

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

June 11, 2019

Åsa Nilsson-Weber, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. N.E
Albuquerque, NM 87108

RE: **Mercado el Milagro**
10000 Central SW
Conceptual Grading Plan Stamp Date: 5/20/19
Hydrology File: L09D042

Dear Ms. Nilsson-Weber:

Based on the submittal received on 5/20/19 the above-referenced submittal cannot be approved for Site Plan for Building Permit until the following are corrected:

PO Box 1293

Prior to Site Plan for Building Permit:

Albuquerque

NM 87103

www.cabq.gov

1. This project will require a short Drainage Report to address the design and construction of the 42" storm drain that is required along Sunset Garden.
 - a. The SAD 222 Drainage Report stubbed the 42" storm drain in anticipation of it eventually receiving 88cfs from developed basin A1-D. Developed Basin A1-D anticipates 109cfs; the remaining 21cfs routes into the 98th St storm drain.
 - b. The 2013 Amole-Hubbell Drainage Report anticipates 164cfs from this basin, but that includes the mobile home park on 102nd St, which self-ponds; the Sunset Garden storm drain needs to be designed to intercept 88cfs.
 - c. Some inlets (1x double-A and 1x single-C) were built on the south side of Sunset Garden with the Sunrise Rach Subdivision, but the supporting design and calculations are missing.
 - d. Street capacity and inlet calculations need to be prepared for the existing and proposed inlets in Sunset Garden.
 - e. Storm drain profiles, calculating the HGL from the energy grade line, need to be prepared. Use the HGL and velocity in the 98th St storm drain as the control surface.
 - f. Allowable discharge to each inlet along 98th St needs to be established. i.e. what is the allowable flow into the back of each inlet from Mercado el Milagro? Ensure the flow in the 98th St storm drain does not exceed 21cfs including the flow generated by the road.
 - g. Allowable discharge rates to Sunset Garden also need to be established (cfs/ac), using 88cfs as max allowable. Be sure to exclude the area of Sunset Garden Road, which free discharges, when making this determination.

CITY OF ALBUQUERQUE

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- h. SAD222 Drainage Report can be found at:
http://data.cabq.gov/government/planning/drainage/1_DrainageManagementPlans-As-Builts/SAD/
2. Once designed, the storm drain along your frontage of Sunset Garden will need to be added to the Infrastructure List.
 3. Also be sure to include 3x “Connection to Existing Public Inlet” along 98th St on the Infrastructure List.
 4. Provide sections through the pond and retaining walls at west property line, showing proposed retaining walls, garden walls, property lines, existing and proposed grades. In accordance with DPM Ch.22, section 5 part B, grading and wall construction near the property line may not endanger adjacent property or constrain its use.
 5. Hydrology recommends offsetting the retaining wall so the footer doesn’t extend under the adjoining property, then providing an armored drainage swale on the uphill side (but still on the Mercado property) to convey flows south to Sunset Garden or the proposed pond.
 6. What is the outfall for the proposed pond in the SW corner? Do you need to include sidewalk culverts on the Infrastructure List for this outfall?

PO Box 1293

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Prior to Building Permit (For Information):

NM 87103

7. Remove all “Conceptual” markings.
8. This project requires an ESC Plan, submitted to the Stormwater Quality Engineer (Curtis Cherne PE, ccherne@cabq.gov or 924-3420).
9. For trash enclosures serving food service developments, demonstrate *control of liquids from dumpster areas* per DPM Chapter 22.9.E, Table 1 by containing runoff from the dumpster area and discharging to the sanitary sewer. If this information is on the utility plan please provide it, or show on the grading plan.
10. Storm water quality ponding or payment in lieu requirements must be met for each phase.
11. Additional comments may be provided at Building Permit, based on the outcome of the above remarks and level of detail shown on plans.

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Prior to Certificate of Occupancy (For Information):

12. Engineer’s Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required.

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13. City acceptance and close-out of the public Work Order will be required, unless a financial guarantee has been posted.
14. A Bernalillo County Recorded [Drainage Covenant \(No Public Easement\)](#) is required for the storm water ponds. The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) or Madeline Carruthers (mtafoya@cabq.gov, 924-3997) regarding the routing and recording process for covenants. The routing and recording process for covenants can take a month or longer; Hydrology recommends beginning this process as soon as possible as to not delay approval for certificate of occupancy.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

PO Box 1293

Sincerely,

Albuquerque

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Mercado El Milagro

Project Title: New Site Plan **Building Permit #:** _____ **Hydrology File #:** L09
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot 1-A, Block 1 Excluding the 'Ely Por' of Lots 1-A & 1-B, Lands of the Atrisco Grant and Lot 2, Block 1, Plat of Lands of the Atrisco Grant
City Address: 10000 Central Ave. SW - Albuquerque, NM 87121

Applicant: Isaacson & Arfman, PA **Contact:** Fred C. Arfman or Bryan J. Bobrick
Address: 128 Monroe Street NE - Albuquerque, NM 87108
Phone#: (505) 268-8828 **Fax#:** _____ **E-mail:** freda@iacivil.com bryanb@iacivil.com
Owner: Peterson Properties **Contact:** _____
Address: 2325 San Pedro Drive NE - Albuquerque, NM 87110
Phone#: (505) 884-3578 **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
☒ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

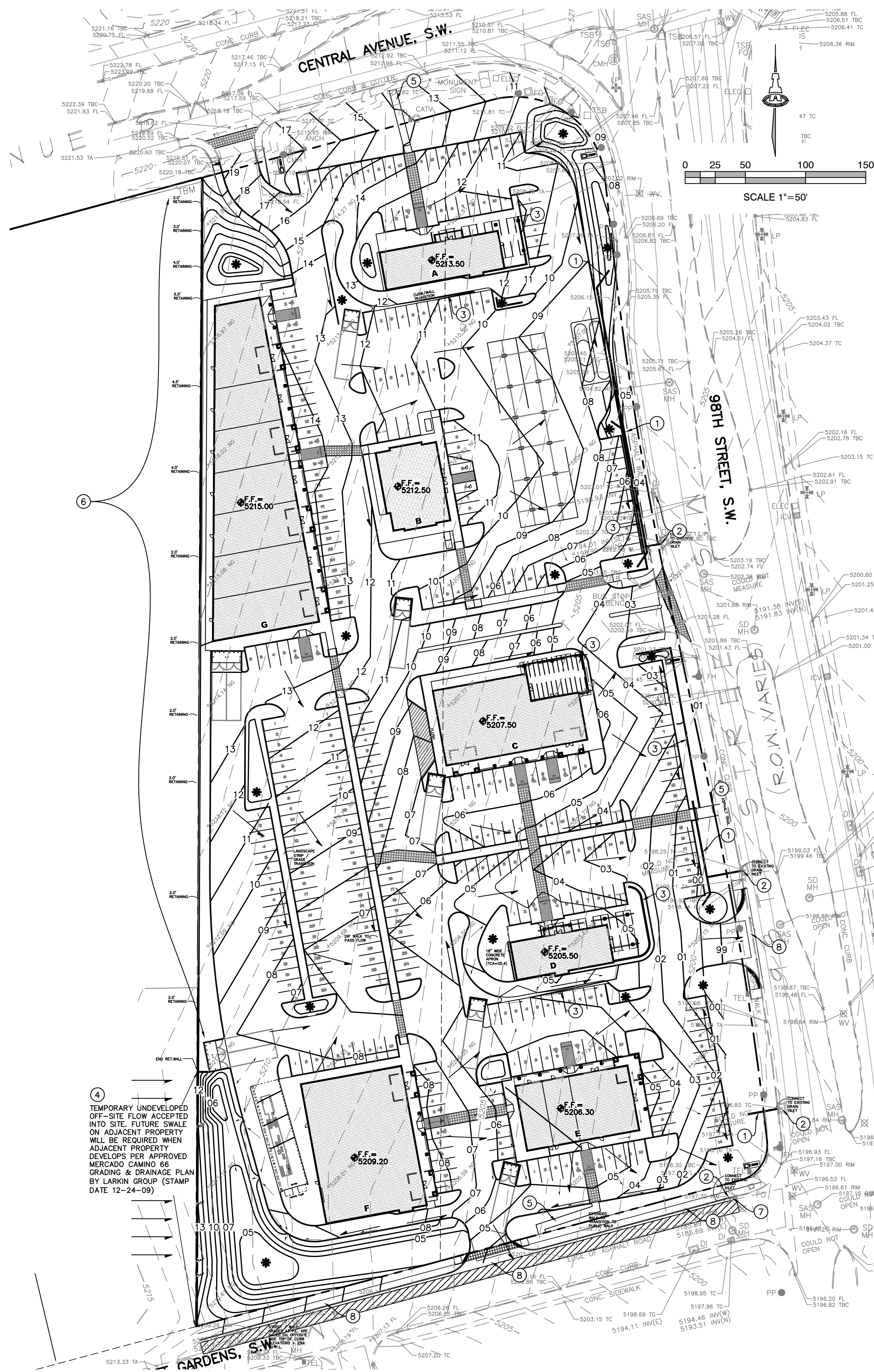
____ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: May 20, 2019 **By:** Fred C. Arfman

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



④
TEMPORARY UNDEVELOPED OFF-SITE FLOW ACCEPTED INTO SITE. FUTURE SWALE ON ADJACENT PROPERTY WILL BE REQUIRED WHEN ADJACENT PROPERTY DEVELOPS PER APPROVED MERCADO CAMINO 68 GRADING & DRAINAGE PLAN BY LARKIN GROUP (STAMP DATE 12-24-09)

DRAINAGE CONCEPT

A DRAINAGE STUDY FOR THIS PROPERTY WAS PREPARED BY THE LARKIN GROUP (EXISTING AND DEVELOPED CONDITIONS) DATED 12/24/2009. NOTE 2 ON THE DEVELOPED CONDITIONS GRADING AND DRAINAGE PLAN STATES: "STORM DRAINAGE FACILITIES CONSTRUCTED AND PAID FOR BY PROPERTY OWNER UNDER SAD-222 PROVIDED FOR FREE DISCHARGE OF STORM WATER FROM THIS PROPERTY".

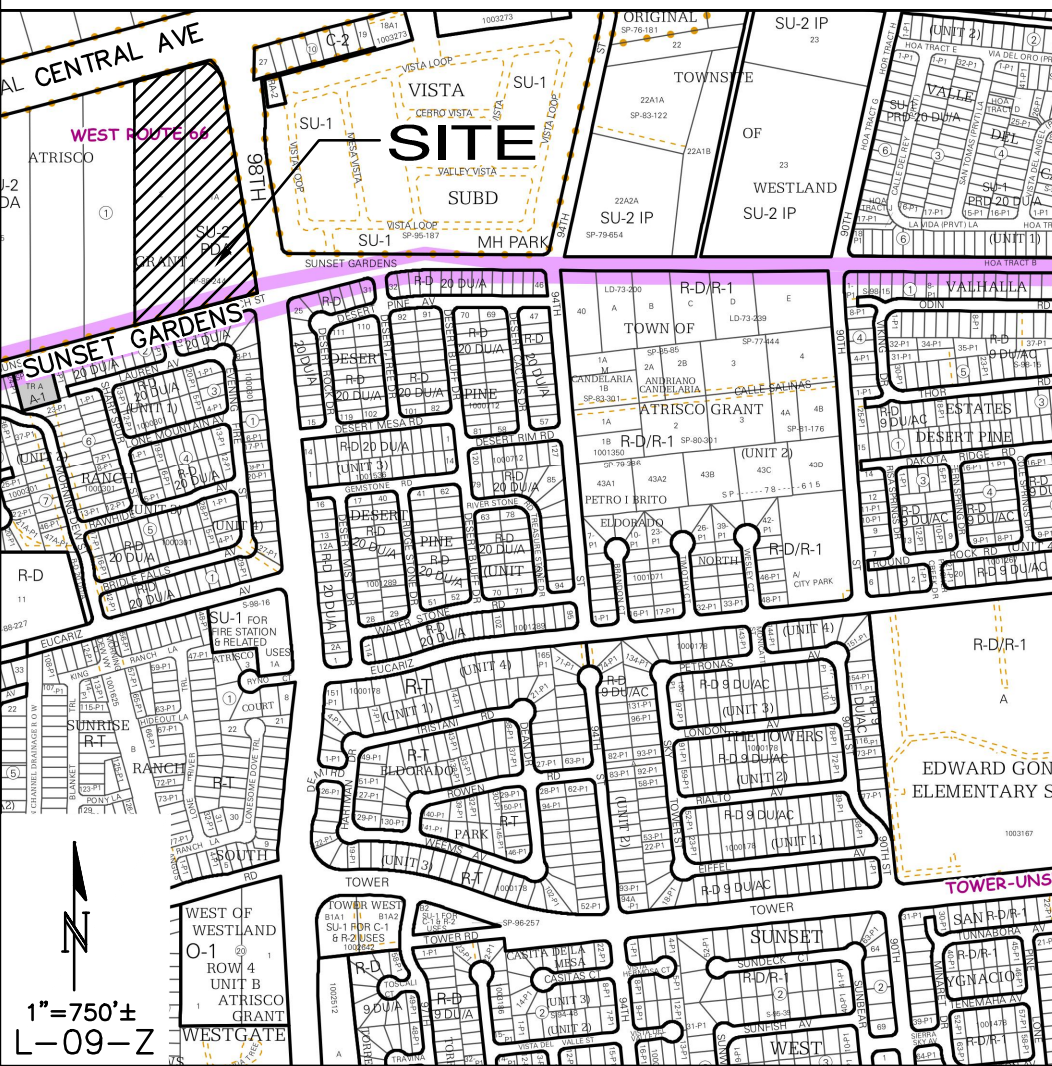
OFF-SITE FLOW: PER THE APPROVED DRAINAGE STUDY, HISTORIC (UNDEVELOPED CONDITION) OFFSITE FLOWS OF 23.7 CFS PASS INTO THE SITE NEAR THE SOUTHWEST CORNER OF THE PROPERTY. THIS FLOW WILL BE ACCEPTED, ROUTED AND RELEASED TO SUNSET GARDENS ROAD. ONCE THE WEST PROPERTY DEVELOPS, NO FLOW WILL BE PERMITTED TO PASS INTO THIS PROPERTY.

A SMALL OFF-SITE BASIN (2 CFS) AT THE NORTHWEST CORNER OF THE PROPERTY WILL BE PASSED UNDER THE PROPOSED ACCESS DRIVE TO CONTINUE WITHIN THE CENTRAL R/W.

THE PROPERTY WILL BE DEVELOPED WITH SIX BUILDINGS IN PHASES. A DETAILED GRADING AND DRAINAGE PLAN, INCLUDING CALCULATIONS FOR STORM DRAIN AND STORMWATER QUALITY POND VOLUMES WILL BE PROVIDED AS EACH PHASE DEVELOPS. A RIGHT-IN/RIGHT-OUT ENTRANCE WILL BE CONSTRUCTED IN 98TH ST. AND AN ENTRANCE, CURB & GUTTER, SIDEWALK AND TWO PUBLIC STORM DRAIN INLETS WILL BE CONSTRUCTED ON THE NORTH SIDE OF SUNSET GARDENS RD.

THE ONSITE STORM WATERS, ALONG WITH THE OFFSITE UNDEVELOPED STORM WATERS SHALL FREE DISCHARGE TO THE ADJACENT 98TH ST. AND SUNSET GARDENS RD. VIA ACCESS DRIVES, COVERED SIDEWALK CULVERTS AND ONSITE INLETS CONNECTING TO THE BACK OF THE PUBLIC STORM DRAIN STREET INLETS. SEE THE STORMWATER QUALITY SECTION (CG-102) FOR ADDITIONAL INFORMATION.

VICINITY MAP L-09



PROJECT INFORMATION

PROPERTY: THE SITE IS AN UNDEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP L-9. THE SITE IS BOUND TO THE EAST BY 98TH ST. SW, TO THE WEST BY PARTIALLY DEVELOPED COMMERCIAL PROPERTY, TO THE NORTH BY CENTRAL AVE. SW AND TO THE SOUTH BY SUNSET GARDENS RD SW.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A MULTI-BUILDING COMMERCIAL CENTER WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

LEGAL: LOT 1-A, BLK 1 EXCLUDING THE 'ELY POR' OF LOTS 1-A & 1-B, LANDS OF ATRISCO LAND GRANT (4.25 ACRES) AND LOT 2 BLK 1, PLAT OF LANDS OF THE ATRISCO GRANT (4.61 ACRE)

BENCHMARK: ACS MONUMENT 14-K9: A 3-1/4" ALUMINUM DISK SET IN CONCRETE AT THE NW CORNER OF THE INTERSECTION OF BRIDGE BLVD SW AND 86TH ST. SW. ELEVATION (NAVD 1988): 5117.017

TEMPORARY BENCHMARKS: A 1/2" REBAR W/PLASTIC CAP "PS 14269" SET AT THE NW PROPERTY CORNER OF LOT 2 OF THIS SURVEY. ELEVATION (NAVD 1988): 5218.38

FLOOD HAZARD: THIS PROPERTY LIES WITHIN FEMA FLOODZONE "X" (NO FLOOD HAZARD) AND IS NOT SUBJECT TO 100-YEAR FLOOD HAZARDS. REFERENCE: FLOOD INSURANCE RATE MAP, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO PANEL 350002 0328 H; EFFECTIVE DATE: AUGUST 16, 2012.

KEYED NOTES

- PRIVATE ON-SITE STORM DRAIN SYSTEM AS NEEDED.
- CONNECTION TO PUBLIC STORM DRAIN INLET.
- RETAINING / GARDEN WALLS (WHERE NEEDED) TO ACHIEVE GRADE TRANSITIONS.
- TEMPORARY HISTORIC (UNDEVELOPED CONDITION) OFF-SITE FLOW ACCEPTED INTO PROPERTY FOR ROUTING.
- ADA COMPLIANT CONNECTION TO PUBLIC SIDEWALK.
- PERIMETER WALL WITH RETAINING AS NEEDED TO ACHIEVE GRADE TRANSITION.
- NEW PUBLIC STORM DRAIN INLETS TO BE CONSTRUCTED AS PART OF PUBLIC WORK ORDER (PWO).
- NEW PAVING, CURB AND GUTTER, SIDEWALK, SITE ENTRANCE TO BE CONSTRUCTED AS PART OF PWO.

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 5207.00 FINISH FLOOR ELEVATION
- STORMWATER QUALITY LOCATION

CONCEPTUAL GRADING + DRAINAGE PLAN

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.isaacson.com
2306 CG-101 CONCEPTUAL.dwg May 20,2019

GENERAL NOTES

- GRADES SHOWN ON THE CONCEPTUAL GRADING AND DRAINAGE PLAN REFLECT THE OVERALL GRADING SCHEME. ADA COMPLIANT PARKING WILL BE COORDINATED WITH ARCHITECT TO ENSURE MAX. 2% SLOPE IN ANY DIRECTION.
- LANDSCAPING WILL BE DEPRESSED TO HARVEST STORMWATER EXCEPT WITHIN 10' OF A BUILDING OR STRUCTURE.
- ROCK EROSION PROTECTION WILL BE REQUIRED AT CURB OPENINGS, ON SLOPES > 4:1 AND WITHIN SWALES CARRYING CONCENTRATED FLOW.
- STEPS, RAMPS, AND TRANSITION GARDEN RETAINING WALLS AS REQUIRED TO ACHIEVE GRADE TRANSITIONS WILL BE DETERMINED AS EACH PROPERTY DEVELOPS.
- PERIMETER RETAINING WALLS: PER THE DPM, CHAPTER 22.5 B, CARE SHOULD BE TAKEN TO ENSURE THAT THE ADJACENT PROPERTY IS NOT DAMAGED OR ITS USE CONSTRAINED DUE TO GRADING AT OR NEAR THE PROPERTY LINE. ENCRoACHING INTO THE ADJACENT PROPERTY WITH GRADING AND/OR WALL FOOTING WILL REQUIRE WRITTEN PERMISSION FROM THE AFFECTED PROPERTY OWNERS. LETTERS ARE TO BE PROVIDED TO COA HYDROLOGY FOR THEIR FILES PRIOR TO HYDROLOGY APPROVAL FOR BUILDING PERMIT.
- STORMWATER QUALITY RETENTION PONDS WILL BE LOCATED AND CONSTRUCTED AS EACH PROPERTY DEVELOPS. PRIOR TO BUILDING PERMIT APPROVAL, A "PAYMENT IN-LIEU FOR S.Q. VOLUME REQUIREMENT" TREASURY DEPOSIT SLIP WILL BE PROVIDED BY C.O.A. HYDROLOGY BASED ON THE PORTION OF S.Q. VOLUME (@ \$8.00 PER CF) THAT IS NOT RETAINED ON-SITE. A COPY OF THE PAID RECEIPT WILL BE REQUIRED PRIOR TO RECEIVING HYDROLOGY APPROVAL FOR BUILDING PERMIT.

MARTIN FM GRUMMER
ARCHITECT
331 WELLESLEY PLACE NE
ALBUQUERQUE, NEW MEXICO 87106
(505) 265-2507

PETERSON
PROPERTIES

ISAACSON & ARFMAN, P.A.
NEW MEXICO
17631
NOT FOR CONSTRUCTION
MAY 20, 2019

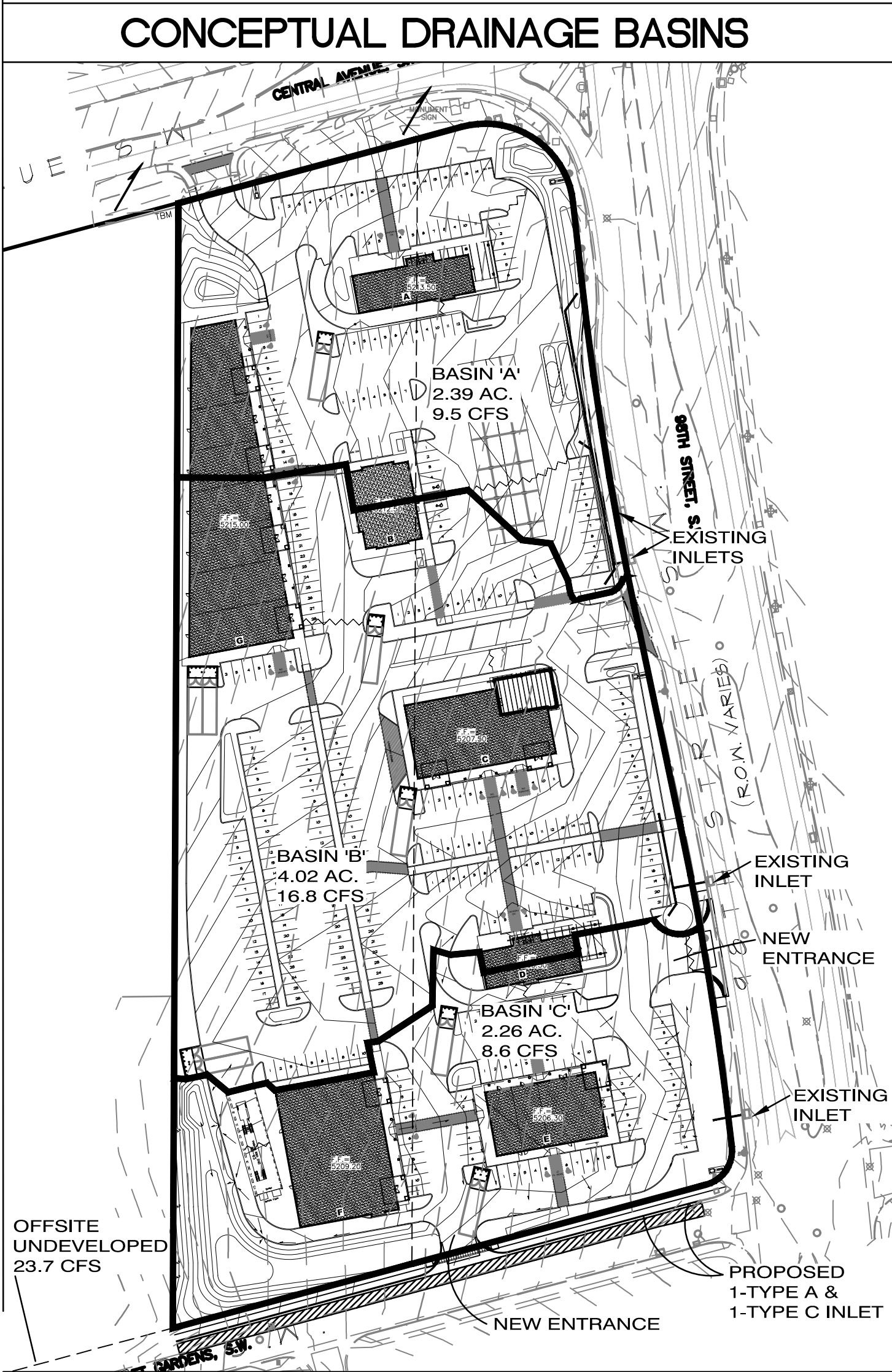
MERCADO EL MILAGRO
NEW SITE PLAN
10000 CENTRAL AVENUE SW
ALBUQUERQUE, NEW MEXICO 87121

DATE:
DRAWN BY:
CHECKED BY:
VERIFIED BY:

REVISIONS

SHEET NO:
CG-101

CONCEPTUAL DRAINAGE BASINS			
BASIN NO. A		DESCRIPTION	
Area of basin flows = 103990 SF =		2.4 Ac.	
The following calculations are based on Treatment areas as shown in table to the right		LAND TREATMENT	
Sub-basin Weighted Excess Precipitation (see formula above)		A = 0%	
Weighted E = 1.74 in.		B = 10%	
Sub-basin Volume of Runoff (see formula above)		C = 10%	
V ₁₆₀ = 15096 CF		D = 80%	
Sub-basin Peak Discharge Rate: (see formula above)		FIRST FLUSH VOL.	
Q _p = 9.5 cfs		2357 CF	
BASIN NO. B		DESCRIPTION	
Area of basin flows = 175039 SF =		4.0 Ac.	
The following calculations are based on Treatment areas as shown in table to the right		LAND TREATMENT	
Sub-basin Weighted Excess Precipitation (see formula above)		A = 0%	
Weighted E = 1.86 in.		B = 5%	
Sub-basin Volume of Runoff (see formula above)		C = 5%	
V ₁₆₀ = 27073 CF		D = 90%	
Sub-basin Peak Discharge Rate: (see formula above)		FIRST FLUSH VOL.	
Q _p = 16.8 cfs		4463 CF	
BASIN NO. C		DESCRIPTION	
Area of basin flows = 98503 SF =		2.3 Ac.	
The following calculations are based on Treatment areas as shown in table to the right		LAND TREATMENT	
Sub-basin Weighted Excess Precipitation (see formula above)		A = 0%	
Weighted E = 1.64 in.		B = 14%	
Sub-basin Volume of Runoff (see formula above)		C = 15%	
V ₁₆₀ = 13470 CF		D = 71%	
Sub-basin Peak Discharge Rate: (see formula above)		FIRST FLUSH VOL.	
Q _p = 8.6 cfs		1982 CF	



OVERALL CALCULATIONS									
CALCULATIONS: MILAGRO :									
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993									
ON-SITE									
AREA OF SITE:		377532		SF		=		8.67 AC	
100-year, 6-hour									
PREVIOUS DEVELOPED FLOWS:				DEVELOPED FLOWS:				EXCESS PRECIP:	
Treatment SF		%		Treatment SF		%		Precip. Zone 1	
Area A	=	0	0%	Area A	=	0	0%	E _A = 0.44	
Area B	=	377532	100%	Area B	=	33978	9%	E _B = 0.67	
Area C	=	0	0%	Area C	=	33978	9%	E _C = 0.99	
Area D	=	0	0%	Area D	=	309576	82%	E _D = 1.97	
Total Area	=	377532	100%	Total Area	=	377532	100%		
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)									
Weighted E =		$\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$							
Historic E	=	0.67 in.		Developed E	=	1.76 in.			
On-Site Volume of Runoff: V ₃₆₀ = E*A / 12									
Historic V ₃₆₀	=	21079 CF		Developed V ₃₆₀	=	55522 CF			
On-Site Peak Discharge Rate: Q _p = Q _{BA} A _A + Q _{BB} A _B + Q _{BC} A _C + Q _{BD} A _D / 43,560									
For Precipitation Zone 1									
Q _{BA} = 1.29				Q _{BC} = 2.87					
Q _{BB} = 2.03				Q _{BD} = 4.37					
Historic Q _p	=	17.6 CFS		Developed Q _p	=	34.9 CFS			

CONCEPTUAL DRAINAGE BASINS

FINAL DRAINAGE BASINS MAY BE ADJUSTED BASED ON FINALIZED BUILDING ROOF DISCHARGE LOCATIONS AND FINAL GRADES.

THIS PROPERTY WAS PREVIOUSLY APPROVED (CURTIS A. CHERNE P.E. LETTER DATED JANUARY 25, 2010) FOR PLATTING AND SITE PLAN ACTION BY THE DRB.

THE SAD 222 PROJECT PUBLIC STORM DRAIN FACILITIES INCLUDED A MONETARY ASSESSMENT AGAINST THIS PROPERTY (PAID). FREE DISCHARGE OF DEVELOPED CONDITION STORM WATER IS PROVIDED. SURFACE DISCHARGE TO THE ADJACENT STREETS AS WELL AS DIRECT STORM DRAIN CONNECTIONS TO PUBLIC STORM DRAIN SYSTEM WILL BE DESIGNED AT EACH PHASE AS NEEDED.

FINAL DESIGN FOR PUBLIC STORM DRAIN IMPROVEMENTS WITHIN SUNSET GARDENS R/W WILL BE PROVIDED AS PART OF THE PUBLIC WORK ORDER SUBMITTAL.

18" DIA. STUBS FROM THE PROPERTY LINE TO THE BACK OF THE IDENTIFIED PUBLIC STORM DRAIN IMPROVEMENTS WITHIN THE PUBLIC R/W WILL BE CONSTRUCTED AS PART OF THE PUBLIC WORK ORDER CONSTRUCTION. THESE STUBS WILL BE CAPPED AT THE PROPERTY LINE FOR FUTURE PRIVATE CONNECTION.

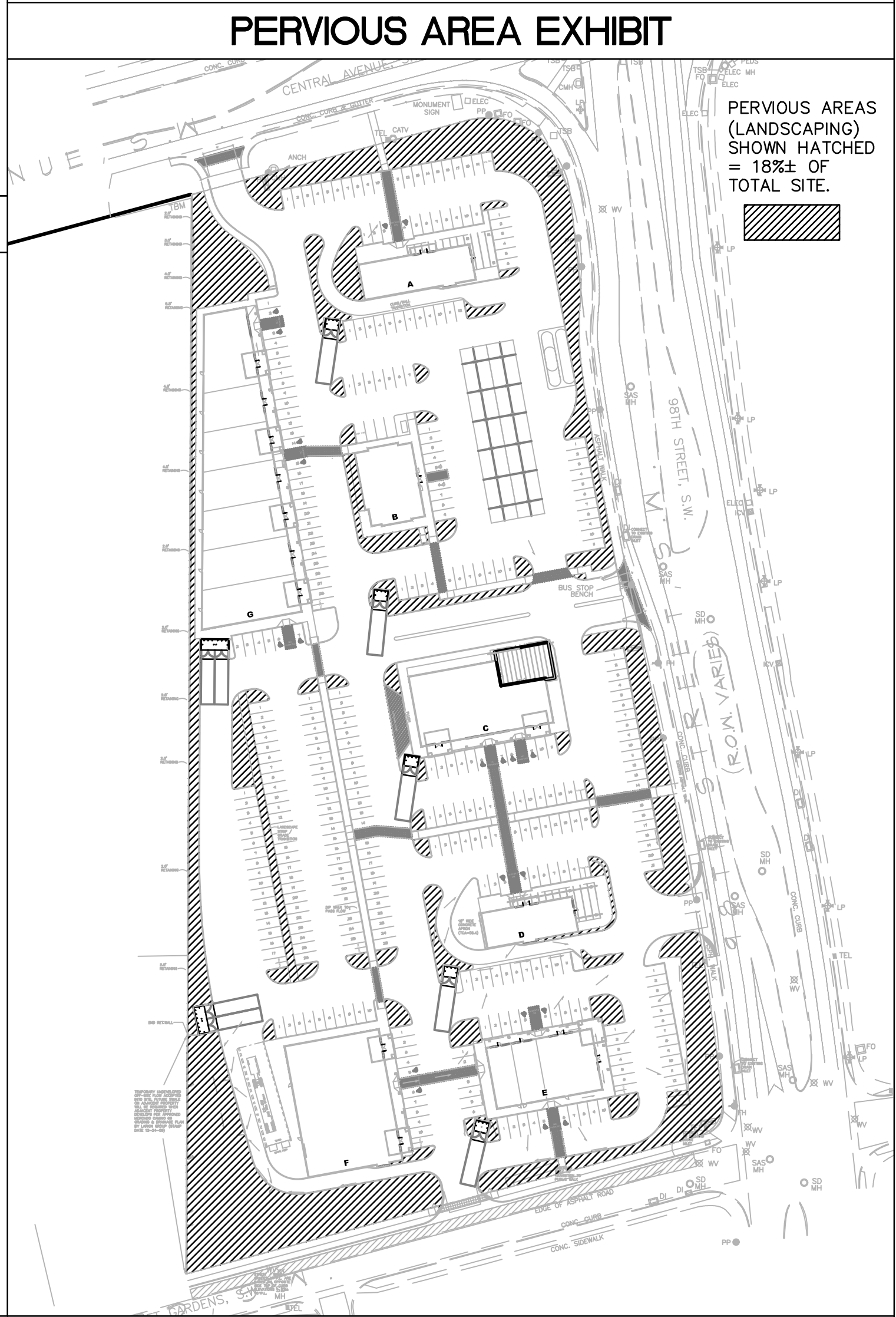
STORMWATER QUALITY

FOR NEW CONSTRUCTION, THE CABQ STORMWATER QUALITY (S.Q.) VOLUME IS BASED ON THE 90TH PERCENTILE STORM EVENT OR 0.34" [0.44" LESS 0.1" FOR INITIAL ABSTRACTION] OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).

THE ESTIMATED IMPERVIOUS AREA FOR THIS PROPERTY IS CALCULATED AS 82% OF TOTAL AREA: (0.82 * 8.67 AC) = 309,576 SF. THE TOTAL REQUIRED S.Q. RETENTION VOLUME = 0.34" * TYPE 'D' AREA: 0.34/12 * (309,576 SF) = 8,772 CF. THIS MAY VARY DEPENDING ON THE FINAL IMPERVIOUS AREA TO BE CONSTRUCTED WITH EACH PHASE.

S.Q. RETENTION PONDS WILL BE CONSTRUCTED THROUGHOUT THE PROPERTY AS THE SITE DEVELOPS. FINAL LOCATIONS AND DESIGN WILL BE PROVIDED AS PART OF THE INDIVIDUAL BUILDING PERMIT CONSTRUCTION DOCUMENTS. AREAS ARE SHOWN (LABELED WITH *) TO INDICATE POTENTIAL S.Q. POND LOCATIONS. PRIVATE FACILITY DRAINAGE COVENANT(S) WILL BE PROVIDED FOR THE S.Q. PONDS IF REQUIRED.

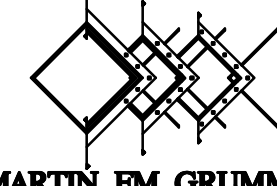
PRIOR TO EACH BUILDING PERMIT APPROVAL, A "PAYMENT IN-LIEU FOR S.Q. VOLUME REQUIREMENT" TREASURY DEPOSIT SLIP WILL BE PROVIDED BY C.O.A. HYDROLOGY BASED ON THE PORTION OF S.Q. VOLUME (@ \$8.00 PER CF) THAT IS NOT RETAINED ON-SITE. A COPY OF THE PAID RECEIPT WILL BE REQUIRED PRIOR TO RECEIVING HYDROLOGY APPROVAL FOR BUILDING PERMIT.



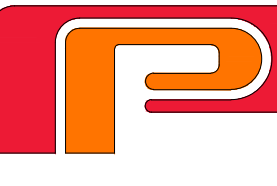
CONCEPTUAL GRADING + DRAINAGE
NOTES AND CALCULATIONS



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2306 CG-101 CONCEPTUAL.dwg May 20,2019



MARTIN FM GRUMMER
ARCHITECT
331 WILLESLEY PLACE NE
ALBUQUERQUE, NEW MEXICO 87106
(505) 265-2507



PETERSON
PROPERTIES



ASA M. NILSSON-WE
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MAY 20, 2019

MERCADO EL MILAGRO
NEW SITE PLAN
10000 CENTRAL AVENUE SW
ALBUQUERQUE, NEW MEXICO 87121

DATE:

DRAWN BY:

CHECKED BY:

VERIFIED BY:

REVISIONS

SHEET NO:
CG-102