

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

October 30, 2025

Martin Grummer, R.A  
Martin FM Grummer Architect  
331 Wellesley PI NE  
Albuquerque, NM 87106

**Re: Mercado El Milagro/BLDG G1&G2/10000 Central Ave**  
**SW Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Architect's Stamp dated 11-27-23 (L09-D042B)  
Certification dated 10-21-25  
TRANS-2025-00309

Dear Mr. Grummer,

PO Box 1293

Based upon the information provided in your submittal received 10-21-25, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at [earmijo@cabq.gov](mailto:earmijo@cabq.gov)

NM 87103

Sincerely,

www.cabq.gov

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

\EA via: email  
C: CO Clerk, File

**TRAFFIC CERTIFICATION**

I, MARTIN GRUMMER, NMRA 2044, OF THE FIRM MARTIN GRUMMER - ARCHITECT, HEREBY CERTIFY THAT THIS PROJECT (MERCADO EL MILAGRO, BUILDING G-1) IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED SITE PLAN DATED 3 OCT 2023 AND PERMIT DRAWINGS DATED 06/21/24. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY MARTIN GRUMMER OF THE FIRM MARTIN GRUMMER - ARCHITECT. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 17 OCTOBER 2025 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

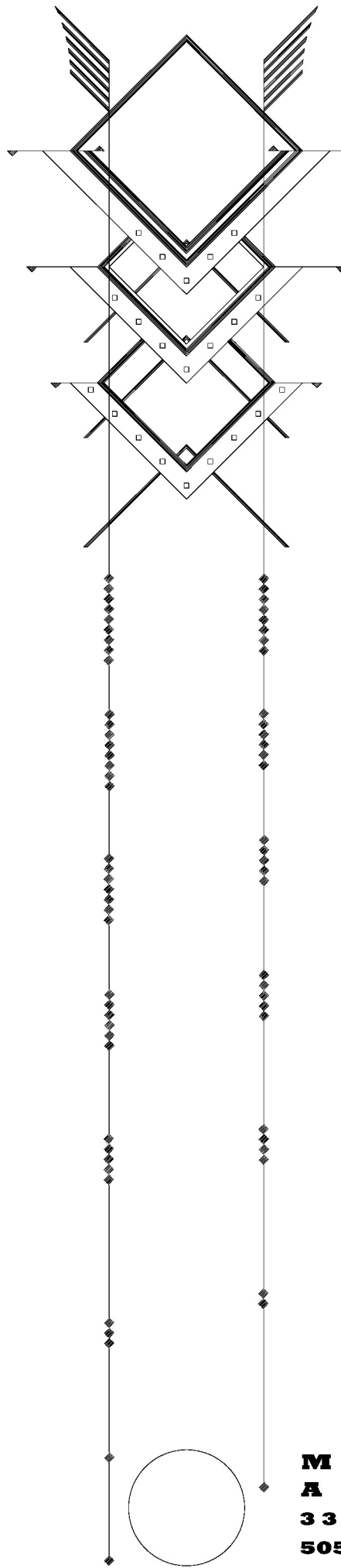
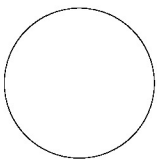
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



**Martin FM Grummer**

Date: 21 OCT 2025

**M A R T I N F M G R U M M E R**  
**A R C H I T E C T**  
**331 WELLESLEY PL NE ALBUQUERQUE, NM 87106**  
**505-265-2507** **mgrummer@centurylink.net**



# ADMINISTRATIVE AMENDMENT

**FILE #:** SI-2023-01629      **PROJECT #:** PR-2023-00238

Modifications to previously-approved Building G: Building split into (2) separate buildings (G-1 & G-2); Reduction in square footage from 48,835-sf to 44,089-sf (total reduction of 9.7%); Slight reduction in parking and landscaping reduction to accommodate square footage reduction; Site still compliant with applicable IDO provisions and original approval; No changes to site access or circulation.



Digitally signed by James M. Aranda  
Date: 2023.11.27 08:16:44 -07'00'

11/27/2023

**APPROVED BY**

**DATE**

## MERCADO EL MILAGRO PETERSON PROPERTIES

### SITE PLAN

10000 CENTRAL AVENUE SW  
ALBUQUERQUE, NEW MEXICO 87121

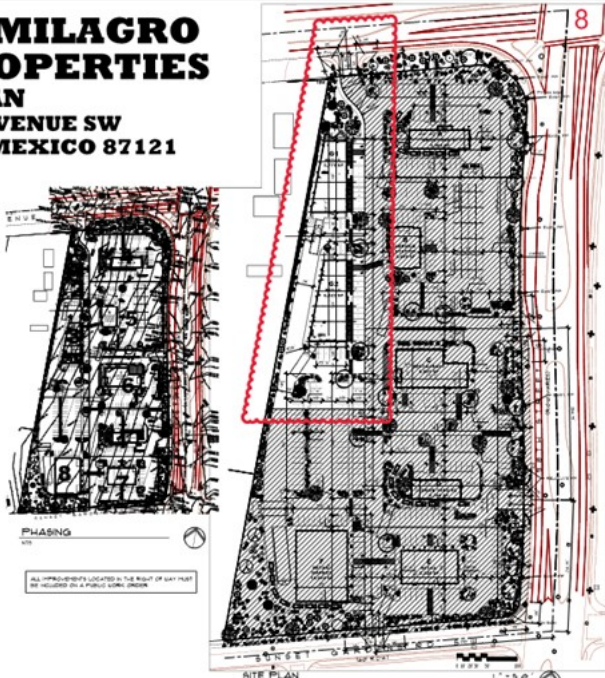
PROJECT NUMBER: PR-2023-00238  
Application Number: SI-2023-01629 - SITE PLAN

By an Administrative Action under the authority of the City of Albuquerque, New Mexico, the following is approved:

**USE SITE DEVELOPMENT PLAN APPROVALS:**

|                                      |       |
|--------------------------------------|-------|
| City Engineering Department          | Date: |
| City Public Works                    | Date: |
| City Planning Department             | Date: |
| City Health Department               | Date: |
| City Fire Department                 | Date: |
| City Police Department               | Date: |
| City Parks and Recreation Department | Date: |
| City Economic Development Department | Date: |
| City Transportation Department       | Date: |

**VICINITY MAP** L-09-2



**PHASING**

ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE LOCATED ON A PUBLIC WORKS DESIGN.

**8**

**AA**

**A1.1**

Thank you,

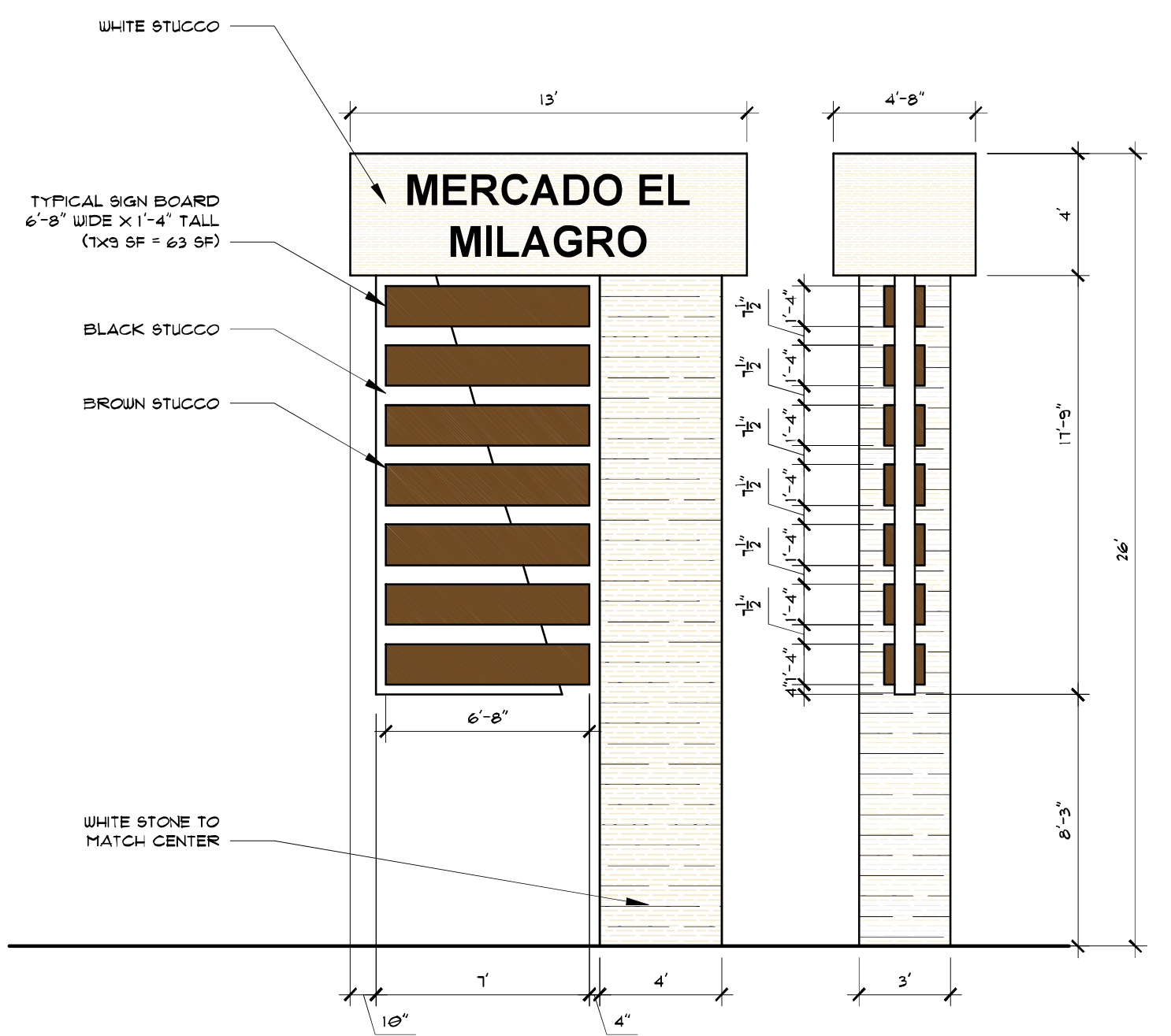




| LEGAL DESCRIPTION              | VARIES, REFER TO DESCRIPTION BELOW   |                              |                              |                              |                              |                              |                              |                              |  |
|--------------------------------|--|------------------------------|------------------------------|------------------------------|------------------------------|------------------------------|------------------------------|------------------------------|--|
| TRACT NUMBER                   | BLDG - A   | BLDG - B                     | BLDG - C                     | BLDG - D                     | BLDG - E                     | BLDG - F                     | BLDG - G-1                   | BLDG - G-2                   |  |
| TOTAL ACREAGE                  | AREA 1.1368 AC   | AREA 1.4959 AC               | AREA 1.0251 AC               | AREA 0.9140 AC               | AREA 0.9444 AC               | AREA 1.731 AC                | AREA 0.4743 AC               | AREA 0.5035 AC               |  |
| EXISTING ZONING                | NR-C   |                              |                              |                              |                              |                              |                              |                              |  |
| PROPOSED ZONING                | NR-C   |                              |                              |                              |                              |                              |                              |                              |  |
| BLDG. SIZE/ REQ. DINING SEATS  | 3,366 SF   | 3,459 SF                     | 6,601 SF / 341 SEATS         | 2,788 SF / 142 SEATS         | 5,225 SF                     | 10,054 SF                    | 5,773 SF                     | 6,238 SF                     |  |
| RAR                            | XXX  | XXX                          | XXX                          | XXX                          | XXX                          | XXX                          | XXX                          | XXX                          |  |
| PROPOSED # OF STRUCTURES       | 1  | 1                            | 1                            | 1                            | 1                            | 1                            | 1                            | 1                            |  |
| PROPOSED USE                   | GROCERY STORE  | GROCERY STORE                | RESTAURANT                   | RESTAURANT W/ DRIVE THRU     | SHOPS/RETAIL-FOOD-OFFICE     | GROCERY STORE                | SHOPS/RETAIL-FOOD-OFF        | SHOPS/RETAIL-FOOD-OFF        |  |
| TOTAL PARKING PROVIDED         | 48 SPACES  | 48 SPACES                    | 53 SPACES                    | 24 SPACES                    | 40 SPACES                    | 71 SPACES                    | 81 SPACES                    | 81 SPACES                    |  |
| TOTAL PARKING REQ. (NC. EMPL.) | 53 SPACES (41@60')   | 53 SPACES (41@60')           | 53 SPACES (50@60')           | 21 SPACES (50@60')           | 21 SPACES (41@60')           | 41 SPACES (41@60')           | 23 SPACES (41@60')           | 23 SPACES (41@60')           |  |
| HC PROVIDED                    | 2 HC (INC. 2 VAN ACCESSIBLE)   | 2 HC (INC. 2 VAN ACCESSIBLE) | 4 HC (INC. 4 VAN ACCESSIBLE) | 2 HC (INC. 2 VAN ACCESSIBLE) | 2 HC (INC. 4 VAN ACCESSIBLE) | 4 HC (INC. 4 VAN ACCESSIBLE) | 6 HC (INC. 6 VAN ACCESSIBLE) | 6 HC (INC. 6 VAN ACCESSIBLE) |  |
| HC REQUIRED                    | 2 HC SPACES  | 2 HC SPACES                  | 4 HC SPACES                  | 1 HC SPACE                   | 1 HC SPACE                   | 3 HC SPACES                  | 4 HC SPACES                  | 4 HC SPACES                  |  |
| BIKE SPACES PROVIDED           | 3 BIKE SPACES  | 3 BIKE SPACES                | 6 BIKE SPACES                | 3 BIKE SPACES                | 3 BIKE SPACES                | 5 BIKE SPACES                | 8 BIKE SPACES                | 9 BIKE SPACES                |  |
| BIKE SPACES REQUIRED           | 3 BIKE SPACES  | 3 BIKE SPACES                | 6 BIKE SPACES                | 3 BIKE SPACES                | 3 BIKE SPACES                | 5 BIKE SPACES                | 8 BIKE SPACES                | 9 BIKE SPACES                |  |
| MOTORCYCLE SPACES PROVIDED     | 2 MOTORCYCLE SPACES  | 2 MOTORCYCLE SPACES          | 2 MOTORCYCLE SPACES          | 2 MOTORCYCLE SPACES          | 2 MOTORCYCLE SPACES          | 2 MOTORCYCLE SPACES          | 3 MOTORCYCLE SPACES          | 3 MOTORCYCLE SPACES          |  |
| MOTORCYCLE SPACES REQUIRED     | 2 MOTORCYCLE SPACES  | 2 MOTORCYCLE SPACES          | 2 MOTORCYCLE SPACES          | 2 MOTORCYCLE SPACES          | 1 MOTORCYCLE SPACES          | 2 MOTORCYCLE SPACES          | 3 MOTORCYCLE SPACES          | 3 MOTORCYCLE SPACES          |  |
| MAX BUILDING HEIGHT            | 35' TO TOP OF PARAPET  | 35' TO TOP OF PARAPET        | 35' TO TOP OF PARAPET        | 35' TO TOP OF PARAPET        | 35' TO TOP OF PARAPET        | 35' TO TOP OF PARAPET        | 35' TO TOP OF PARAPET        | 35' TO TOP OF PARAPET        |  |
| TOTAL PARKING REQUIRED         | 243 SPACES X 28' = 6,804 ELECTRIC VEHICLE CHARGING STATIONS REQUIRED, 5 PROVIDED |                              |                              |                              |                              |                              |                              |                              |  |

**KEYED NOTES**

- 1 8" INTEGRALLY COLORED, RAISED, AND TEXTURED CONCRETE PEDESTRIAN CROSSWALK (RAISED TO TWO INCHES WHERE ALLOWED BY GRADES)
- 2 PROPOSED LIGHT POLE LOCATION RE: 0/A1.3 FOR POLE DETAIL
- 3 EXISTING 6" SIDEWALK
- 4 EXISTING ASPHALT BIKE PATH / SIDEWALK
- 5 INDICATES BIKE RACK LOCATION (SEE A2.1 FOR BIKE CAPACITY REQ) SEE DETAIL 1/A1.3
- 6 OUTDOOR DINING/SEATING AREA (RE: LOCATION FOR SIZE)
- 7 HANDICAP RAMP PER COA DUG #2441
- 8 INDICATES NEW 6' HIGH (MIN) CMU (HEIGHT TO BE FIELD VERIFIED) SCREEN WALL FROM ADJACENT COMMERCIAL DEVELOPMENT SEE CIVIL DRAWINGS FOR RETAINING WALL CONDITION SHALL BE SPUT FACE CMU TO MATCH OTHER SCREEN WALLS
- 9 LANDSCAPE AREA
- 10 PROPOSED 3'-6" HIGH 8" INTEGRALLY COLORED SPUT-FACED CMU BLOCK SCREEN WALL (TAN/RED COLOR) RE: 0/A1.3 FOR DETAIL
- 11 INDICATES PROPOSED FIRE HYDRANT LOCATION RE: UTILITY PLAN FOR INFO
- 12 INDICATES PROPOSED 4'-6" X 10' MOTORCYCLE PARKING STALL LOCATION - RE: SITE PLAN FOR LOCATIONS WITH MOTORCYCLE SIGNAGE, SEE DETAIL 1/A1.3
- 13 INDICATES MONUMENT SIGN - SEE 1/A1.2
- 14 INDICATES DUMPSTER LOCATION RE: DETAIL 2/3/A1.3 INCLUDING SANITARY DRAIN FOR FOOD SERVICES NOTE: ENCLOSURE SHALL MATCH SCREEN WALL SPUT FACE CMU
- 15 INDICATES DUMPSTER LOCATION W/ RECYCLE - INCLUDING SANITARY DRAIN FOR FOOD SERVICES NOTE: ENCLOSURE SHALL MATCH SCREEN WALL SPUT FACE CMU
- 16 INDICATES LOCATION OF TRASH RECEPTACLES
- 17 INDICATES LOCATION OF BENCH
- 18 LOADING DOCK
- 19 LOADING AREA
- 20 CLEAR SITE TRIANGLE LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 6' FEET TALL (AS MEASURED FROM THE GUTTER FAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- 21 "DO NOT ENTER" SIGN - SEE DETAIL 1/A1.3
- 22 6" CONCRETE CURB
- 23 ASPHALT DRIVE AND PARKING
- 24 NEW CURB AND GUTTER
- 25 RIGHT IN / RIGHT OUT ONLY DRIVEWAY
- 26 ELECTRIC VEHICLE CHARGING STATION (TYP OF 5)
- 27 UNDER-CANOPY LIGHTING SHALL BE RECESSED SO THAT NO LIGHT LENS PROJECTS BELOW THE CANOPY CEILING. THE CANOPY FASCIA SHALL NOT BE INTERNALLY ILLUMINATED

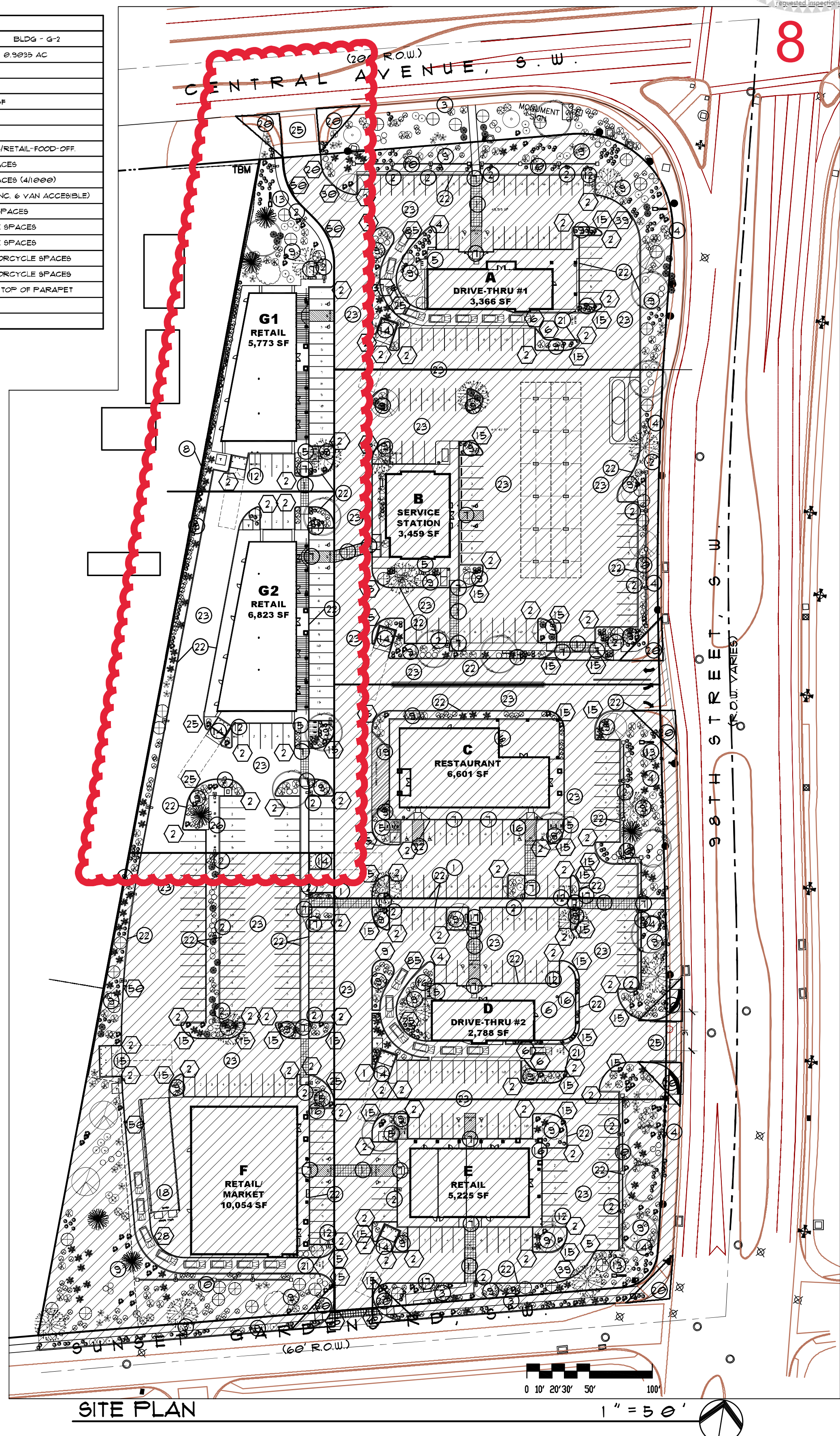


**PYLON SIGN ELEVATIONS** 1/4" = 1' - 0"

**RADIUS INFORMATION**

- 1 RADIUS = 1'-0"
- 2 RADIUS = 2'-0"
- 4 RADIUS = 4'-0"
- 5 RADIUS = 5'-0"
- 6 RADIUS = 6'-0"
- 9 RADIUS = 9'-0"
- 15 RADIUS = 15'-0"
- 20 RADIUS = 20'-0"
- 25 RADIUS = 25'-0"
- 30 RADIUS = 30'-0"
- 35 RADIUS = 35'-0"
- 45 RADIUS = 45'-0"
- 60 RADIUS = 60'-0"
- 75 RADIUS = 75'-0"

ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER



**SITE PLAN**

MARTIN PM GRUMMER ARCHITECT 311 KELLEY BLVD. SE ALBUQUERQUE, NEW MEXICO 87106 (505) 265-2017

PETERSON PROPERTIES

AA

MERCADO EL MILAGRO SHELL BUILDING G-1 10000 CENTRAL AVENUE SW ALBUQUERQUE, NEW MEXICO 87121

SITE PLAN

DATE: 3 OCT 2023  
DRAWN BY: MFMG  
CHECKED BY:  
VERIFIED BY:

REVISIONS

SHEET NO: **A1.2**

ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.