

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

October 30, 2025

Martin Grummer, R.A  
Martin FM Grummer Architect  
331 Wellesley PI NE  
Albuquerque, NM 87106

**Re: Mercado El Milagro/ BLDG G1/ 10000 Central Ave SW**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Architect's Stamp dated 11-27-23 (L09-D042B)  
Certification dated 10-21-25  
TRANS-2025-00309

Dear Mr. Grummer,

PO Box 1293

Based upon the information provided in your submittal received 10-21-25, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at [earmijo@cabq.gov](mailto:earmijo@cabq.gov)

NM 87103

Sincerely,

www.cabq.gov

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

\EA via: email  
C: CO Clerk, File



# ADMINISTRATIVE AMENDMENT

**FILE #:** SI-2023-01629      **PROJECT #:** PR-2023-00238

Modifications to previously-approved Building G: Building split into (2) separate buildings (G-1 & G-2); Reduction in square footage from 48,835-sf to 44,089-sf (total reduction of 9.7%); Slight reduction in parking and landscaping reduction to accommodate square footage reduction; Site still compliant with applicable IDO provisions and original approval; No changes to site access or circulation.



Digitally signed by James M. Aranda  
Date: 2023.11.27 08:16:44 -07'00'

11/27/2023

**APPROVED BY**

**DATE**

## MERCADO EL MILAGRO PETERSON PROPERTIES

### SITE PLAN

**10000 CENTRAL AVENUE SW  
ALBUQUERQUE, NEW MEXICO 87121**

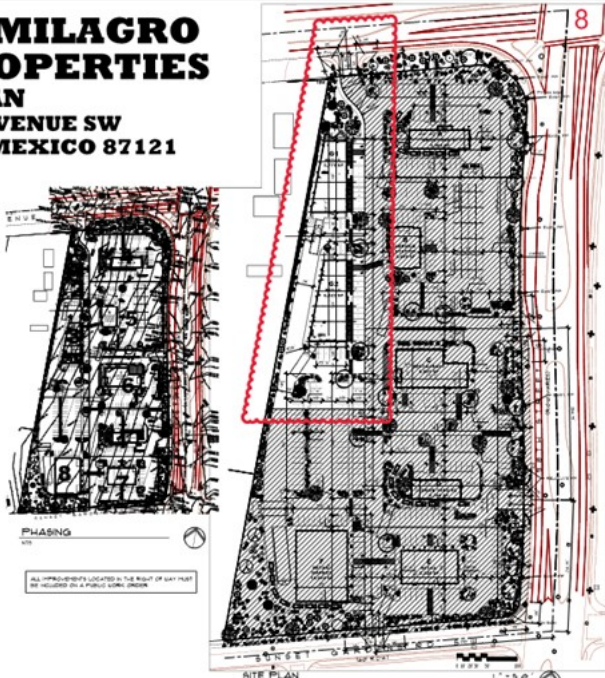
**PROJECT NUMBER:** PR-2023-00238  
**Application Number:** SI-2023-01629 - SITE PLAN

By an Administrative Action under the authority of the City of Albuquerque, New Mexico, the following is approved for the above project:

**THE SITE DEVELOPMENT PLAN APPROVALS:**

City Engineering Department	Date:
City Public Works	Date:
City Planning Department	Date:
City Health Department	Date:
City Fire Department	Date:
City Police Department	Date:
City Parks and Recreation	Date:
City Economic Development	Date:
City Cultural Affairs	Date:
City Office of the Mayor	Date:









**VICINITY MAP**    L-09-2



**PHASING**

ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE LOCATED ON A PUBLIC WORKS DESIGN.

**SITE PLAN**    1" = 50'

Thank you,

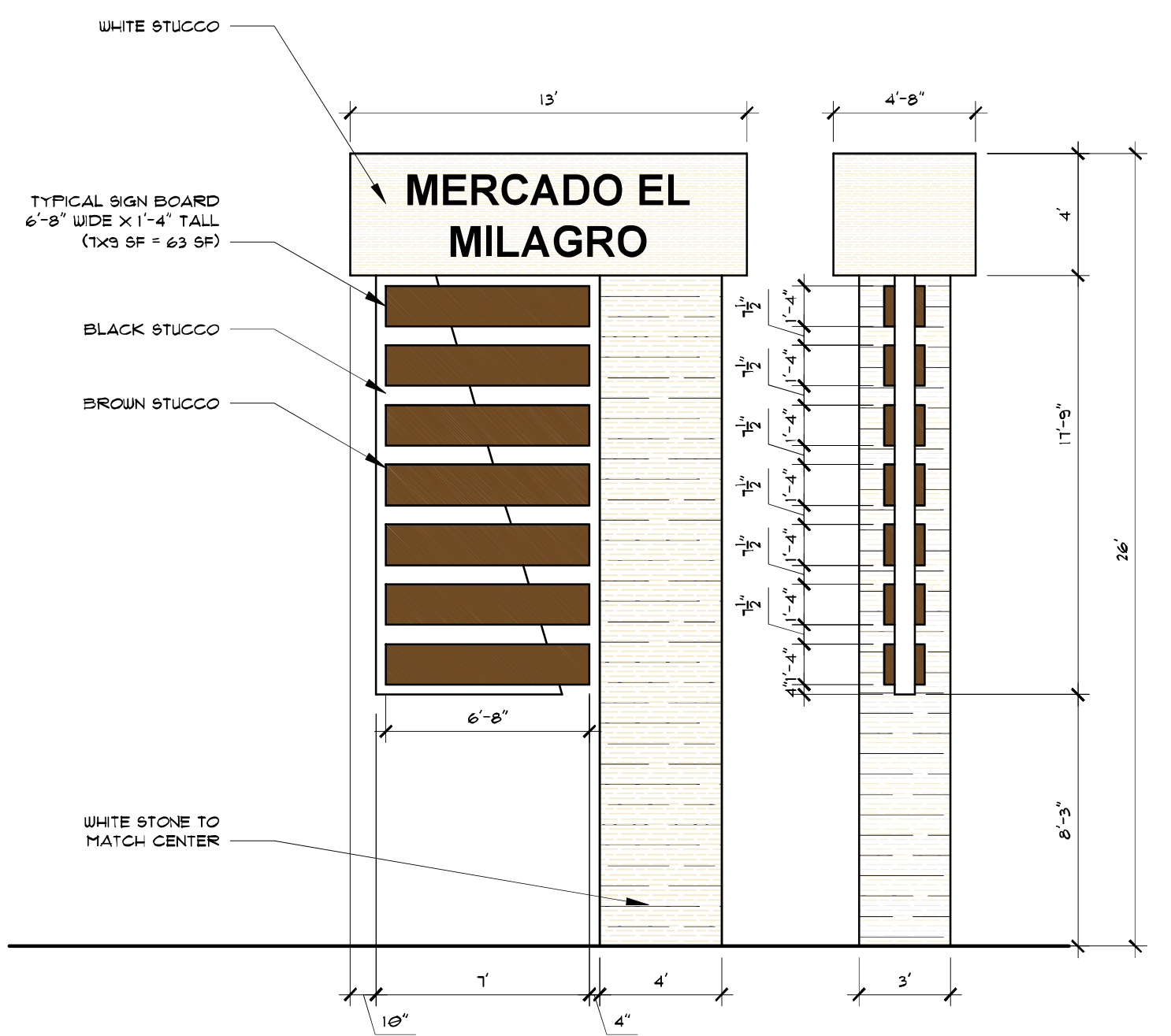




LEGAL DESCRIPTION	VARIES - REFER TO DESCRIPTION BELOW								
TRACT NUMBER	BLDG - A	BLDG - B	BLDG - C	BLDG - D	BLDG - E	BLDG - F	BLDG - G-1	BLDG - G-2	
TOTAL ACREAGE	AREA 1.1368 AC	AREA 1.4959 AC	AREA 1.0251 AC	AREA 0.9140 AC	AREA 0.9444 AC	AREA 1.731 AC	AREA 0.4743 AC	AREA 0.5035 AC	
EXISTING ZONING	NR-C								
PROPOSED ZONING	NR-C								
BLDG. SIZE/ REQ. DINING SEATS	3,366 SF	3,459 SF	6,601 SF / 341 SEATS	2,788 SF / 142 SEATS	5,225 SF	10,054 SF	5,773 SF	6,238 SF	
RAR	XXX	XXX	XXX	XXX	XXX	XXX	XXX	XXX	
PROPOSED # OF STRUCTURES	1	1	1	1	1	1	1	1	
PROPOSED USE	GROCERY STORE	GROCERY STORE	RESTAURANT	RESTAURANT W/ DRIVE THRU	SHOPS/RETAIL-FOOD-OFFICE	GROCERY STORE	SHOPS/RETAIL-FOOD-OFF	SHOPS/RETAIL-FOOD-OFF	
TOTAL PARKING PROVIDED	48 SPACES	48 SPACES	53 SPACES	24 SPACES	40 SPACES	71 SPACES	81 SPACES	81 SPACES	
TOTAL PARKING REQ. (NC. EMPL.)	53 SPACES (41@60')	53 SPACES (41@60')	53 SPACES (50@60')	21 SPACES (50@60')	21 SPACES (41@60')	41 SPACES (41@60')	23 SPACES (41@60')	23 SPACES (41@60')	
HC PROVIDED	2 HC (INC. 2 VAN ACCESSIBLE)	2 HC (INC. 2 VAN ACCESSIBLE)	4 HC (INC. 4 VAN ACCESSIBLE)	2 HC (INC. 2 VAN ACCESSIBLE)	2 HC (INC. 4 VAN ACCESSIBLE)	4 HC (INC. 4 VAN ACCESSIBLE)	6 HC (INC. 6 VAN ACCESSIBLE)	6 HC (INC. 6 VAN ACCESSIBLE)	
HC REQUIRED	2 HC SPACES	2 HC SPACES	4 HC SPACES	2 HC SPACES	2 HC SPACES	4 HC SPACES	6 HC SPACES	6 HC SPACES	
BIKE SPACES PROVIDED	3 BIKE SPACES	3 BIKE SPACES	6 BIKE SPACES	3 BIKE SPACES	3 BIKE SPACES	5 BIKE SPACES	8 BIKE SPACES	8 BIKE SPACES	
BIKE SPACES REQUIRED	3 BIKE SPACES	3 BIKE SPACES	6 BIKE SPACES	3 BIKE SPACES	3 BIKE SPACES	5 BIKE SPACES	8 BIKE SPACES	8 BIKE SPACES	
MOTORCYCLE SPACES PROVIDED	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	
MOTORCYCLE SPACES REQUIRED	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	2 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	3 MOTORCYCLE SPACES	
MAX BUILDING HEIGHT	35' TO TOP OF PARAPET	35' TO TOP OF PARAPET	35' TO TOP OF PARAPET	35' TO TOP OF PARAPET	35' TO TOP OF PARAPET	35' TO TOP OF PARAPET	35' TO TOP OF PARAPET	35' TO TOP OF PARAPET	
TOTAL PARKING REQUIRED	243 SPACES X 28' = 6,804 ELECTRIC VEHICLE CHARGING STATIONS REQUIRED, 5 PROVIDED								

**KEYED NOTES**

- 1 8" INTEGRALLY COLORED, RAISED, AND TEXTURED CONCRETE PEDESTRIAN CROSSWALK (RAISED TO TWO INCHES WHERE ALLOWED BY GRADES)
- 2 PROPOSED LIGHT POLE LOCATION RE: 8/A1.3 FOR POLE DETAIL
- 3 EXISTING 6" SIDEWALK
- 4 EXISTING ASPHALT BIKE PATH / SIDEWALK
- 5 INDICATES BIKE RACK LOCATION (SEE A2.1 FOR BIKE CAPACITY REQ) SEE DETAIL 1/A1.3
- 6 OUTDOOR DINING/SEATING AREA (RE: LOCATION FOR SIZE)
- 7 HANDICAP RAMP PER COA DWG #2441
- 8 INDICATES NEW 6' HIGH (MIN) CMU (HEIGHT TO BE FIELD VERIFIED) SCREEN WALL FROM ADJACENT COMMERCIAL DEVELOPMENT SEE CIVIL DRAWINGS FOR RETAINING WALL CONDITION SHALL BE SPILT FACE CMU TO MATCH OTHER SCREEN WALLS
- 9 LANDSCAPE AREA
- 10 PROPOSED 3'-6" HIGH 8" INTEGRALLY COLORED SPILT-FACED CMU BLOCK SCREEN WALL (TAN/RED COLOR) RE: 8/A1.3 FOR DETAIL
- 11 INDICATES PROPOSED FIRE HYDRANT LOCATION RE: UTILITY PLAN FOR INFO
- 12 INDICATES PROPOSED 4'-6" X 10' MOTORCYCLE PARKING STALL LOCATION - RE: SITE PLAN FOR LOCATIONS WITH MOTORCYCLE SIGNAGE, SEE DETAIL 1/A1.3
- 13 INDICATES MONUMENT SIGN - SEE 1/A1.2
- 14 INDICATES DUMPSTER LOCATION RE: DETAIL 2/3/A1.3 INCLUDING SANITARY DRAIN FOR FOOD SERVICES NOTE: ENCLOSURE SHALL MATCH SCREEN WALL SPILT FACE CMU
- 15 INDICATES DUMPSTER LOCATION W/ RECYCLE - INCLUDING SANITARY DRAIN FOR FOOD SERVICES NOTE: ENCLOSURE SHALL MATCH SCREEN WALL SPILT FACE CMU
- 16 INDICATES LOCATION OF TRASH RECEPTACLES
- 17 INDICATES LOCATION OF BENCH
- 18 LOADING DOCK
- 19 LOADING AREA
- 20 CLEAR SITE TRIANGLE LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' FEET TALL (AS MEASURED FROM THE GUTTER FAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- 21 "DO NOT ENTER" SIGN - SEE DETAIL 1/A1.3
- 22 6" CONCRETE CURB
- 23 ASPHALT DRIVE AND PARKING
- 24 NEW CURB AND GUTTER
- 25 RIGHT IN / RIGHT OUT ONLY DRIVEWAY
- 26 ELECTRIC VEHICLE CHARGING STATION (TYP OF 5)
- 27 UNDER-CANOPY LIGHTING SHALL BE RECESSED SO THAT NO LIGHT LENS PROJECTS BELOW THE CANOPY CEILING. THE CANOPY FASCIA SHALL NOT BE INTERNALLY ILLUMINATED

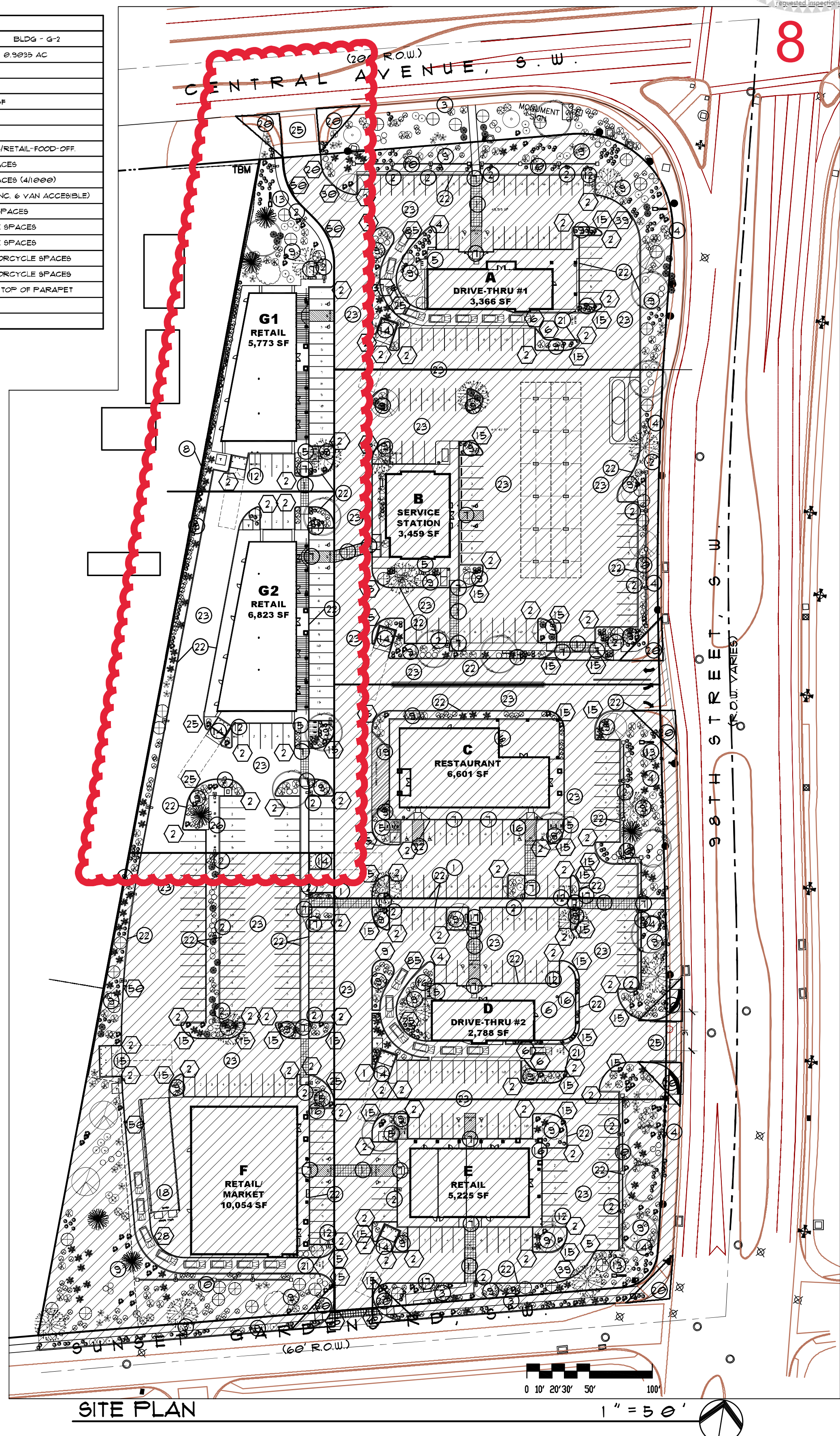


**PYLON SIGN ELEVATIONS** 1/4" = 1' - 0"

**RADIUS INFORMATION**

- 1 RADIUS = 1'-0"
- 2 RADIUS = 2'-0"
- 4 RADIUS = 4'-0"
- 5 RADIUS = 5'-0"
- 6 RADIUS = 6'-0"
- 9 RADIUS = 9'-0"
- 15 RADIUS = 15'-0"
- 20 RADIUS = 20'-0"
- 25 RADIUS = 25'-0"
- 30 RADIUS = 30'-0"
- 35 RADIUS = 35'-0"
- 45 RADIUS = 45'-0"
- 60 RADIUS = 60'-0"
- 75 RADIUS = 75'-0"

ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER



**SITE PLAN**

MARTIN PM GRUMMER ARCHITECT 311 KELLEY BLVD. SE ALBUQUERQUE, NEW MEXICO 87106 (505) 265-2017

PETERSON PROPERTIES

AA

MERCADO EL MILAGRO SHELL BUILDING G-1 10000 CENTRAL AVENUE SW ALBUQUERQUE, NEW MEXICO 87121

SITE PLAN

DATE: 3 OCT 2023  
DRAWN BY: MFMG  
CHECKED BY:  
VERIFIED BY:

REVISIONS

SHEET NO: **A1.2**