETAIL A3/C502.
- ADA RESERVED PARKING SIGN PER DETAIL D3/C502 AND E6/C-502.
- ADA VAN ACCESSIBLE RESERVED SIGN PER DETAIL D3/C502 AND E6/C-502.
- CONCRETE STOOP PER DETAIL C1/C501.
- 4" WIDE WHITE TRAFFIC PARKING.
- PAINT CURB RED WITH 6" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
- PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN 1/2" AND 6" TALL.
- HEAVY DUTY ASPHALT PAVEMENT PER DETAIL D1/C501.
- PARKING LOT ASPHALT PAVEMENT PER DETAIL D1/C-501.
- MOTORCYCLE PARKING SPACE WITH SIGN AND 12" TALL "MC" LETTERS.
- BIKE RACK PER DETAIL F3/C-501.
- MONUMENT SIGN PER DETAIL A3/C-501 AND ARCHITECTURAL PLANS.
- REFUSE ENCLOSURE PER DETAIL C5/C-502 WITH TWO PAIRS OF ENCLOSURE GATES PER DETAIL C4/C-502.
- STORMWATER POND. SEE GRADING PLANS.

LEGEND

- PROPERTY LINE
- EASEMENT
- ASPHALT PAVEMENT
PER DETAIL D1/C501
- CONCRETE SIDEWALK
PER DETAIL B4/C501
- CONCRETE PAVEMENT
PER DETAIL D4/C501

L-09-Z ZONE ATLAS PAGE

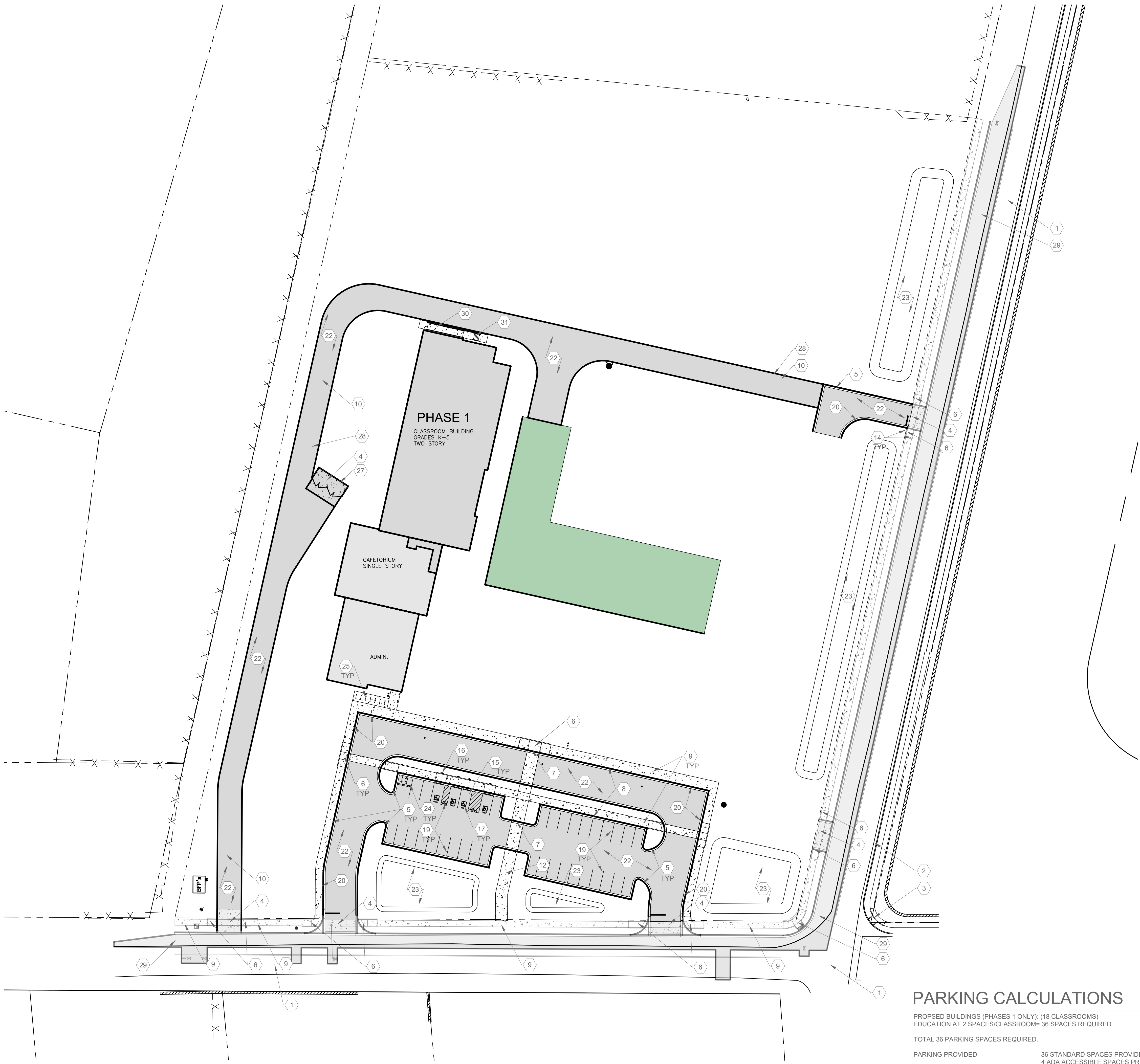


PARKING CALCULATIONS

PROPOSED BUILDINGS (PHASES 1 ONLY): (18 CLASSROOMS)
EDUCATION AT 2 SPACES/CLASSROOM= 36 SPACES REQUIRED

TOTAL 36 PARKING SPACES REQUIRED.

PARKING PROVIDED 36 STANDARD SPACES PROVIDED
4 ADA ACCESSIBLE SPACES PROVIDED
3 MOTORCYCLE SPACES REQUIRED, 3 MOTORCYCLE SPACES PROVIDED
14 BICYCLE SPACES REQUIRED, 14 BICYCLE SPACES PROVIDED



A1

TRAFFIC CIRULATION LAYOUT - PHASE 1

1" = 40'-0"

0 20' 40' 80'



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 05/2024)

L09D032

Project Title: _____

Zone Atlas Page: _____ DFT/DHO #: _____ BP #: _____

Development Street Address: _____

(If no City Address include a Vicinity Map with site highlighted and legible street names)

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ E-mail: _____

Development Information

Build out/Implementation Year: _____

Existing Use: _____

Describe Proposed Development and Uses:

Days and Hours of Operation (if known): _____

Facility

Building Size (sq. ft.): _____

Number of Residential Units: _____

Number of Commercial Units: _____

Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):* _____

Expected Number of Employees (if known):* _____

Expected Number of Delivery Trucks/Buses per Day (if known):* _____

Trip Generations during PM/AM Peak Hour and ITE # (if known):* _____

Driveway(s) Located on: Street Name _____

Adjacent Roadway(s) Posted Speed: Street Name _____ Speed _____

Street Name _____ Speed _____

** If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required.*

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation (e.g. Main Street, Major Transit, N/A): _____
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Comprehensive Plan Center Designation (e.g. urban center, Downtown, N/A): _____
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Street Functional Classification (e.g. Principal Arterial, Collector) : _____
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Jurisdiction of roadway (NMDOT, City, County): _____

Adjacent Roadway(s):

Name: _____ Traffic Volume: _____ Volume-to-Capacity Ratio (v/c): _____

Name: _____ Traffic Volume: _____ Volume-to-Capacity Ratio (v/c): _____

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/623/Traffic-Flow-Maps-and-Busiest-Intersecti> and <https://mrcog-nm.gov/574/Transportation-Analysis-and-Querying-App>

Adjacent Transit Service(s) : _____ Nearest Transit Stop(s): _____
<https://www.cabq.gov/gis/advanced-map-viewer>

Is site within 660 feet of Premium Transit?: _____
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Current/Proposed Bicycle Infrastructure : _____

Bikeways: <https://mrcog-nm.gov/544/Long-Range-System-maps>

Current/Proposed Sidewalk and buffer Infrastructure: _____

Sidewalk and buffer width : DPM Table 7.2.29

Submit by email to Traffic Engineer Curtis Cherne: ccherne@cabq.gov. Email or call 505-924-3986 for information.

For City Personnel Use:

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes ☒ No ☐

Thresholds Met? Yes ☒ No ☐

Mitigating Reasons for Not Requiring TIS and/or Notes:

City concurs with Trips on Form
AM 506
PM 104

Attachments:

Site Plan

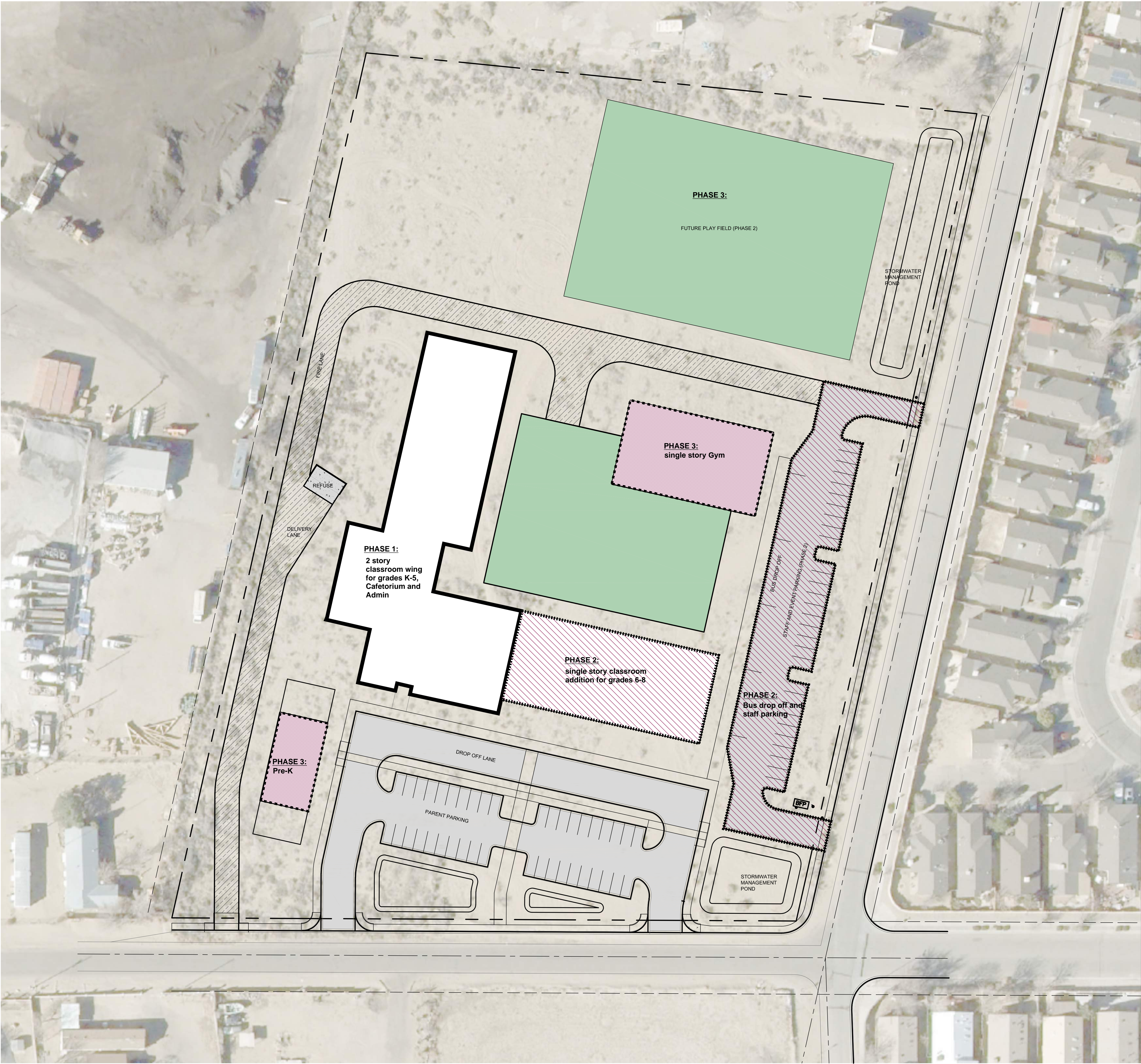
Zone Atlas Map

ITE Trip Generation Data Table (11th Ed.)

Curtis A Cherne

TRAFFIC ENGINEER

DATE



GENERAL SHEET NOTES

SHEET KEYED NOTES

LEGEND

	PROPERTY LINE
	EASEMENT
	ASPHALT PAVEMENT PER DETAIL D1/C501
	CONCRETE SIDEWALK PER DETAIL B4/C501
	CONCRETE PAVEMENT PER DETAIL D4/C501
	GRAVEL PAVE2 FIRE LANE PER DETAIL A2/C501

ZONE ATLAS PAGE

MASTERPLAN

Albuquerque Collegiate Charter School

Trip Generation Data (ITE Trip Generation Manual - 11th Edition)

USE (ITE CODE)	24 HR VOL	A. M. PEAK HR.		P. M. PEAK HR.	
DESCRIPTION	GROSS	ENTER	EXIT	ENTER	EXIT

Summary Sheet

	Units					
Charter K-12 (538)	610.00	506	258	248	-	-
Private K-12 (532)	610.00	104	-	-	45	59
Subtotal		610	258	248	45	59
<i>Pass-By Trips</i>	0%		0	0	0	0
Total Primary Trips			258	248	45	59