



LOCATION MAP

ZONE ATLAS L-10-Z

SCALE: NONE

SUBDIVISION DATA

Plat Case No's. _____ Project #1000147
Case # _____
Gross Acreage _____ 15.3904 Ac.
Zone Atlas No. _____ L-10-Z
No. of existing Tracts/Lots _____ 1 Tract
No. of Tracts/Lots created _____ 1 Tract/33 Lots
No. of Tracts/Lots eliminated _____ 1 Tract
Miles of full width streets created _____ 0.18
Area dedicated to the City of Albuquerque _____ 1.1099 Ac.
Date of Survey _____ 8-14-97
Utility Control Location System Log Number _____ 97081315100463

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets, public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

OWNER: C & W Land Development Enterprises, Inc.
BY: Rex Wilson, President

Rex Wilson
Rex Wilson, President

12-19-01

DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on December 19, 2001
By Rex Wilson, President of C & W Development Enterprises Inc.,
A New Mexico Corporation on behalf of said Corporation.

Susan Barror
NOTARY PUBLIC
OFFICIAL SEAL
SUSAN BARROR
NOTARY PUBLIC-STATE OF NEW MEXICO
My commission expires: _____

9.3.2004
MY COMMISSION EXPIRES

LEGAL DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Section 27, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT A, WHISPERING POINTE SUBDIVISION UNIT 1 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on December 3, 2001 in BK-2001C, Pg-313 and containing 15.3904 acres, more or less.

NOTES

(SEE SHEET 5)

PURPOSE OF PLAT

1. Subdivide 1 Tract into 33 residential Lots and 1 Tract.
2. Grant easements as shown hereon.
3. Dedicate Right-of-way as shown hereon.
4. Vacate Temporary Easement as shown hereon.

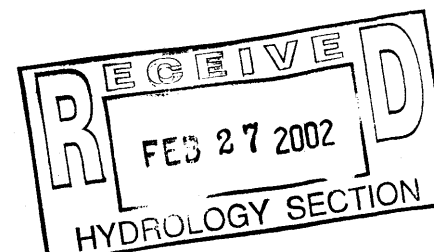
PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.



PLAT FOR WHISPERING POINTE SUBDIVISION UNIT 2 WITHIN THE TOWN OF ATRISCO GRANT PROJECTED SECTION 27 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO DECEMBER, 2001

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Subdivision Case No. _____

Planning Director, City of Albuquerque, N.M. _____ Date

City Engineer, City of Albuquerque, N.M. _____ Date

Albuquerque Metropolitan Arroyo Flood Control Authority _____ Date

Transportation Development, City of Albuquerque, N.M. _____ Date

Utility Development Division, City of Albuquerque, N.M. _____ Date

Parks and Recreation _____ Date

City Surveyor, City of Albuquerque, N.M. _____ Date

Property Management, City of Albuquerque, N.M. _____ Date

PNM Gas _____ Date

PNM Electric _____ Date

Qwest Telecommunications _____ Date

Comcast Cable _____ Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich
Timothy Aldrich P.S. No. 7719 _____ Date

Dwg: 1113FLTL1	Drawn: RDQ	Checked: ALS	Sheet 1 of 5
Scale: N/A	Date: 12/17/01	Job: A01113	

ACS MONUMENT
"7-K9"
Y=1482842.09
X=355815.77
G-G=0.99967820
Δα=-00°16'37"
CENTRAL ZONE
(NAD 1927/SLD 1929)
ELEVATION=5137.36

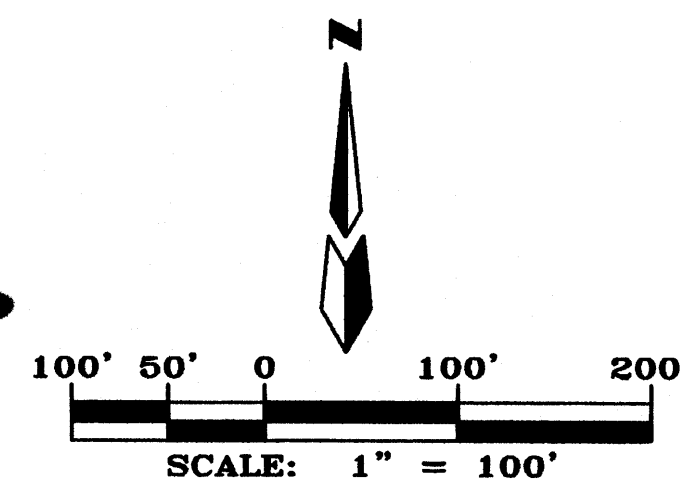
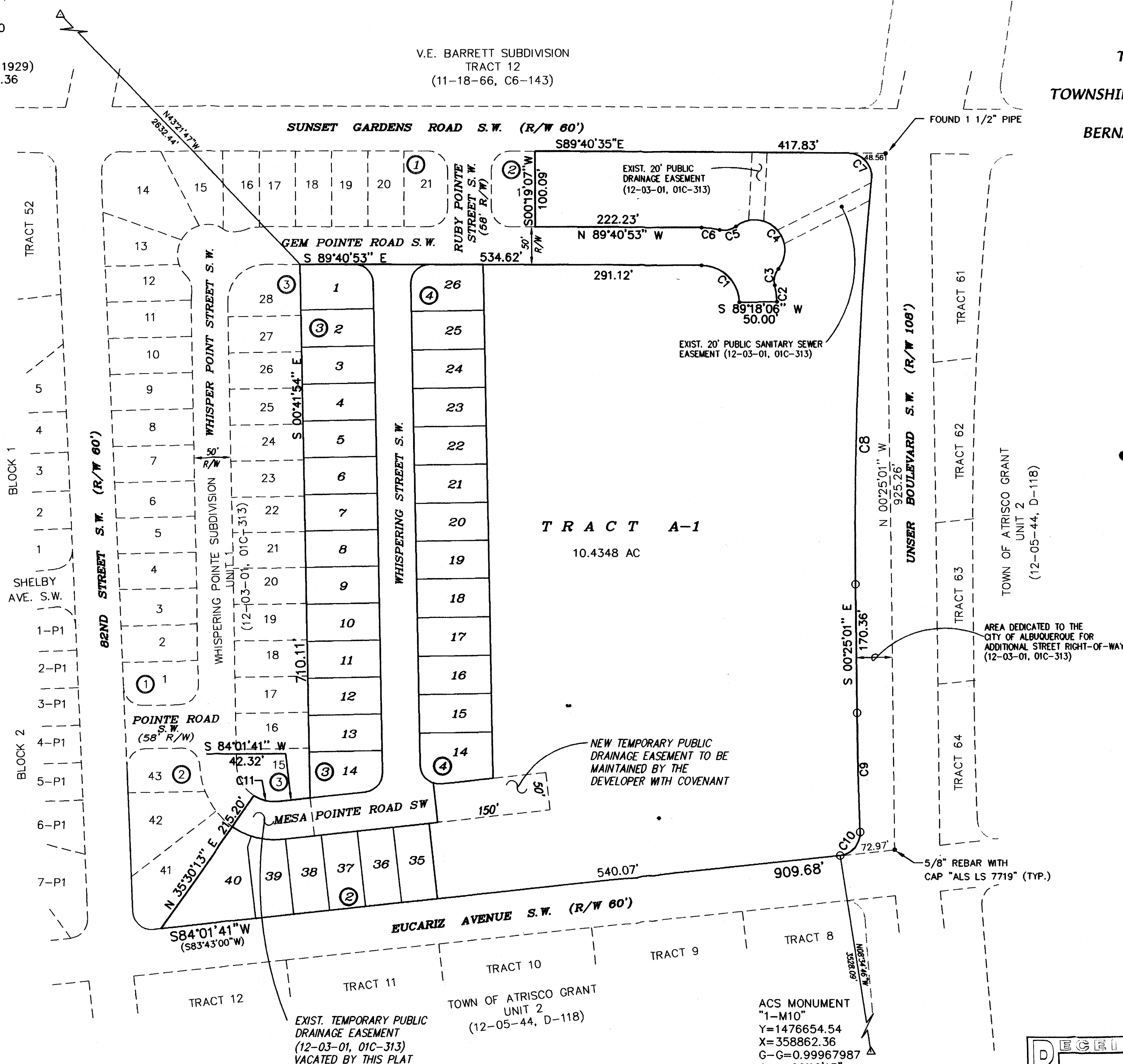
V.E. BARRETT SUBDIVISION
TRACT 12
(11-18-66, C6-143)

PLAT FOR **WHISPERING POINTE SUBDIVISION UNIT 2**

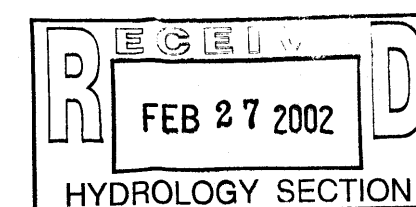
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 27
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2001

TOWN OF ATRISCO GRANT
UNIT 2
(12-05-44, D-118)

POINTE WEST SUBDIVISION
UNIT 1
(03-04-96, 96C-97)



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01-16-02



Dwg: A1113FPLT2	Drawn: RDQ	Checked: ALS	Sheet 2 of 5
Scale: 1" = 100'	Date: 12/18/01	Job: A01113	

CURVE TABLE											
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD	CURVE	RADIUS	LENGTH	DELTA	TANGENT
C1	50.00	77.65	88°58'59"	49.12	N45°11'23"W	70.08	C12	100.00	70.37	40°19'14"	36.71
C2	100.00	22.54	12°55'00"	11.32	N07°09'24"W	22.50	C13	75.00	52.28	39°56'08"	27.25
C3	25.00	22.99	52°41'17"	12.38	S12°43'45"W	22.19	C14	100.00	30.11	17°15'14"	15.17
C4	40.00	117.03	167°38'07"	369.27	N44°44'40"W	79.53	C15	100.00	40.26	23°04'00"	20.41
C5	25.00	22.99	52°41'17"	12.38	N77°46'55"E	22.19	C16	25.00	36.97	84°43'35"	22.80
C6	100.00	24.10	13°48'26"	12.11	N82°46'40"W	24.04	C17	25.00	41.57	95°16'25"	27.41
C7	30.00	49.94	95°22'23"	32.95	N41°59'23"W	44.37	C18	25.00	38.83	88°58'59"	24.56
C8	5078.00	541.85	6°06'50"	271.18	S02°38'24"W	541.59	C19	25.00	39.71	91°01'01"	25.45
C9	5078.00	157.81	1°46'50"	78.91	S01°18'26"E	157.80	C20	75.00	116.48	88°58'59"	73.68
C10	30.00	45.15	86°13'32"	28.09	N40°54'55"E	41.01	C21	75.00	57.66	44°02'46"	30.34
C11	50.00	34.18	39°09'54"	17.79	S76°23'22"E	33.52	C22	75.00	58.82	44°56'13"	31.02
C23	40.00	35.90	51°25'24"	19.26	N13°21'41"E	34.71	C23	40.00	35.90	51°25'24"	19.26
C24	40.00	20.21	28°57'18"	10.33	N26°49'40"W	20.00	C24	40.00	20.21	28°57'18"	10.33
C25	40.00	21.67	31°02'26"	11.11	N56°49'32"W	21.41	C25	40.00	21.67	31°02'26"	11.11
C26	40.00	20.21	28°57'18"	10.33	N86°49'24"W	20.00	C26	40.00	20.21	28°57'18"	10.33
C27	40.00	19.03	27°15'41"	9.70	S65°04'07"W	18.85	C27	40.00	19.03	27°15'41"	9.70
C28	5078.00	6.14	0°04'10"	3.07	S05°39'44"W	6.14	C28	5078.00	6.14	0°04'10"	3.07
C29	5078.00	23.67	0°16'01"	11.83	S05°29'39"W	23.67	C29	5078.00	23.67	0°16'01"	11.83
C30	25.00	10.15	23°15'04"	5.14	S84°20'47"E	10.08	C30	25.00	10.15	23°15'04"	5.14
C31	25.00	31.43	72°01'22"	18.17	S36°42'35"E	29.40	C31	25.00	31.43	72°01'22"	18.17

SEE SHEET 4

TRACT A-1

10.4348 AC

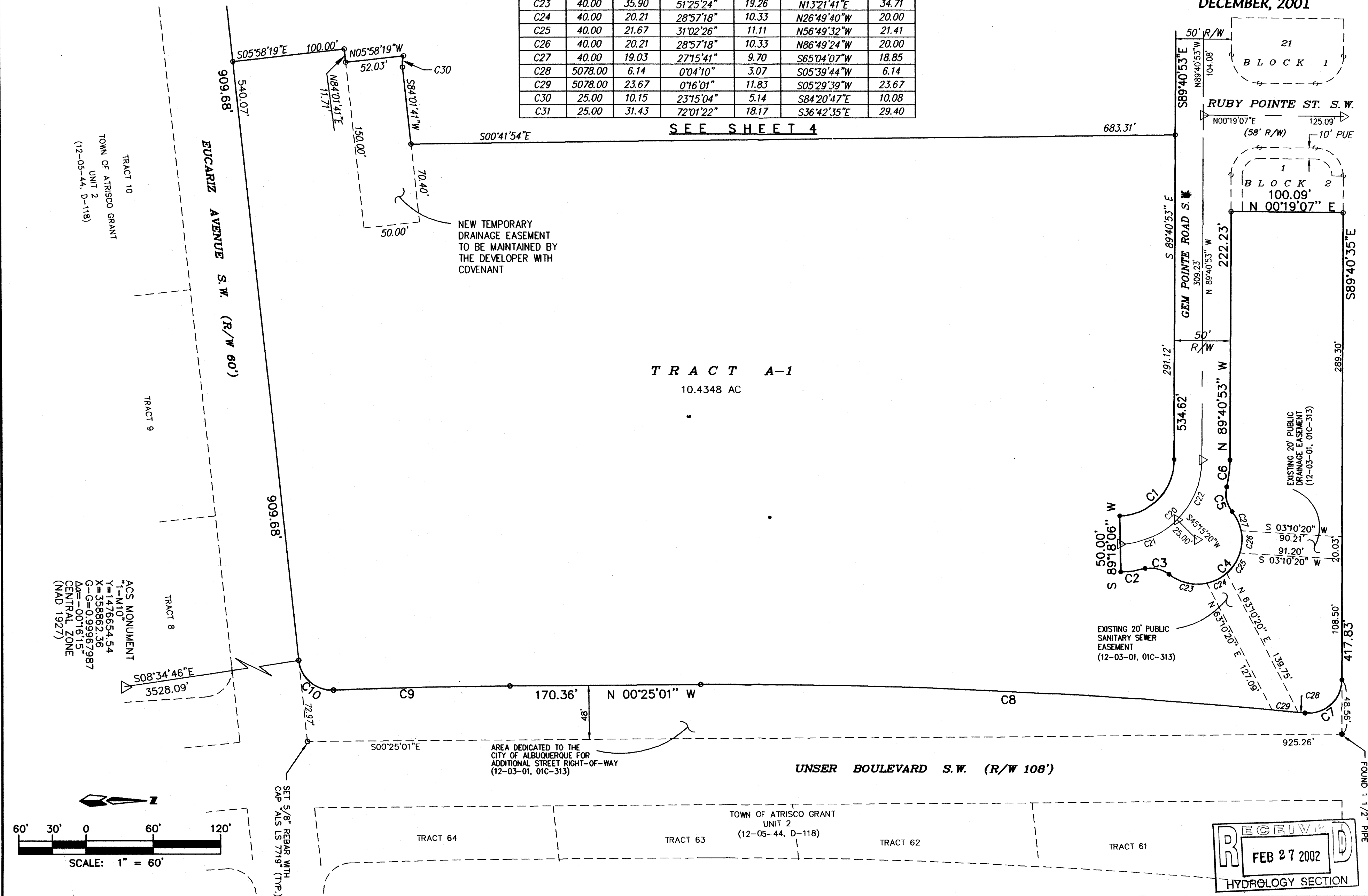
PLAT FOR WHISPERING POINTE SUBDIVISION UNIT 2

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 27
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2001

V.E. BARRETT SUBDIVISION

TRACT 12

(11-18-66, C6-143)



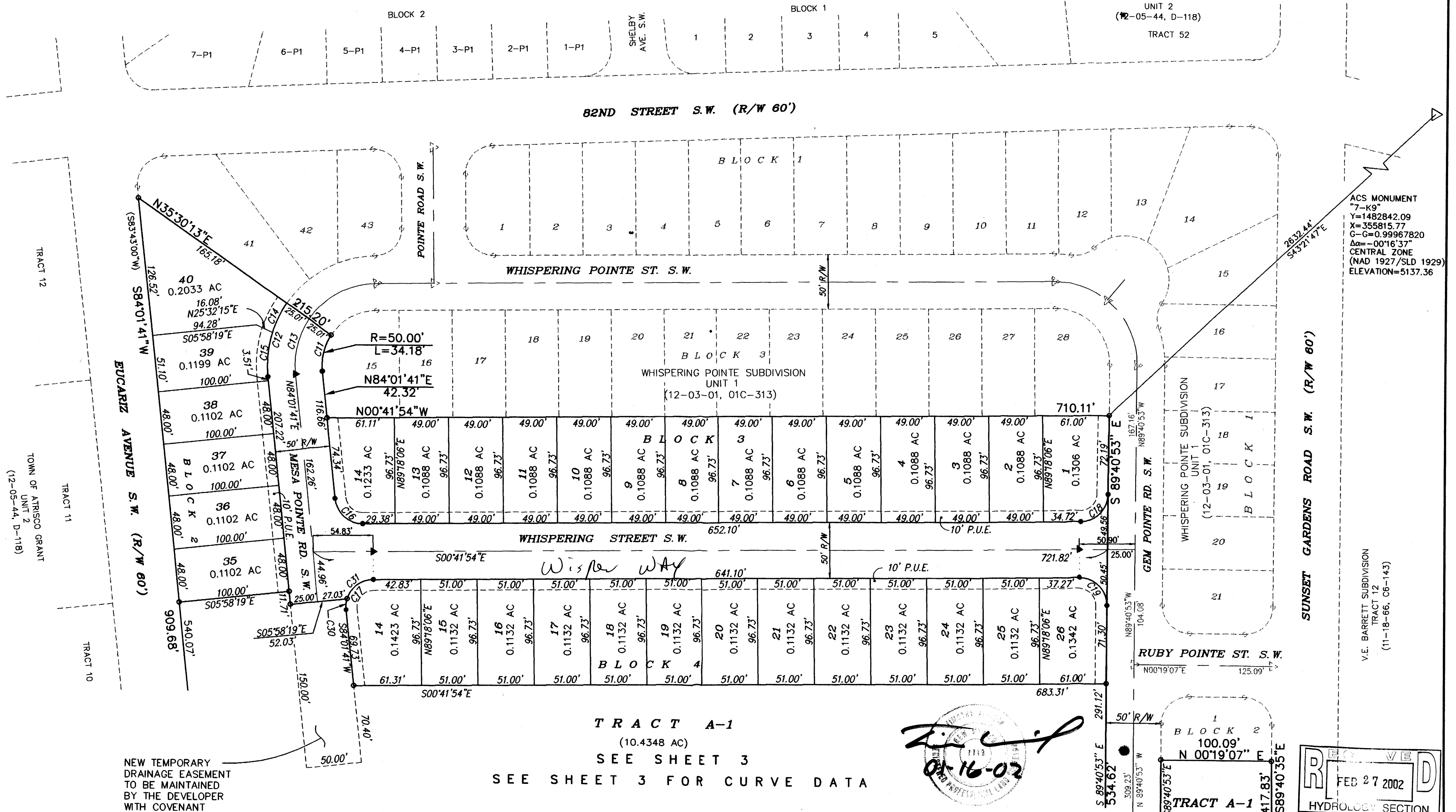
01-10-02

RECEIVED
FEB 27 2002
HYDROLOGY SECTION

Dwg: 1113FPLT3	Drawn: RDQ	Checked: ALS	Sheet 3 of 5
Scale: 1"=60'	Date: 12/14/01	Job: A01113	

**WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 27
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2001**

TOWN OF ATRISCO GRANT
UNIT 2
(~~12~~-05-44, D-118)
TRACT 52



ACS MONUMENT
"7-K9"
Y=1482842.09
X=355815.77
G-G=0.99967820
 $\Delta\alpha = -00^{\circ}16'37''$
CENTRAL ZONE
(NAD 1927/SLD 1929)
ELEVATION=5137.36

E. BARRETT SUBDIVISION
TRACT 12
(11-18-66, C6-143)

Dwg: 1113FPLT4	Drawn: RDQ	Checked: ALS	Sheet 4 of 5
Scale: 1"=60'	Date: 12/14/01	Job: A01113	

OPEN SPACE AREA TABLE

The purpose of this table is to illustrate that each lot is capable of providing 2400 sf of minimum "OPEN SPACE" on site; thus demonstrating that this subdivision complies with the RD Zoning requirements without additional off-site OPEN SPACE dedication.

NOTE: UNITS ARE SQUARE FEET

BLOCK 2	TOTAL AREA	MINIMUM REQUIREMENT	BUILDING AREA REMAINING	BLOCK 4	TOTAL AREA	MINIMUM REQUIREMENT	BUILDING AREA REMAINING
35	4800	2400	2400	14	6197	2400	3797
36	4800	2400	2400	15	4933	2400	2533
37	4800	2400	2400	16	4933	2400	2533
38	4800	2400	2400	17	4933	2400	2533
39	5222	2400	2822	18	4933	2400	2533
40	8854	2400	6454	19	4933	2400	2533
				20	4933	2400	2533
				21	4933	2400	2533
				22	4933	2400	2533
				23	4933	2400	2533
				24	4933	2400	2533
				25	4933	2400	2533
				26	5844	2400	3444

BLOCK 3	TOTAL AREA	MINIMUM REQUIREMENT	BUILDING AREA REMAINING
1	5689	2400	3289
2	4740	2400	2340
3	4740	2400	2340
4	4740	2400	2340
5	4740	2400	2340
6	4740	2400	2340
7	4740	2400	2340
8	4740	2400	2340
9	4740	2400	2340
10	4740	2400	2340
11	4740	2400	2340
12	4740	2400	2340
13	4740	2400	2340
14	5371	2400	2971

NOTES

- Each lot shall have a minimum of 2400 sq. ft. of on-site OPEN SPACE to meet the RD Zoning requirement.
- City of Albuquerque Water and Sanitary Sewer Service to WHISPERING POINTE SUBDIVISION must be verified and coordinated with the Public Works Department, City of Albuquerque.

SETBACKS

Setbacks shall be per the RD zone:

- Front yard setback of not less than 15 feet except driveways shall be not less than 20 feet long.
- There shall be no required side-yard setback except:
 - There shall be ten feet on the street side of corner lots.
 - There shall be five feet from a side lot line that separates the RD zone from another zone.
- There shall be a rear-yard setback of:
 - Not less than 15 feet, or
 - For houses with offset rear lot lines, not less than five feet, provided that the average rear yard setback is not less than 15 feet. Such reduced setbacks are allowed only when approved by the Planning Director and specified on a subdivision plat for not less than two back-to-back lots.
- There shall be a minimum 10 ft. separation between buildings.

PLAT FOR WHISPERING POINTE SUBDIVISION UNIT 2

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 27
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2001

SURVEYOR'S NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.

4. Basis of boundary are the following plats (and documents) of record entitled:

"TOWN OF ATRISCO GRANT" (12-05-44, D-118)

"POINTE WEST SUBDIVISION, UNIT 1" (03-04-96, 96C-97)

"V.E. BARRETT SUBDIVISION" (11-18-66, C6-143)

"WHISPERING POINTE SUBDIVISION UNIT 1" (12-03-01, 01C-313)

all being records of Bernalillo County, New Mexico.

5. Field Survey performed August, 1997.

6. Utility Council Location System Log No.: 97081315100463

7. Title Report: None provided.

8. This property is apparently affected by reservations, restrictions and agreements contained within easements, documents and memorandums as listed within the above mentioned Title Report.

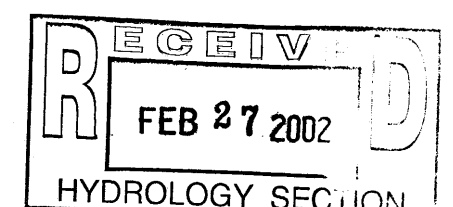
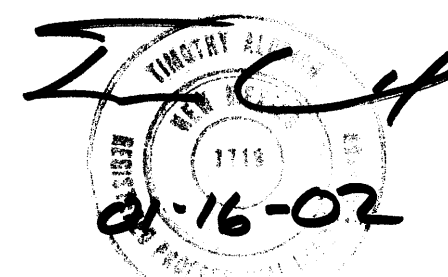
9. These tracts are affected by a RIGHT-OF-WAY EASEMENT to American Telephone and Telegraph Company, dated December 13, 1929, recorded in Book 112, Page 290, said easement amended by a MODIFICATION EASEMENT, dated January 31, 1973, recorded in Book Misc. 298, Page 635, said easement assigned to the Mountain States Telephone and Telegraph Company by ASSIGNMENT dated December 26, 1974, recorded in Book Misc. 575, Page 928 all being records of Bernalillo County, New Mexico.

10. The site must have a density of less than 9 du/acre per the Tower/Unser Sector Development Plan.

11. ▲ CENTERLINE MONUMENTATION Centerline (in lieu of R/W monumentation) to be installed at all centerline PC's, PT's, angle points, and street intersections as shown hereon, and will consist of a four inch (4") aluminum alloy cap stamped:

CITY OF ALBUQUERQUE
CENTERLINE MONUMENT
DO NOT DISTURB
PLS #7719

12. Unless shown otherwise all points are set 5/8" rebar with cap marked "ALS LS7719".



Dwg:	1113FPLT5	Drawn:	RDQ	Checked:	ALS	Sheet	5 of 5
Scale:	1" = 100'	Date:	12/17/01	Job:	A01113		

I, Gregory J. Krenik, NMPE 11929, of the firm Mark Goodwin & Associates hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design/intent of the approved plan dated 10/16/2002. The record information edited onto the original design document has been obtained by Timothy Aldrich, NMPS 7719, of the firm A&S, Inc. I further certify that I have personally visited the project site on 11/10/2002 and have determined by visual inspection that the survey data presented is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Release of Financial Guaranty.

Gregory J. Krenik

[illegible]

STREET

BLVD

6

4

III

POINTE ROAD SW

RIM=98.21

VISTA SANDIA
SUBDIVISION
UNIT 1

BLOCK 7
VISTA SANDIA
SUBDIVISION
UNIT 1

1000

9.48	89.02	88.56	88.11
8.44	88.09	87.74	87.41

.....

[illegible]

EUCARIZ ROAD SW
SOUTHWYND SUBDIVISION

3-P1

46-P1
45-P1
44-F

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V I C I N I T Y M A P ZONE MAP: L-10-Z

TRACTS 57, 58, 59, & 60. TOWN OF AIRISCO GRAN, UNIT 2.

1. SITE DOES NOT LIE IN A 100 YR. FLOOD PLAIN.
2. OFFSITE FLOWS DO NOT IMPACT THIS SITE.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
4. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
5. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
6. EROSION CONTROL BERMS ARE REQUIRED AROUND THE ENTIRE SITE.
7. ALL EROSION CONTROL BERMS MUST BE IN PLACE AND ENGINEER CERTIFIED PRIOR TO BUILDING PERMIT RELEASE.

SW

5

EXISTING RETAINING WALL
EXISTING MOUNTABLE CURB & GUTTER
EXISTING STANDARD CURB & GUTTER
PROPERTY LINE
NEW RETAINING WALL
NEW MOUNTABLE CURB & GUTTER
NEW STANDARD CURB & GUTTER
DRAINAGE BASIN BOUNDARY
UNIT BOUNDARY
NEW CONTOUR
EXISTING CONTOUR
NEW SPOT ELEVATION
~~AS-BUILT~~
~~NEW-FINISHED PAD ELEVATION~~
DRAINAGE FLOW ARROW
NEW DROP INLET
EXISTING SPOT ELEVATION
DRAINAGE BASIN

90

5088

+ 88.00

F.P. = 89.00

86.6 x

(II)

The diagram illustrates a cross-section of a road construction area. On the left, a vertical line is labeled 'PAD' and 'ION'. A 'CURB & GUTTER' is shown at the base. A dashed line indicates the 'FINISHED ROUGH GRADING'. A 'UNIT BOUNDARY' is marked with a vertical line and the letter 'R'. A 'TEMPORARY EROSION CONTROL BERM' is shown as a sloped area with a 3:1 ratio. The berm is topped with a 'COMPACT BERM TO 90% OF OPTIMUM.' The berm's height is 1'-0" and its width at the base is 6'-6".

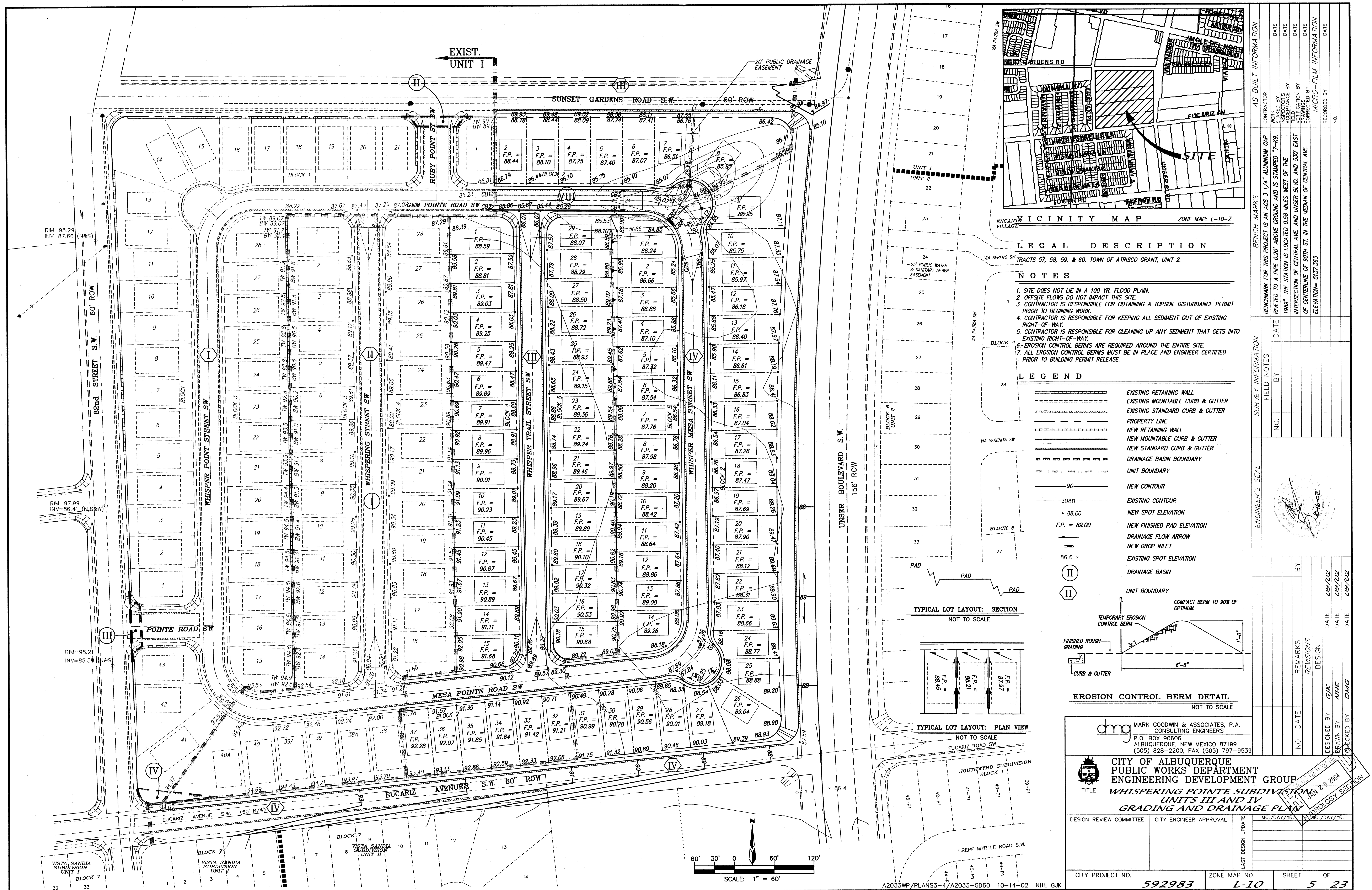
dmg MARK GOODWIN & ASSOCIATES, P.
CONSULTING ENGINEERS
P.O. BOX 90606

	(505) 828-2200; FAX (505) 797-9539				Z
	CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP				
TITLE:	WHISPERING POINTE SUBDIVISION UNITS III AND IV GRADING AND DRAINAGE PLAN				

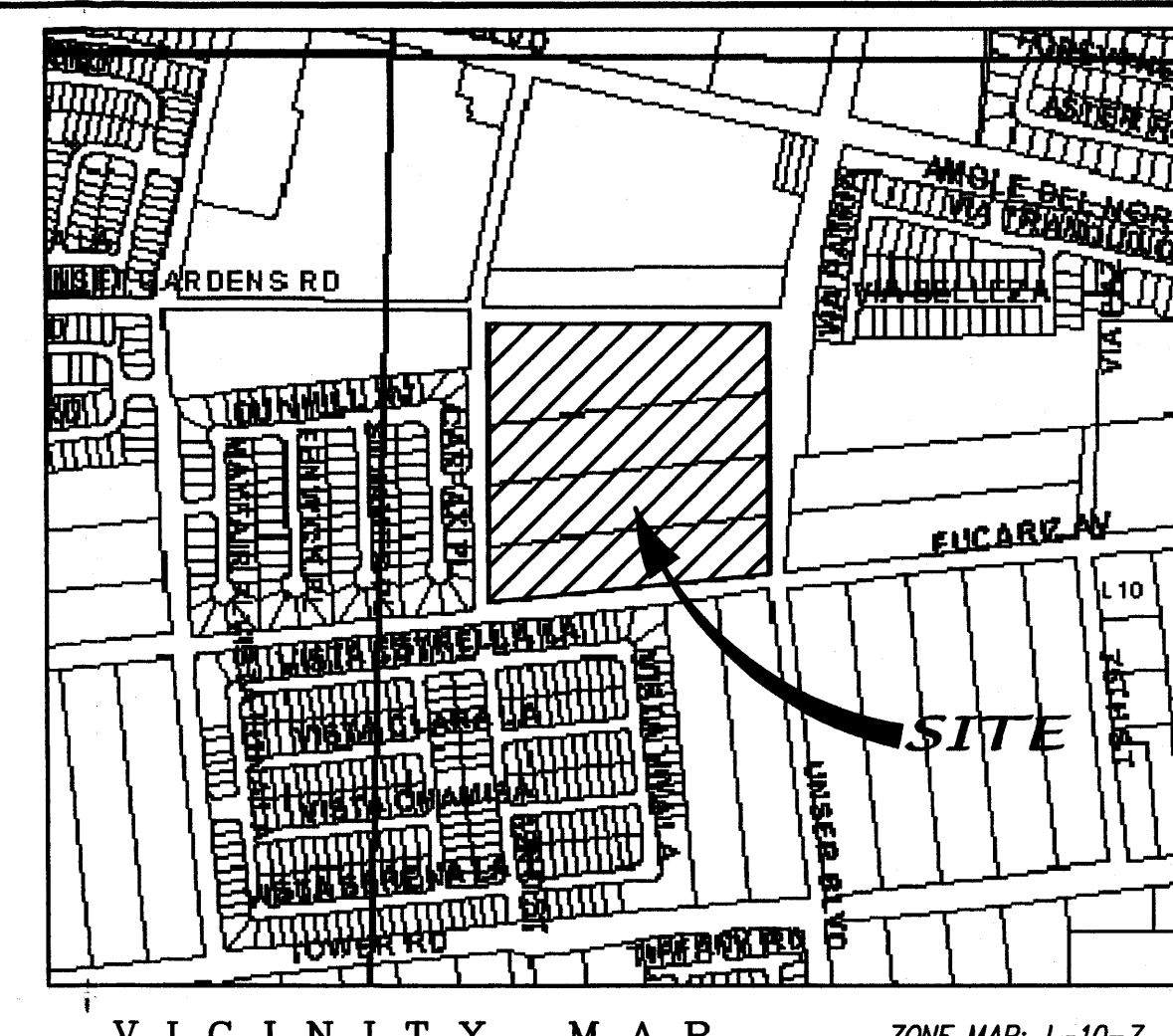
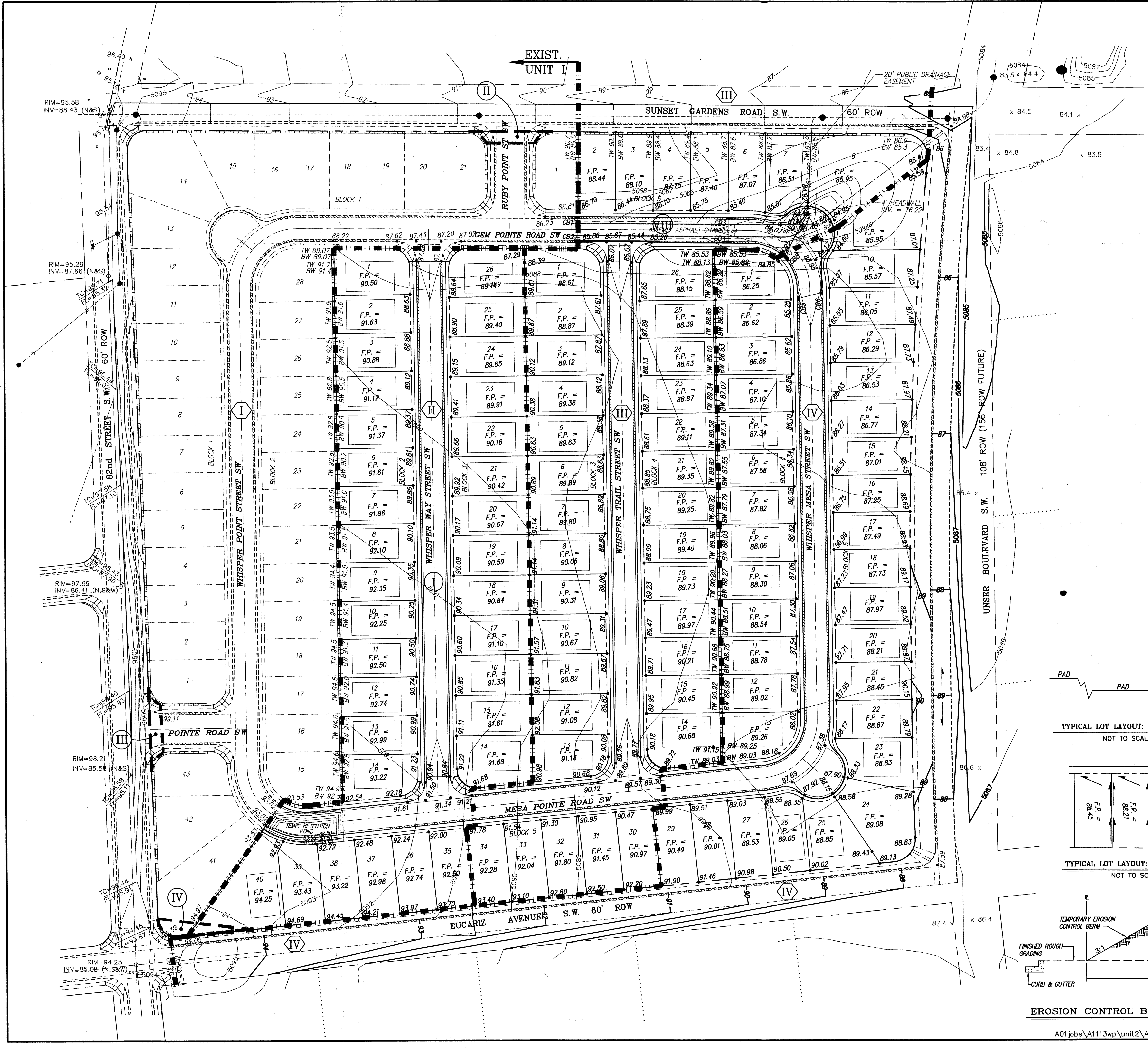
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CITY PROJECT NO.	ZONE MAP NO.	SHEET	
592983	L-10		

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MO. DAY YR. JAN 20 2004



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LEGAL DESCRIPTION

TRACTS 57, 58, 59, & 60, TOWN OF ATRISCO GRANT, UNIT 2.

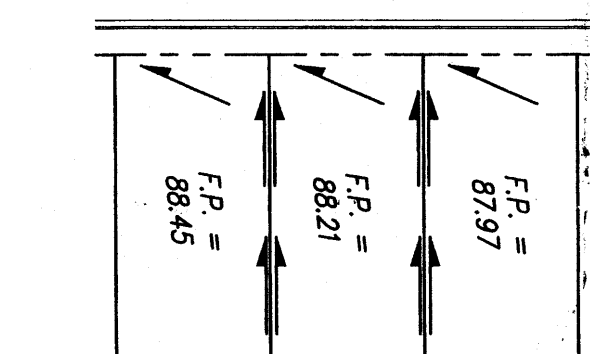
NOTES

1. SITE DOES NOT LIE IN A 100 YR. FLOOD PLAIN.
2. OFFSITE FLOWS DO NOT IMPACT THIS SITE.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
4. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
5. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
6. EROSION CONTROL BERMS ARE REQUIRED AROUND THE ENTIRE SITE.
7. ALL EROSION CONTROL BERMS MUST BE IN PLACE AND ENGINEER CERTIFIED PRIOR TO BUILDING PERMIT RELEASE.

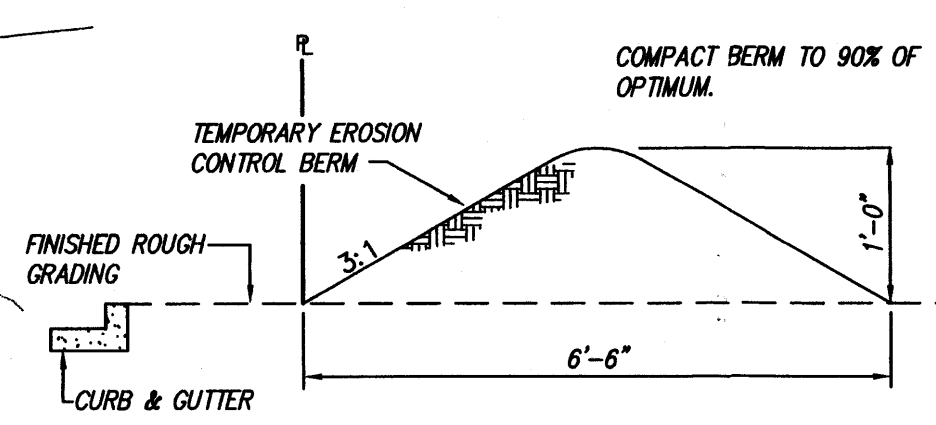
LEGEND

- EXISTING RETAINING WALL
- EXISTING MOUNTABLE CURB & GUTTER
- EXISTING STANDARD CURB & GUTTER
- PROPERTY LINE
- NEW RETAINING WALL
- NEW MOUNTABLE CURB & GUTTER
- NEW STANDARD CURB & GUTTER
- DRAINAGE BASIN BOUNDARY
- UNIT BOUNDARY
- NEW CONTOUR
- EXISTING CONTOUR
- NEW SPOT ELEVATION
- NEW FINISHED PAD ELEVATION
- DRAINAGE FLOW ARROW
- NEW DROP INLET
- EXISTING SPOT ELEVATION
- DRAINAGE BASIN
- UNIT BOUNDARY

TYPICAL LOT LAYOUT: SECTION
NOT TO SCALE



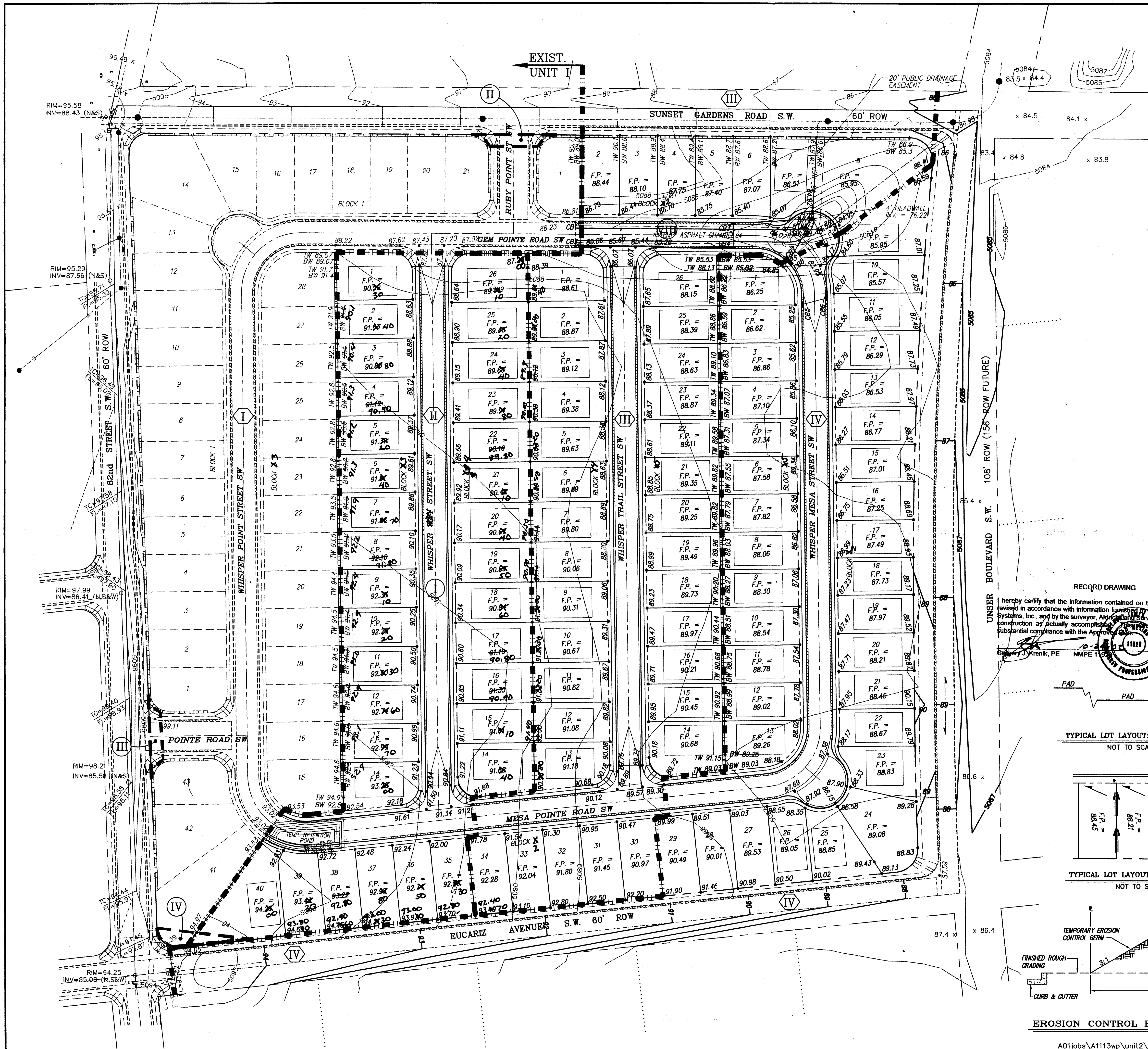
TYPICAL LOT LAYOUT: PLAN VIEW
NOT TO SCALE



EROSION CONTROL BERM DETAIL
NOT TO SCALE

A01jobs\A1113wp\unit2\A1113gd.dwg\12-11-01\DER

dmg MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505) 828-2200, FAX (505) 797-9539	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
TITLE: WHISPERING POINTE SUBDIVISION UNITS II, III AND IV GRADING AND DRAINAGE PLAN	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
LAST DESIGN UPDATE	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.
DESIGNED BY GJK	DATE 12/01
DRAWN BY STAFF	DATE 12/01
CHECKED BY DMG	DATE 12/01
SHEET 5 OF 13	



VICINITY MAP

LEGAL DESCRIPTION

TRACTS 57, 58, 59, & 60. TOWN OF ATRISCO GRANT, UNIT 2.

NOTES

1. SITE DOES NOT LIE IN A 100 YR. FLOOD PLAIN.
2. OFF-SITE FLOWS DO NOT IMPACT THIS SITE.
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LEGEND

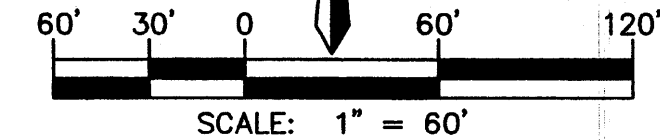
- EXISTING RETAINING WALL
- EXISTING MOUNTABLE CURB & GUTTER
- EXISTING STANDARD CURB & GUTTER
- PROPERTY LINE
- NEW RETAINING WALL
- NEW MOUNTABLE CURB & GUTTER
- NEW STANDARD CURB & GUTTER
- DRAINAGE BASIN BOUNDARY
- UNIT BOUNDARY
- NEW CONTOUR
- EXISTING CONTOUR
- ASBUILT SPOT ELEVATION
- ASBUILT FINISHED PAD ELEVATION
- DRAINAGE FLOW ARROW
- NEW DRAIN INLET
- EXISTING SPOT ELEVATION
- DRAINAGE BASIN
- UNIT BOUNDARY

RECORD DRAWING
I hereby certify that the information contained on this drawing has been revised in accordance with information furnished by the contractor, Hydro Systems, Inc., and by the surveyor, Alvin J. Krenik, PE, and reflects the construction as actually accomplished. This drawing is constructed in substantial compliance with the Approved Plans.

TYPICAL LOT LAYOUT: SECTION
NOT TO SCALE

TYPICAL LOT LAYOUT: PLAN VIEW
NOT TO SCALE

EROSION CONTROL BERM DETAIL
NOT TO SCALE



MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505) 828-2200, FAX (505) 797-9539	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
TITLE: WHISPERING POINT SUBDIVISION UNITS II, III AND IV GRADING AND DRAINAGE PLAN	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
LAST DESIGN UPDATE	MO./DAY/YR.
CITY PROJECT NO. 592982	
ZONE MAP NO. L-10	
SHEET 5 OF 13	