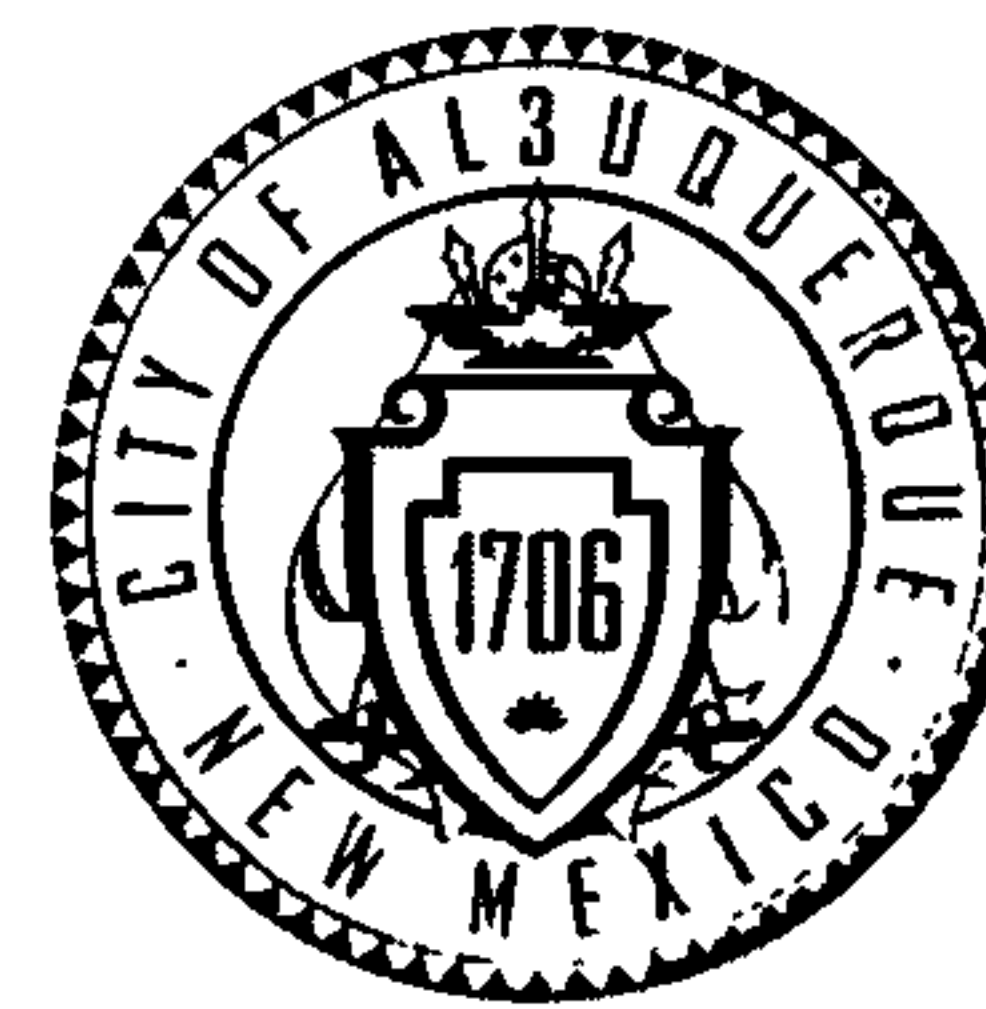


# CITY OF ALBUQUERQUE



July 31, 2013

Philip W. Clark, PE  
**Clark Consulting Engineers**  
19 Ryan Road  
Edgewood, NM 87015

**Re: Parkside Child Development, 901 86<sup>th</sup> st.**  
**Request for Permanent C.O. –Accepted**  
**Engineer's Stamp dated: 9-27-11, (L09/D041)**  
**Certification dated: 7-22-13**

Dear Mr. Clark,

Based upon the information provided in the Certification received 07-22-13, the above referenced Certification is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records. This certification can be e-mailed to me at: [ccherne@cabq.gov](mailto:ccherne@cabq.gov) or [rael@cabq.gov](mailto:rael@cabq.gov).

PO Box 1293

If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

Albuquerque

Sincerely,

Curtis A. Cherne, P.E.  
Principal Engineer—Hydrology Section  
Development and Building Services

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

C: RR/CC  
CO Clerk—Katrina Sigala  
e-mail

DRAINAGE AND TRANSPORTATION INFORMATION SHEET  
(Rev. 12/05)

PROJECT TITLE: Parkside Child Devel. ZONE MAP/DRG. FILE # L-9 / D041  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 1 of the Lands L.W. Barrett  
CITY ADDRESS: 901 86<sup>th</sup> St NW

ENGINEERING FIRM: Clark Consulting Engineers CONTACT: Phil  
ADDRESS: 19 Ryan Road PHONE: 281-2444  
CITY, STATE: Edgewood, New Mexico 87015 ZIP CODE: \_\_\_\_\_

OWNER: Parkside CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ CONTACT: Kory Baker  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: Phil T.  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT
- ENGINEER/ARCHITECT CERT (TCL)
- ENGINEER/ARCHITECT CERT (DRB S.P.)
- ENGINEER/ARCHITECT CERT (AA)
- OTHER (SPECIFY)

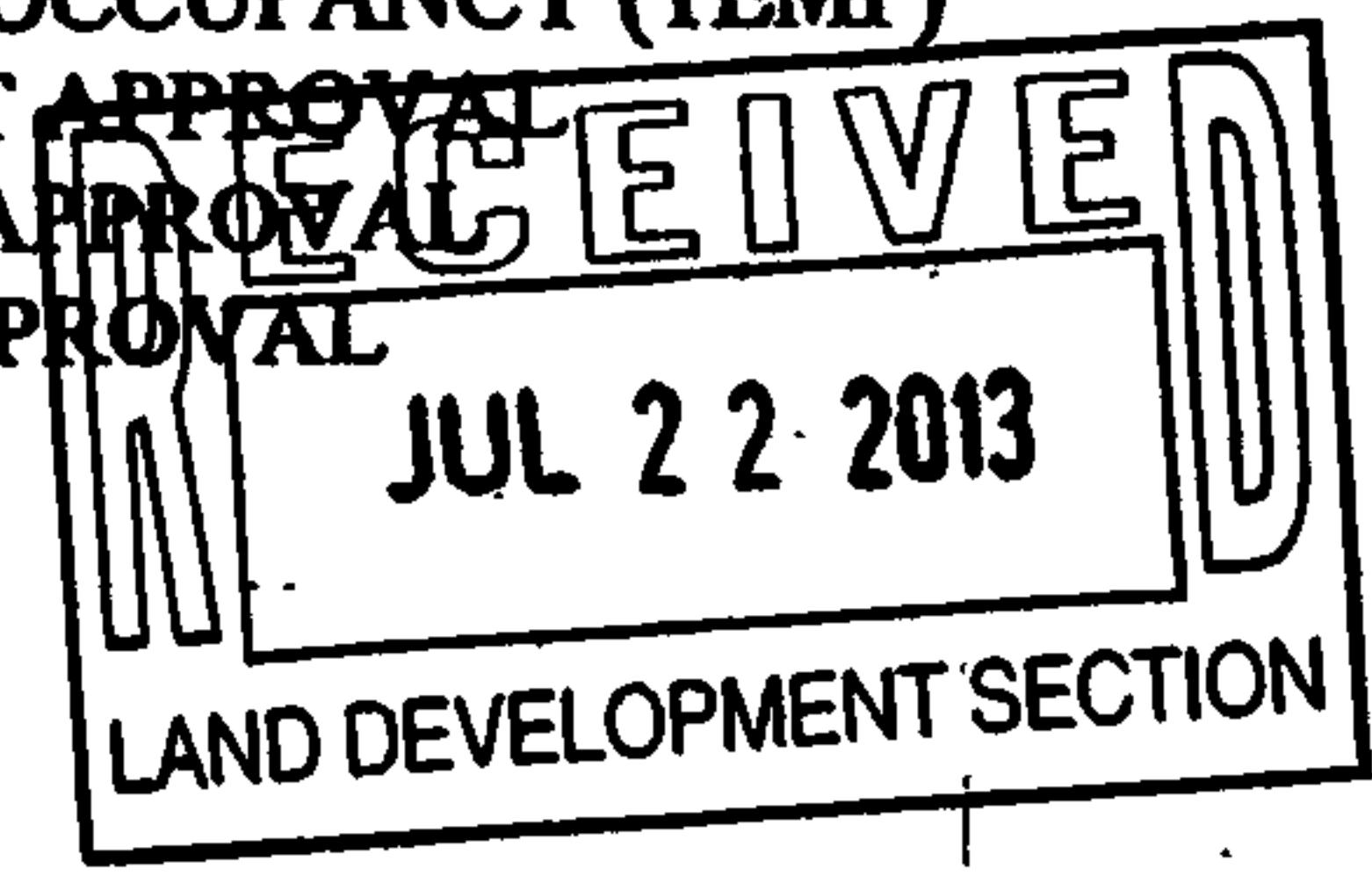
CHECK TYPE OF APPROVAL SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TEMP)
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- YES
- NO
- COPY PROVIDED

SUBMITTED BY: [Signature] DATE: 7/22/13



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

# TREASURER'S REPORT OF DEPOSITS

<b>Remitter:</b> <b>Eighty Sixth Limited Partnership</b>  <b>Check No. 106047</b>	<b>Project Name:</b> <b>Lot 1, lands of L.W. Barrett</b>  <b>CPN: 499181</b>
<b>Comments: Financial Guaranty</b> <b>SIA C-Modified , will be built under</b> <b>Project #769091</b>	<b>Account: 531510</b> <b>Activity: 7357350</b> <b>Fund: 305</b>  <b>Amount: <u>\$4,820.84</u></b>

**Total Amount: \$4,820.84**  
**Verified By: Marilyn Maldonado**  
**Phone Number: (505)924-3997**  
**Deposit Date: March 26, 2012**

\*\*\*DUPLICATE\*\*\*  
 City Of Albuquerque  
 Treasury Division

```

3/26/2012      3:01PM      LOC: ANX
RECEIPT# 00145963 WSH 006  TRANSH 0042
Acc. no 531501      Fund 0305
Activity 7357350      TRSCCS
Trans AMT      $4,820.84
J24 Misc      $4,820.84
  CN      $4,820.84
CHANGE      $0.00
  
```

Page 1 of 1

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

July 26, 2013

J. Kory Baker, RA.  
PO Box 254  
Estancia, NM 87016

Re: **Certification Submittal for Certificate of Occupancy (C.O.)**  
Parkside Child Development Center, [L-9/D041]  
901 86<sup>th</sup> Street SW  
Architect's Stamp Dated 07/23/13

Dear Mr. Baker:

Based upon the information provided in your submittal received 07-26-13, Transportation Development has no objection to the issuance of a **Permanent Certificate of Occupancy**. This letter serves as a "green tag" from Transportation Development for a **Permanent Certificate of Occupancy** to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Albuquerque

New Mexico 87103

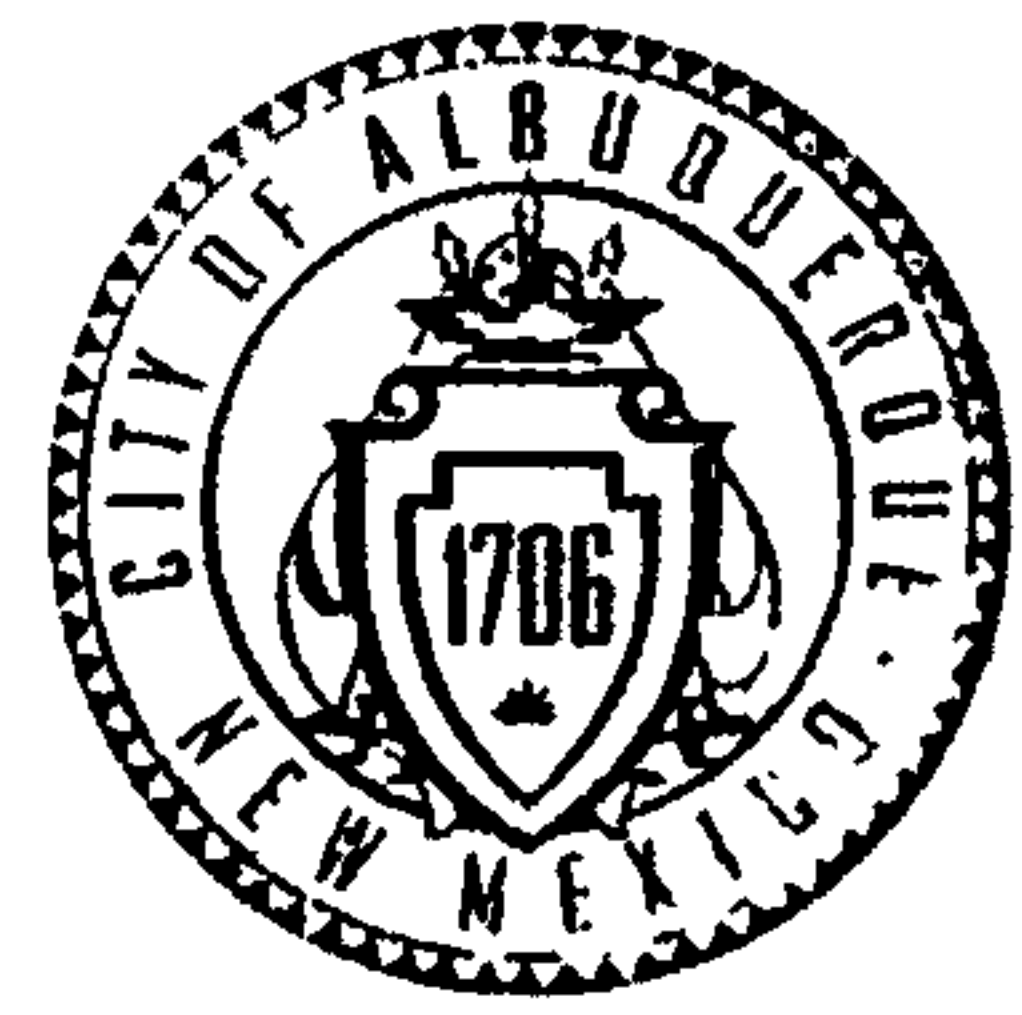
  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

www.cabq.gov

c: Engineer  
Hydrology file  
CO Clerk



# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

July 26, 2013

J. Kory Baker, RA.  
PO Box 254  
Estancia, NM 87016

Re: **Certification Submittal for Certificate of Occupancy (C.O.)**  
Parkside Child Development Center, [L-9/D041]  
901 86<sup>th</sup> Street SW  
Architect's Stamp Dated 07/23/13

Dear Mr. Baker:

Based upon the information provided in your submittal received 07-23-13, the submittal is **not sufficient for acceptance** by Transportation Development Section for a Permanent Certificate of Occupancy. The following items need to be addressed:

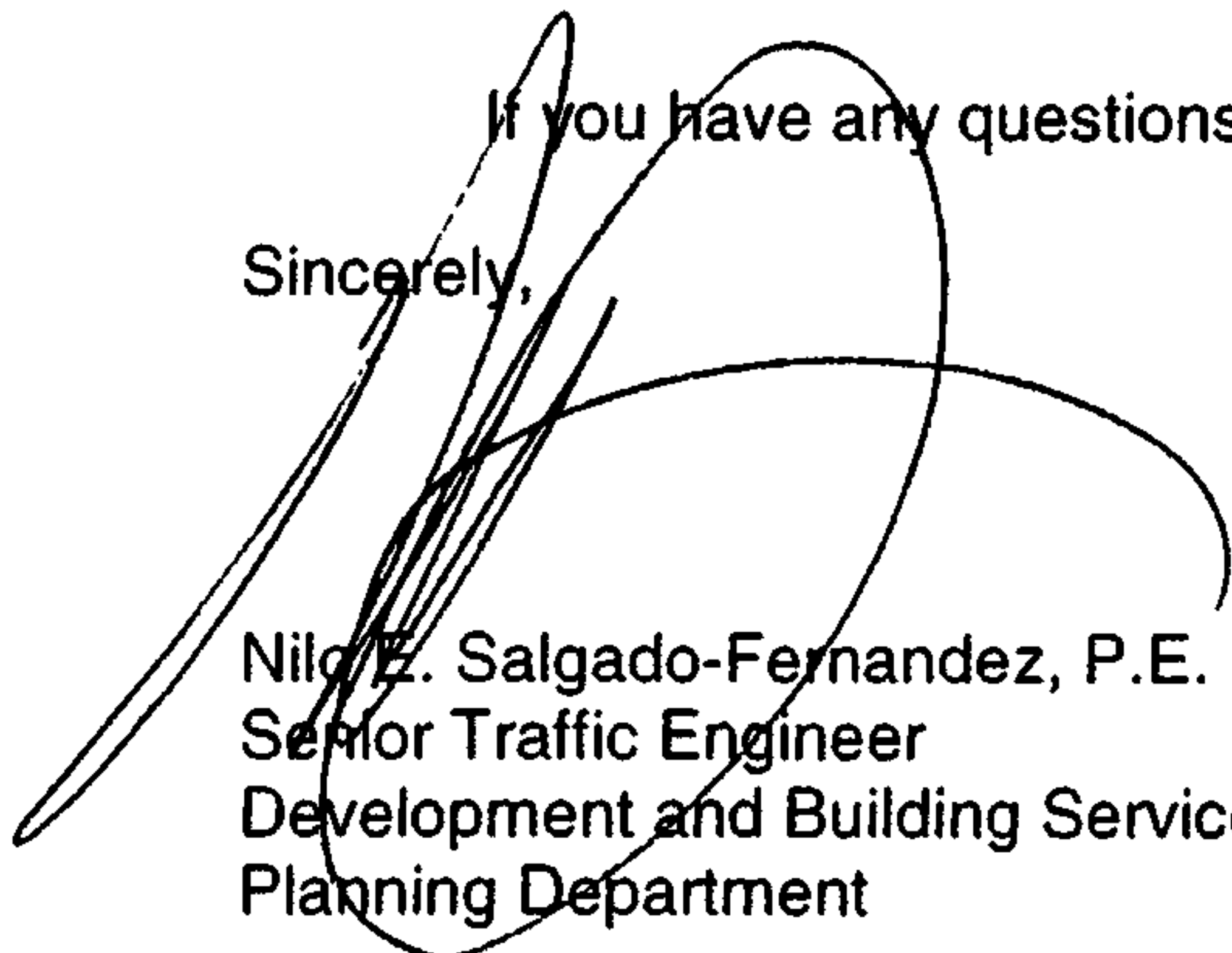
- For all parking stalls that are compacted, the pavement markings signifying Compact will need to be provided as shown on Site Plan.
- ADA parking signage doesn't specify "Van Accessible" and needs to in accordance with the approved site plan.

The issuance of a **30-day Temporary Certificate of Occupancy** has been provided until the above items have been addressed. This letter serves as a "green tag" from Transportation Development for a **30-day Temporary Certificate of Occupancy** to be issued by the Building and Safety Division.

Once the above items have been addressed, please resubmit acceptable package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation Development Section.

If you have any questions, please contact me at (505)924-3630.

Sincerely,



Nilda E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: PARKSIDE CHILD DEVELOPMENT Building Permit # 29291714 City Drainage #: LO9D041

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: LOT 1A LANDS OF L.W. BARRETT

City Address: 901 86TH ST SW

Engineering Firm: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: J. KORY BAKER, ARCHITECT Contact: KORY BAKER

Address: PO BOX 254

Phone#: 384-3112 Fax#: 384-1853 E-mail: j.k.baker@centurylink.net

Surveyor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

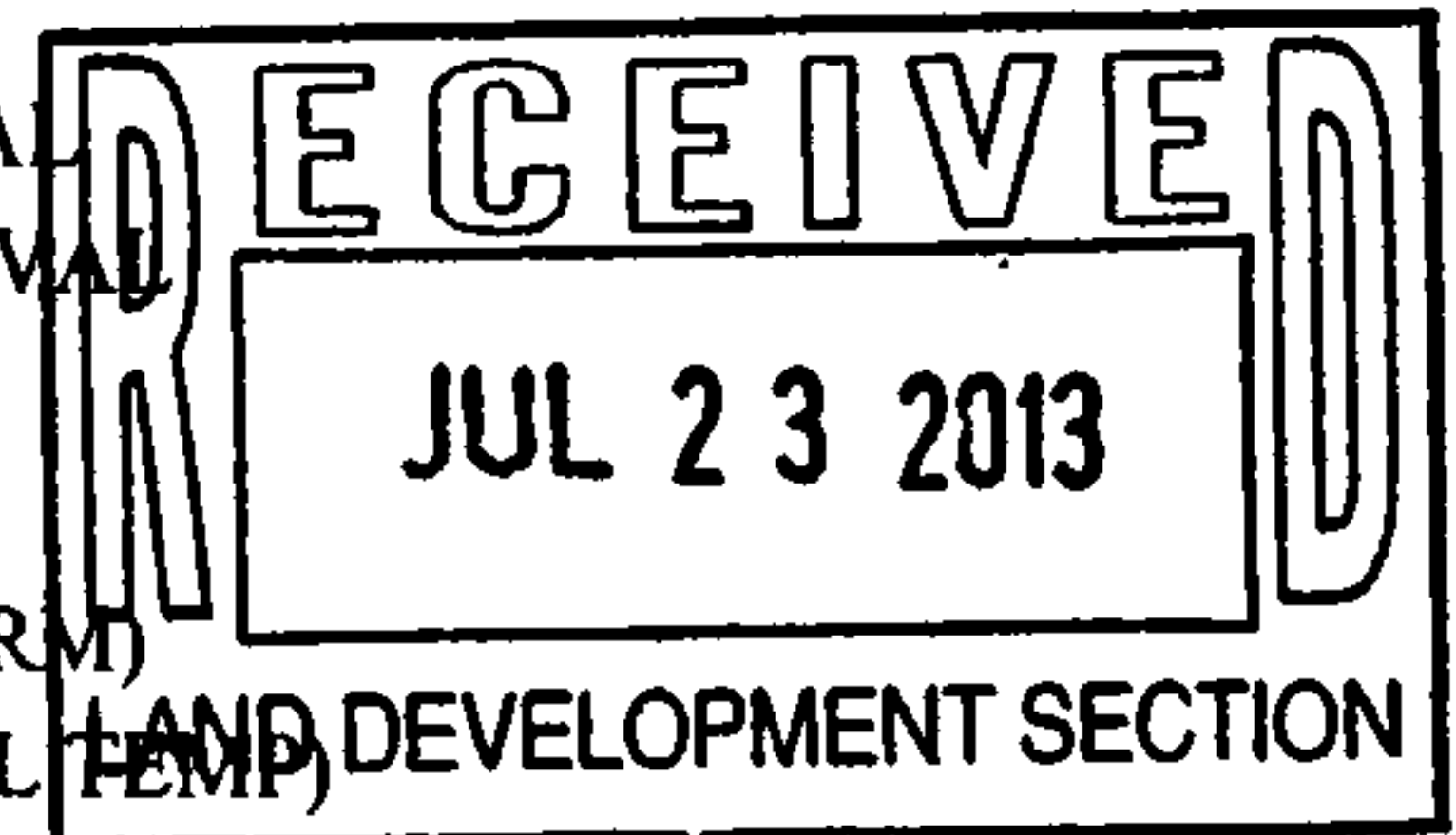
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN) **FOR TRAFFIC**
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TCL TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes No Copy Provided

DATE SUBMITTED: 7.23.13 By: J. Kory Baker

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- Conceptual Grading and Drainage Plan.** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- Drainage Report** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.
- Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

*RUDY HAS FILE.*

**J. Kory Baker**

**Architect**



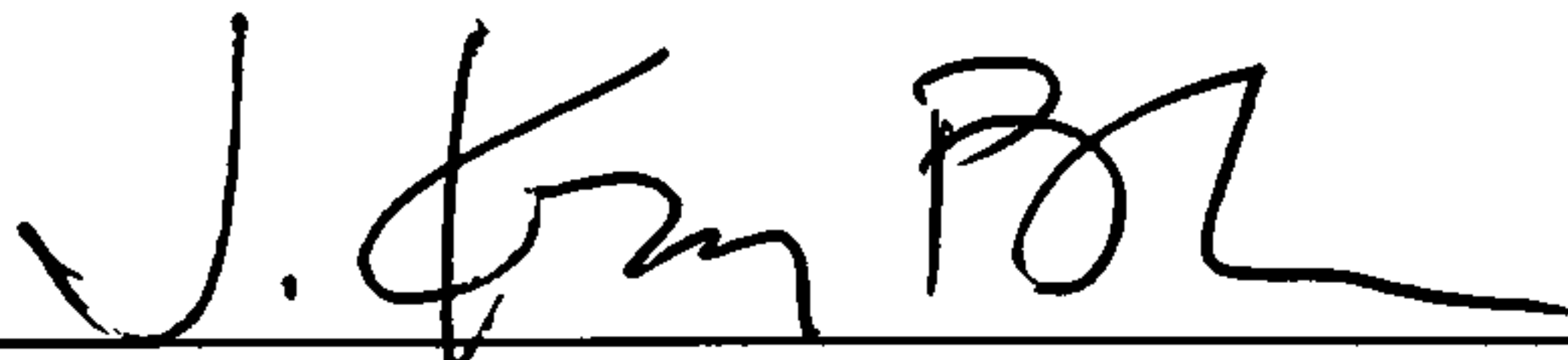
P.O. Box 254  
Estancia, NM 87016

Phone: 505-384-3112  
Fax: 505-384-1853  
Email: j.k.baker@centurylink.net

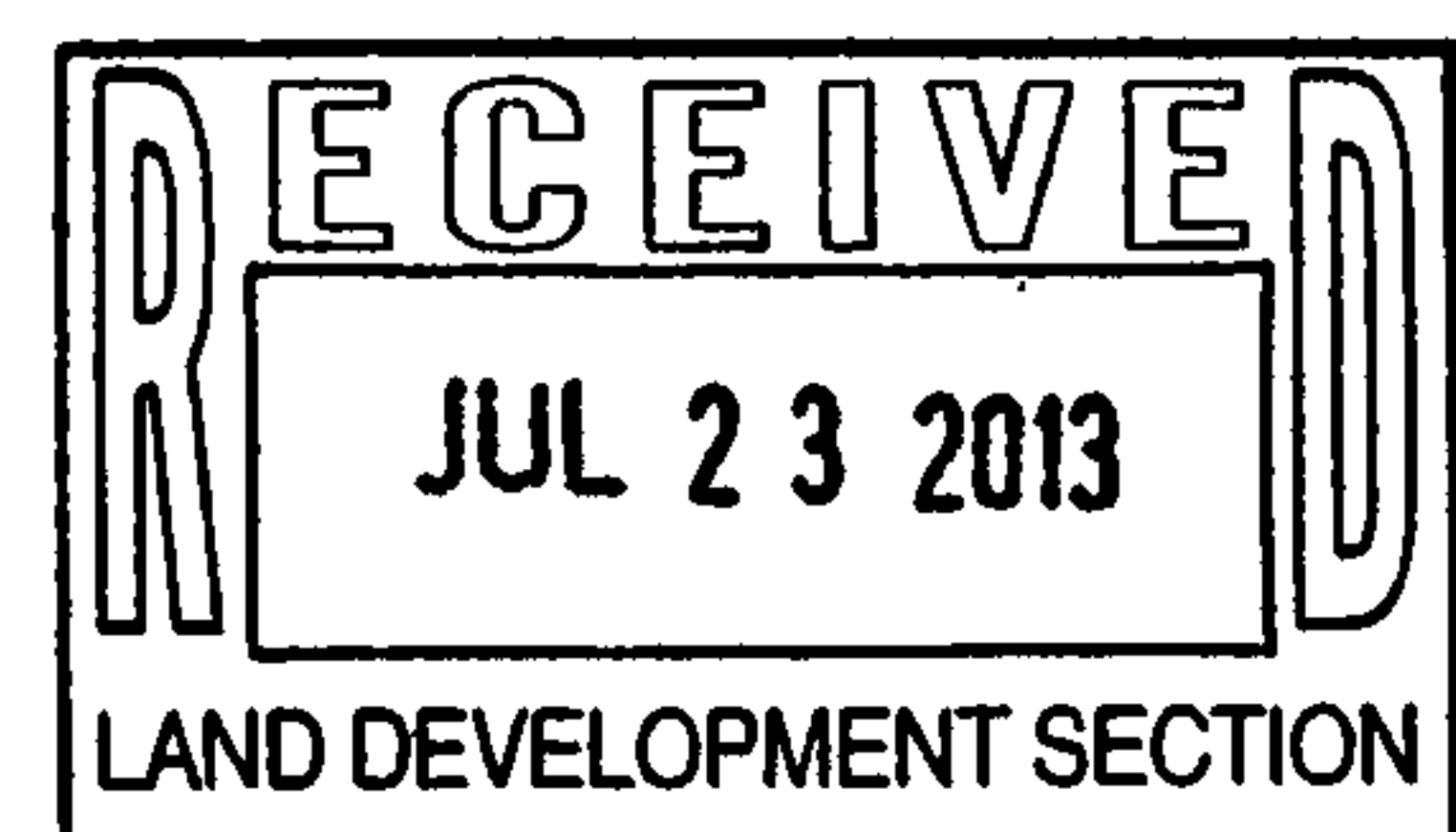
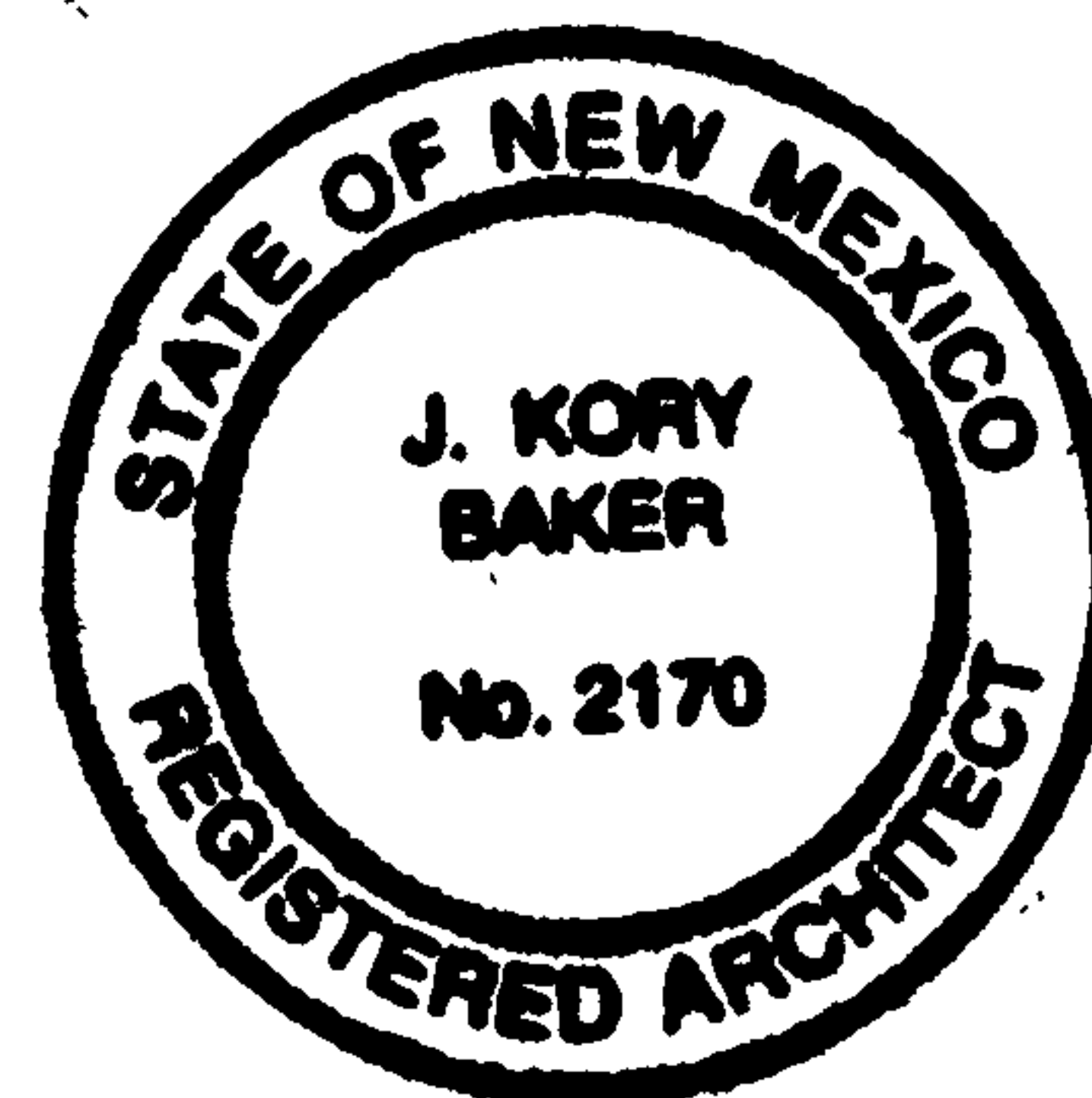
**Traffic Certification**

I, Kory Baker, NMRA 2170, of the firm, J. Kory Baker Architect, hereby certify that this project (Parkside Child Development, 901 86<sup>th</sup> St SW) is in substantial compliance with and in accordance with the design intent of the DRB approved plan dated 2-29-12. I further certify that I have personally visited the project site on 7-23-13 and have determined by visual inspection that the site conditions are in accordance with the DRB approved Site Development Plan for Building Permit to the best of my knowledge and belief. This certification is submitted in support of a request for a Certificate of Occupancy.

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent of its accuracy before using it for any other purpose.

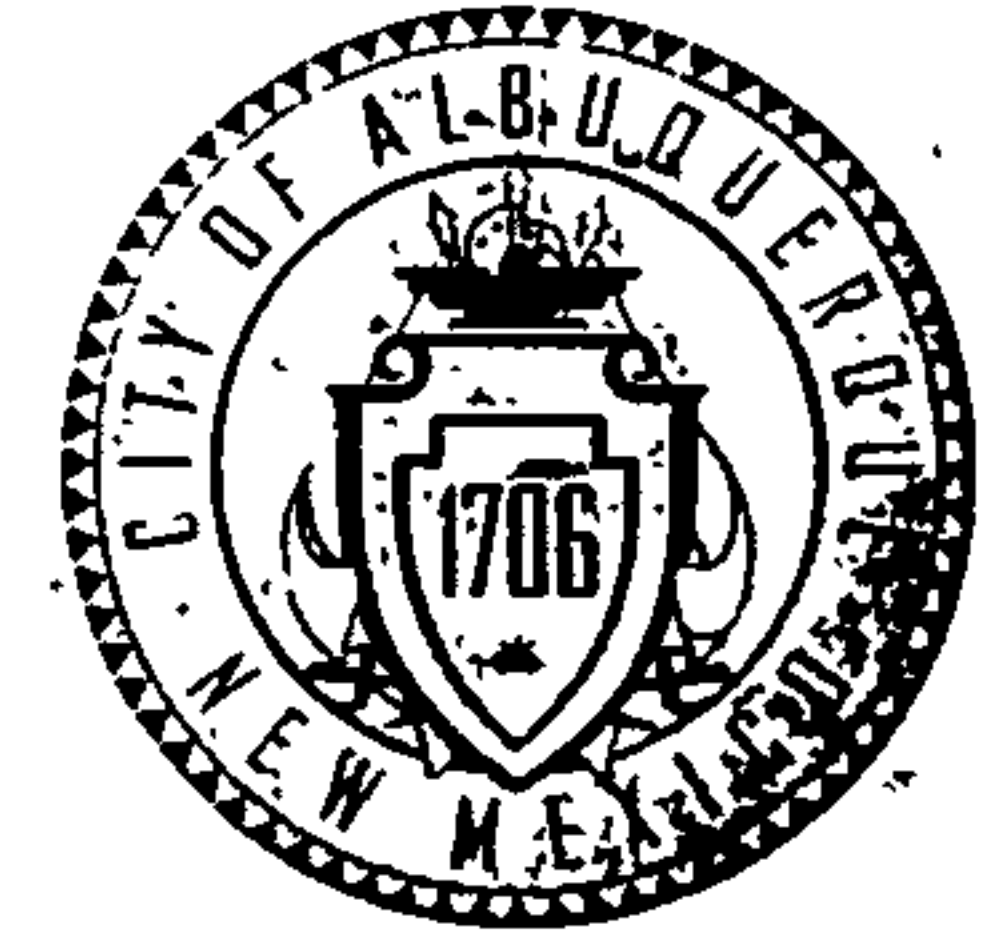
  
\_\_\_\_\_

7.23.13  
Date





# CITY OF ALBUQUERQUE



October 14, 2011

Philip W. Clark, P.E.  
Clark Consulting Engineers  
19 Ryan Road  
Edgewood, NM 87015

**Re: Parkside Child Development Center  
Grading and Drainage Plan  
Engineer's Stamp dated 9-27-11 (L009/D041)**

Dear Mr. Clark,

Based upon the information provided in your submittal received 10-06-11, the above referenced plan is approved for Site Development for Building Permit action by the DRB.

However, please be advised before a Building Permit and Grading permit can be approved the following comments must be addressed.

- How will the flows in the landscaped areas exit?
- Depress all landscaping to retain the moisture which falls on them.
- A Five thousand dollar (\$5000.00) payment to DMD for the installation of a new inlet on the corner of 86<sup>th</sup> St. and Sage Rd. per Curtis Cherne, PE Principal Engineer.
- Show spot elevations along 86<sup>th</sup> St from City Project 7690.91.

PO Box 1293

Albuquerque

NM 87103

64820.84

www.cabq.gov

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

Shahab Biazar, P.E.  
Senior Engineer, Planning Department.  
Development and Building Services

C: RER/SB  
File



**Cherne, Curtis**

---

**From:** CCEAlbq@aol.com  
**Sent:** Saturday, October 01, 2011 8:23 AM  
**To:** Cherne, Curtis ; Samuel, Juan Carlos.  
**Cc:** kbaker@higherspeed.net  
**Subject:** Re: 86th and sage storm drain and contribution from lot at SW corner of 86th ...

Curtis,

Thank you for the summary, and quick efforts to resolve this matter. The architect is submitting the site development plan package, and I will be bringing in the revised (from early 09) G & D for our site early next (probably Tuesday).

thx again, Phil

Philip W. Clark, PE

19 Ryan Road, Edgewood, NM 87015

**Clark Consulting Engineers**

505.281-2444, 505.264-6042

In a message dated 9/30/2011 9:41:05 A.M. Mountain Daylight Time, CCherne@cabq.gov writes:

Juan Carlos/Phil,

I would like to summarize the past couple of weeks of e-mails and conversations concerning the drainage contribution from the lot at the southwest corner of 86th and San Ygnacio.

The site will come through DRB for Site Plan approval. As part of the approval process, storm drain infrastructure can be required for approval. There is a storm drain planned to be built in 86th St from Sage to a stub just south of San Ygnacio. DMD has excused the developer from having to contribute to build the 90" trunk line along their frontage. After reviewing the construction plans it seems prudent to install a second inlet in 86th st to prevent flows from 86th st entering Sage Rd. It is prudent because, assuming a discharge rate of 4 cfs/ac, there is 4.6 acre on the west side of 86th, therefore about 18 cfs. A Type "A" inlet can accept 8 to 10 cfs (depending on slope). Therefore, two inlets will accept the flows produced from these lots.

It would be preferable to install the 2nd inlet at the south end of 86th st, rather than on the frontage of the lot at the SW corner of 86th and San Ignacio due to there would only be about 4 cfs leaving the subject site and the inlet would not be fully utilized.

It may be best to install this 2nd inlet 20 feet (acknowledge inlet spacing) or so upstream of the inlet shown on the construction plans and connect the two in series with an 18" pipe. Then, depending on slope, possibly upsize the lateral from an 18" to a 24" that drains to the manhole in the trunk line.

Hydrology will let DMD and the developer work out the costs involved and will expect an e-mail or some other form of written communication showing the contribution has been made to not require it on the infrastructure list for Site Plan approval.

Curtis Cherne, P.E., CFM  
Principal Engineer  
Hydrology Section  
Planning Dept.  
City of Albuquerque  
505-924-3986

DRAINAGE AND TRANSPORTATION INFORMATION SHEET  
(Rev. 12/05)

PROJECT TITLE: Parkside Child Care ZONE MAP/DRG. FILE # L9 / D041  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 1, Lands of LW Barrett  
CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM:  Clark Consulting Engineers CONTACT: Phil  
ADDRESS: \_\_\_\_\_ PHONE: 281-2444  
CITY, STATE: 19 Ryan Road ZIP CODE: \_\_\_\_\_  
Edgewood, New Mexico 87015

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: Kory Baker CONTACT: Kory  
ADDRESS: \_\_\_\_\_ PHONE: 384-3112  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: Phil  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

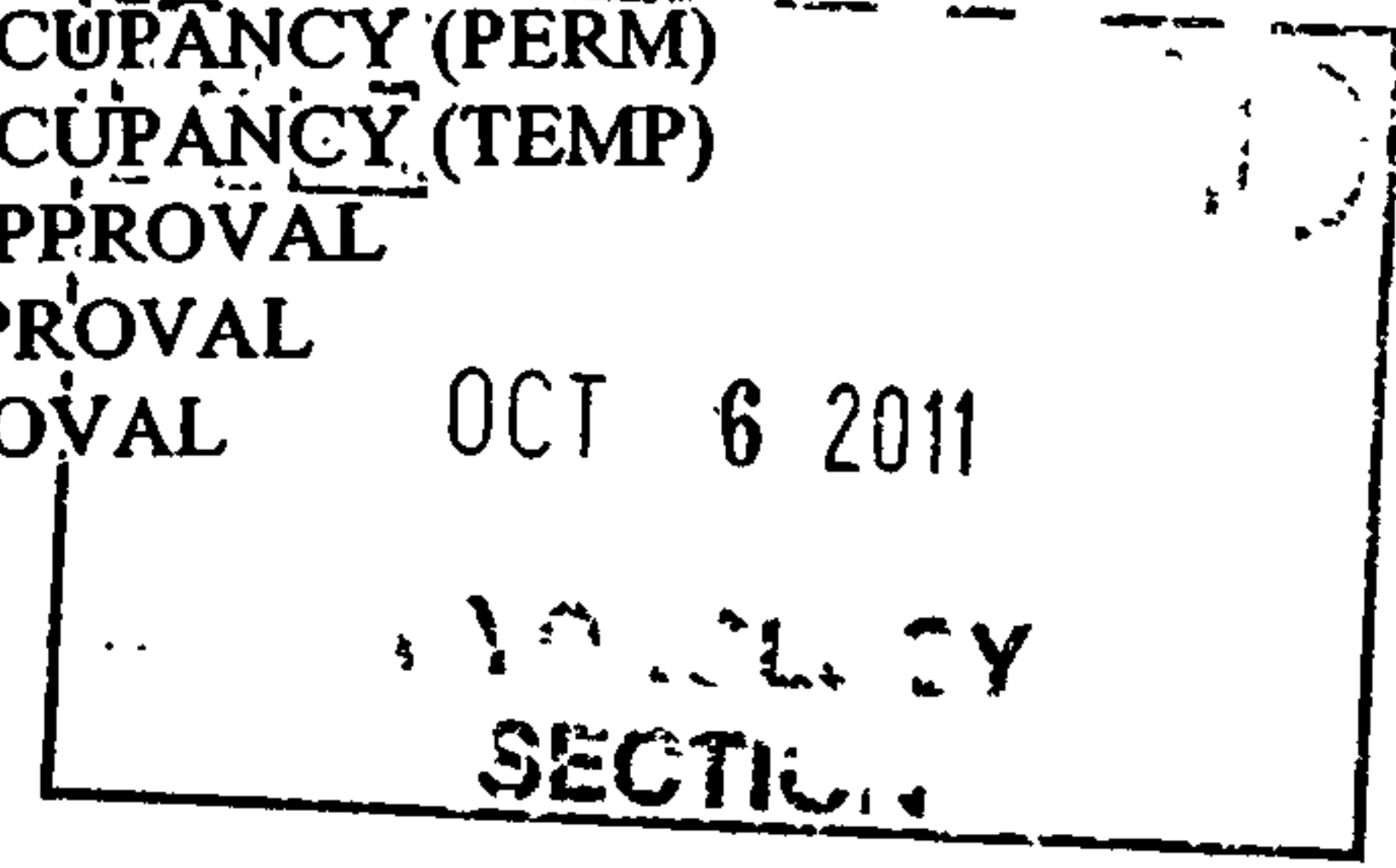
CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

- TYPE OF SUBMITTAL:
- DRAINAGE REPORT
  - DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
  - DRAINAGE PLAN RESUBMITTAL
  - CONCEPTUAL G & D PLAN
  - GRADING PLAN
  - EROSION CONTROL PLAN
  - ENGINEER'S CERT (HYDROLOGY)
  - CLOMR/LOMR
  - TRAFFIC CIRCULATION LAYOUT
  - ENGINEER/ARCHITECT CERT (TCL)
  - ENGINEER/ARCHITECT CERT (DRB S.P.)
  - ENGINEER/ARCHITECT CERT (AA)
  - OTHER (SPECIFY)

- CHECK TYPE OF APPROVAL SOUGHT:
- SIA/FINANCIAL GUARANTEE RELEASE
  - PRELIMINARY PLAT APPROVAL
  - S. DEV. PLAN FOR SUB'D APPROVAL
  - S. DEV. FOR BLDG. PERMIT APPROVAL
  - SECTOR PLAN APPROVAL
  - FINAL PLAT APPROVAL
  - FOUNDATION PERMIT APPROVAL
  - BUILDING PERMIT APPROVAL
  - CERTIFICATE OF OCCUPANCY (PERM)
  - CERTIFICATE OF OCCUPANCY (TEMP)
  - GRADING PERMIT APPROVAL
  - PAVING PERMIT APPROVAL
  - WORK ORDER APPROVAL
  - OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
 YES, tele. w/ C. Chene  
 NO  
 COPY PROVIDED

SUBMITTED BY: Phil DATE: 10/3/11



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT SERVICE / HYDROLOGY SECTION**

**DATE:** 9-20-4  
**CONFERENCE RECAP**

**ZONE ATLAS PAGE NO:** \_\_\_\_\_  
**DRAINAGE FILE:** \_\_\_\_\_  
**ZONING:** \_\_\_\_\_  
**DRB:** \_\_\_\_\_  
**SUBJECT:** \_\_\_\_\_  
**STREET ADDRESS (IF KNOWN):** \_\_\_\_\_  
**SUBDIVISION NAME:** \_\_\_\_\_


**APPROVAL REQUESTED:**

**ATTENDANCE:** Phil Clark, Curtis Chene

**FINDINGS:**

Telephone call  
Site will not be required to pond. ~~drain~~  
Site will drain to 86th st.  
If DMD project installs inlets on 86th ~ no  
Infrastructure req'd.  
If they don't I will require an inlet at the  
southern end of the site

THE UNDERSIGNED AGREES THAT THE ABOVE FINDINGS ARE SUMMARIZED ACCURATELY AND ARE SUBJECT TO CHANGE IF FURTHER INVESTIGATION REVEALS THAT THEY ARE NOT REASONABLE OR THAT THEY ARE BASED ON INACCURATE INFORMATION

**SIGNED:**   
**NAME (PRINT):** Curtis A. Chene

**SIGNED:**  
**NAME (PRINT):**

**\*\*NOTE\*\* PLEASE PROVIDE A COPY OF THIS RECAP WITH YOUR DRAINAGE SUBMITTAL.**

# CITY OF ALBUQUERQUE



January 29, 2009

Phil Clark, P.E.  
**Clark Consulting Engineers**  
19 Ryan Road  
Edgewood, NM 87015

**Re: Parkside Child Development Center**  
**Lot 1, The Lands of L.W. Barrett, Grading and Drainage Plan**  
**Engineer's Stamp dated 01-31-08 (L-9/D041)**

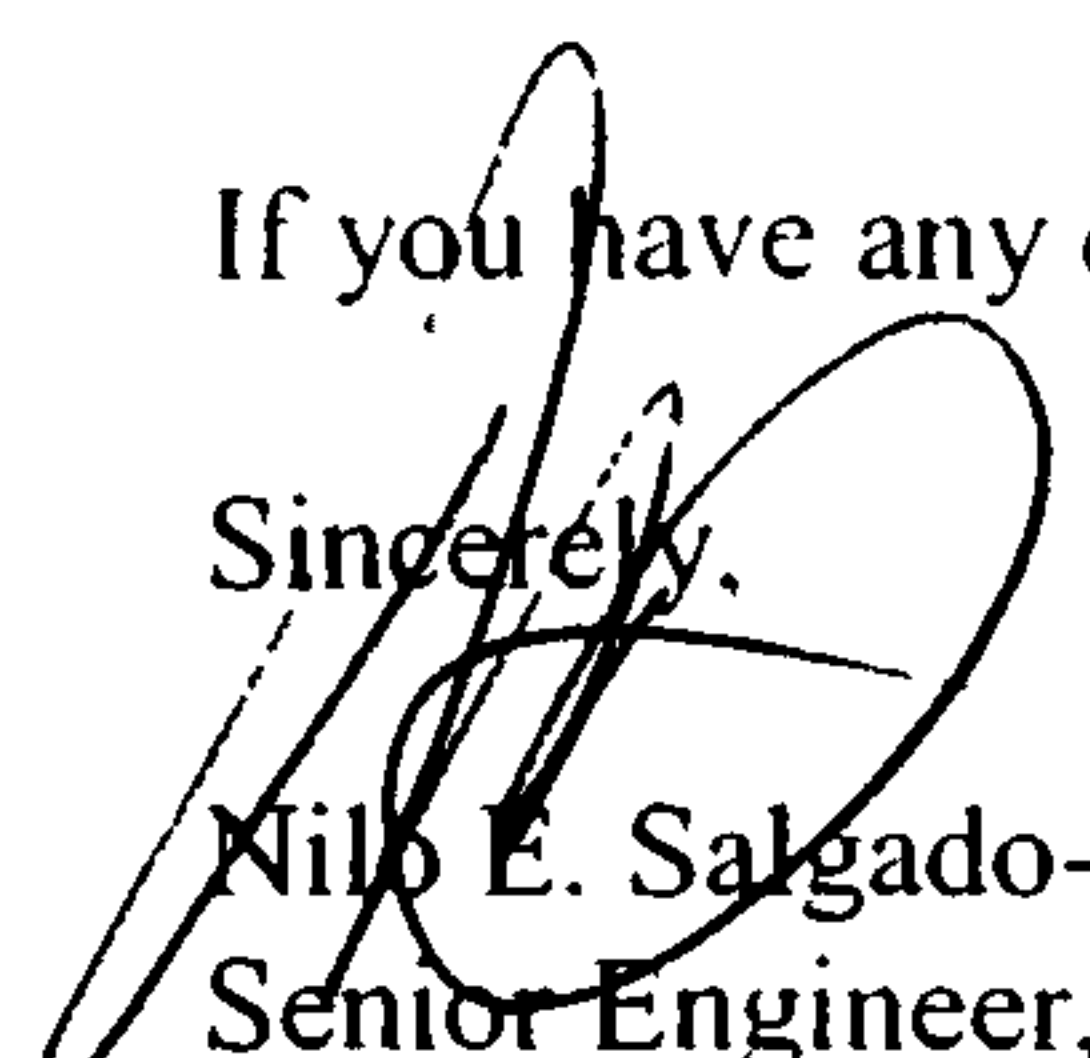
Dear Mr. Clark,

Based upon the information provided in your submittal received 01-22-09, the above referenced plan is ***NOT*** approved for Building Permit and Site Development for Building Permit approval until the following issues are addressed:

- Ponding will not be allowed within COA ROW. Please adjust drainage scheme to reflect ponding outside of COA ROW.
- Explain why you are ponding instead of directing flows out through driveways?
- You'll need to provide a swale for the West and South segment of property adjacent to CMU walls.
- The detention pond (1000 cf) fronting 86<sup>th</sup> Street will be spilling over the future sidewalk. This will not be allowed. Please provide an alternative design.
- Please remove all statements that aren't applicable to this project. Especially statements concerning Bernalillo County drainage information and historic flows draining through property (proposed and existing wall have changed these flows).
- Usually, Grading and Drainage Plans are good for one year. Please provide a more recent Engineering Stamp date than 01/31/08.

If you have any questions, you can contact me at 924-3630.

Sincerely,

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 - KDM)

PROJECT TITLE: Parkside Child Devel. Ctr. ZONE MAP: 4-9/D041  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Lot 1 of lands of L.W. Barrett  
CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: Clark Consulting Engineers  
ADDRESS: 19 Ryan Road CONTACT: Phil  
CITY, STATE: Edgewood, NM PHONE: 281-2444& FAX  
ZIP CODE: 87015

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: Kory Baker CONTACT: 384-3112  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

✓ SURVEYING FIRM: Terrametrics of New Mexico LICENSED SURVEYOR: Phil Turner  
ADDRESS: PO Box 30192 PHONE: 379-4301  
CITY, STATE: Albuquerque NM ZIP CODE: 87190

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

- TYPE OF SUBMITTAL:
- DRAINAGE REPORT
  - DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
  - DRAINAGE PLAN RESUBMITTAL
  - CONCEPTUAL G & D PLAN
  - GRADING PLAN
  - EROSION CONTROL PLAN
  - ENGINEER'S CERT (HYDROLOGY)
  - CLOMR/LOMR
  - TRAFFIC CIRCULATION LAYOUT
  - ENGINEER'S CERT (TCL)
  - ENGINEER'S CERT (DRB SITE PLAN)
  - OTHER (SPECIFY)

- CHECK TYPE OF APPROVAL SOUGHT:
- SIA/FINANCIAL GUARANTEE RELEASE
  - PRELIMINARY PLAT APPROVAL
  - S. DEV. PLAN FOR SUB'D APPROVAL
  - S. DEV. FOR BLDG. PERMIT APPROVAL
  - SECTOR PLAN APPROVAL
  - FINAL PLAT APPROVAL
  - FOUNDATION PERMIT APPROVAL
  - BUILDING PERMIT APPROVAL
  - CERTIFICATE OF OCCUPANCY
  - GRADING PERMIT APPROVAL
  - PAVING PERMIT APPROVAL
  - WORK ORDER APPROVAL
  - OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
 YES telecon  
 NO  
 COPY PROVIDED

\$ 5000

JAN 23 2009  
HYDROLOGY  
SECTION

DATE SUBMITTED: 1/22/09 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

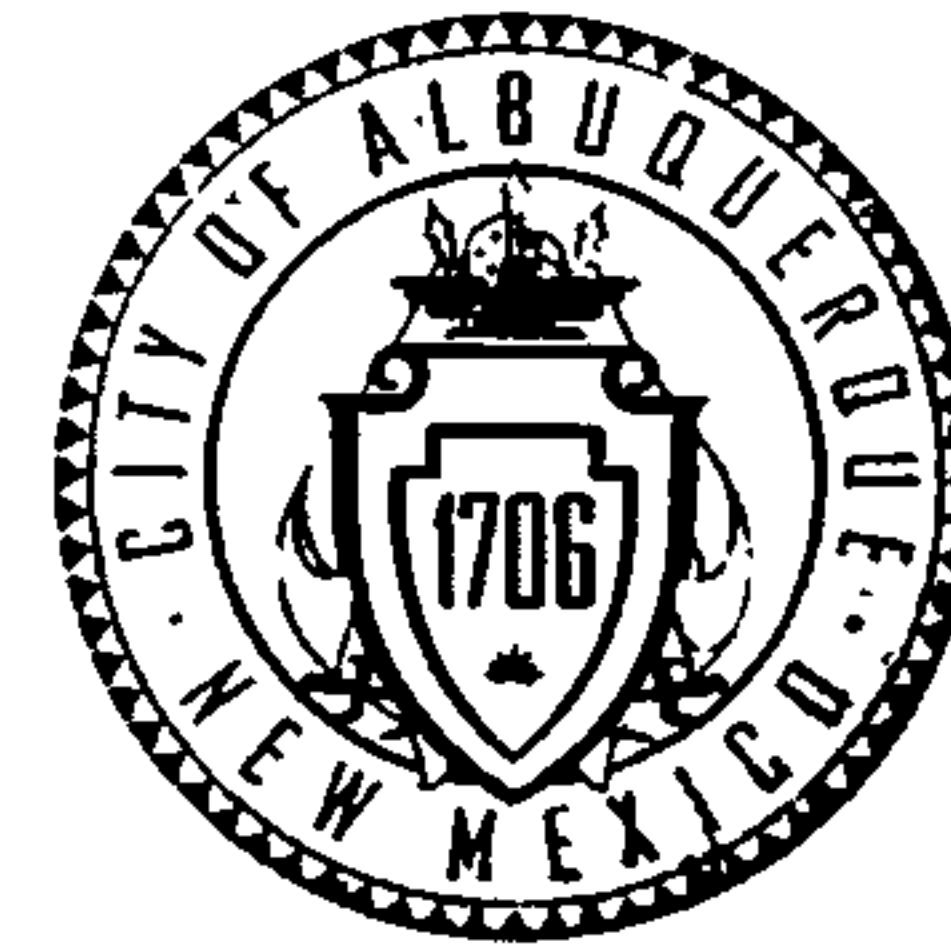
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.







# CITY OF ALBUQUERQUE



October 14, 2011

Philip W. Clark, P.E.  
Clark Consulting Engineers  
19 Ryan Road  
Edgewood, NM 87015

**Re: Parkside Child Development Center  
Grading and Drainage Plan  
Engineer's Stamp dated 9-27-11 (L009/D041)**

Dear Mr. Clark,

Based upon the information provided in your submittal received 10-06-11, the above referenced plan is approved for Site Development for Building Permit action by the DRB with the understanding that a financial contribution will be made to DMD for the installation of a new inlet on the corner of 86<sup>th</sup> St. and Sage Rd.

However, please be advised before a Building Permit and Grading permit can be approved the following comments must be addressed.

- How will the flows in the landscaped areas exit?
- Depress all landscaping to retain the moisture which falls on them.
- Show spot elevations along 86<sup>th</sup> St from City Project 7690.91.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

Shahab Biazar, P.E.  
Senior Engineer, Planning Department  
Development and Building Services

C: RER/SB  
File