

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

March 27, 2024

J. David Hickman, R.A  
Jeebs & Zuzu, LLC  
5924 Anaheim Ave. NE  
Albuquerque, NM 87113

**Re: Daycare Norma Perez**  
**7901 Tiffany Dr. SW**  
**30-Day Temporary Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Architect's Stamp dated 07-28-23 (L10-D018A)  
Certification dated 03-22-24

Dear Mr. Hickman,

Based upon the information provided in your submittal received 03-25-24, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
- The ADA access aisles shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1. B NMSA 1978)

Once these corrections are complete, email pictures to [malnajira@cabq.gov](mailto:malnajira@cabq.gov) for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

Ma via: email

C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** Tenant Improvement **Building Permit #:** BP-2023-16593 **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** LOT 5 BLOCK 2 PLAT OF VALENCIA ESTATES SUBDIVISIONCONT .1760 AC

**City Address:** 7901 TIFFANY RD. SW, Albuquerque NM 87121

**Applicant:** Jeebs & Zuzu, LLC **Contact:** Ubaldo Muñoz

**Address:** 5924 Anaheim Ave. NE Suite A Albuquerque NM, 87113

**Phone#:** 505-797-1318 **Fax#:** \_\_\_\_\_ **E-mail:** ubaldo@jeebsandzuzu.com

**Owner:** Norma Perez **Contact:** Edgar Mata

**Address:** 7901 Tiffany Rd. SW Albuquerque NM, 87121

**Phone#:** 505-797-1318 **Fax#:** \_\_\_\_\_ **E-mail:** ubaldo@jeebsandzuzu.com

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_\_# OF LOTS) ☒ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL?: ☒ Yes \_\_\_\_\_ No

**DEPARTMENT:** ☒ TRAFFIC/ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 3-22-2024 **By:** Ubaldo Munoz

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



March 22, 2024

Ernest Armijo, PE  
Transportation Development  
Planning Department  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103


RE: Request for Certificate of Occupancy  
TCL  
Plan dated 4/11/2023

Dear Mr. Armijo,

Please find a completed request for final inspection of the Daycare at 7901 Tiffany Rd. SW Project. All work has been completed and owner is now ready to occupy the building. I have attached the approved TCL that shows work that was to be completed for the site and all is apparent to be per approved TCL.


I have attached with this letter the certification, the Approved TCL, and the Drainage and Transportation Information Sheet.

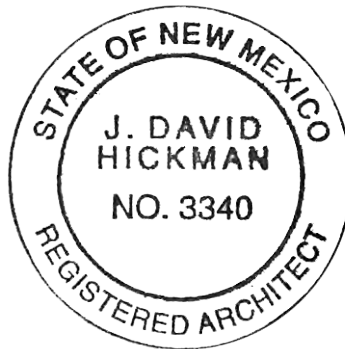
Please contact me if you have any questions or concerns.  
Thank you,

  
J. David Hickman,  
Architect

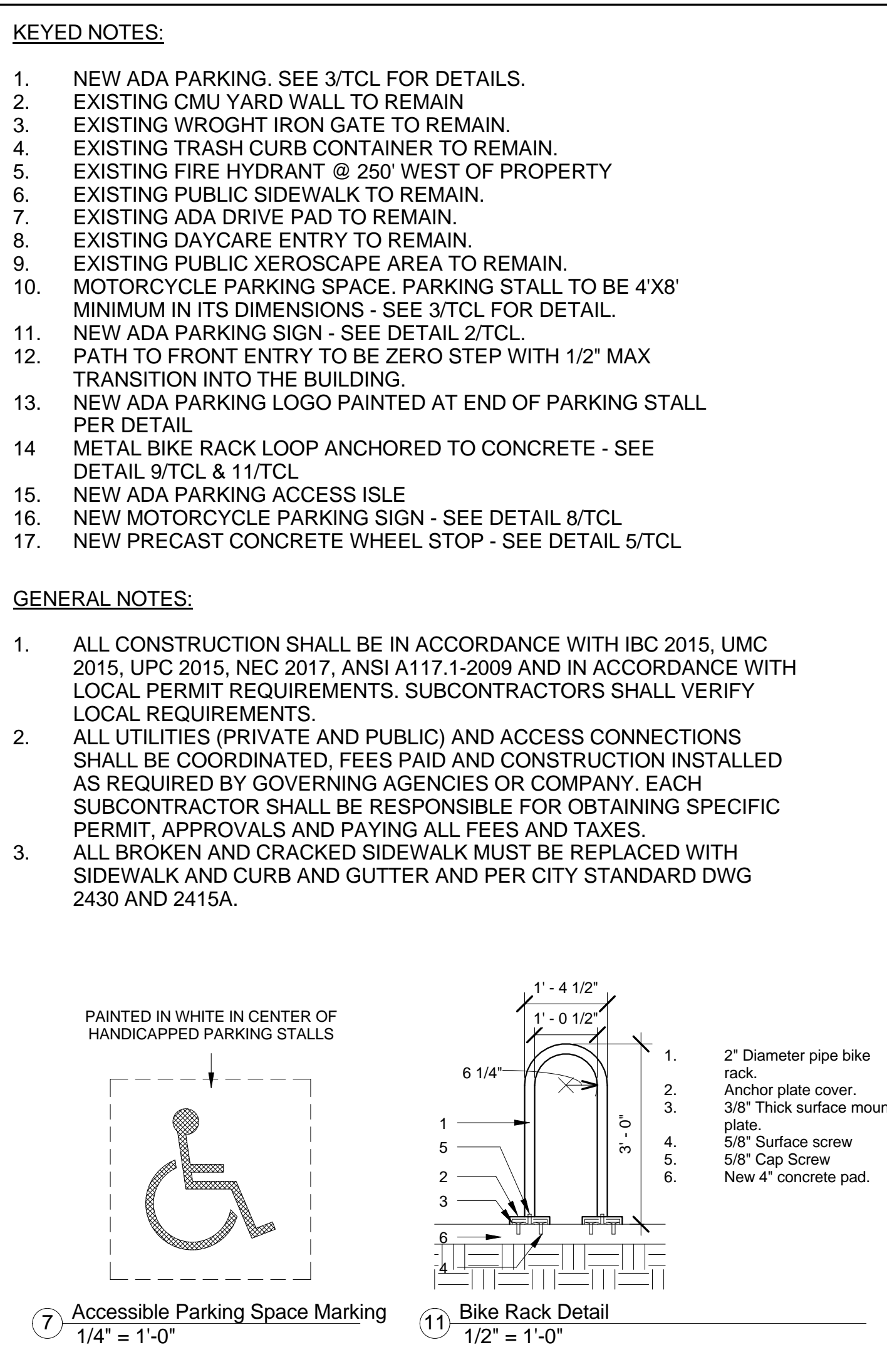
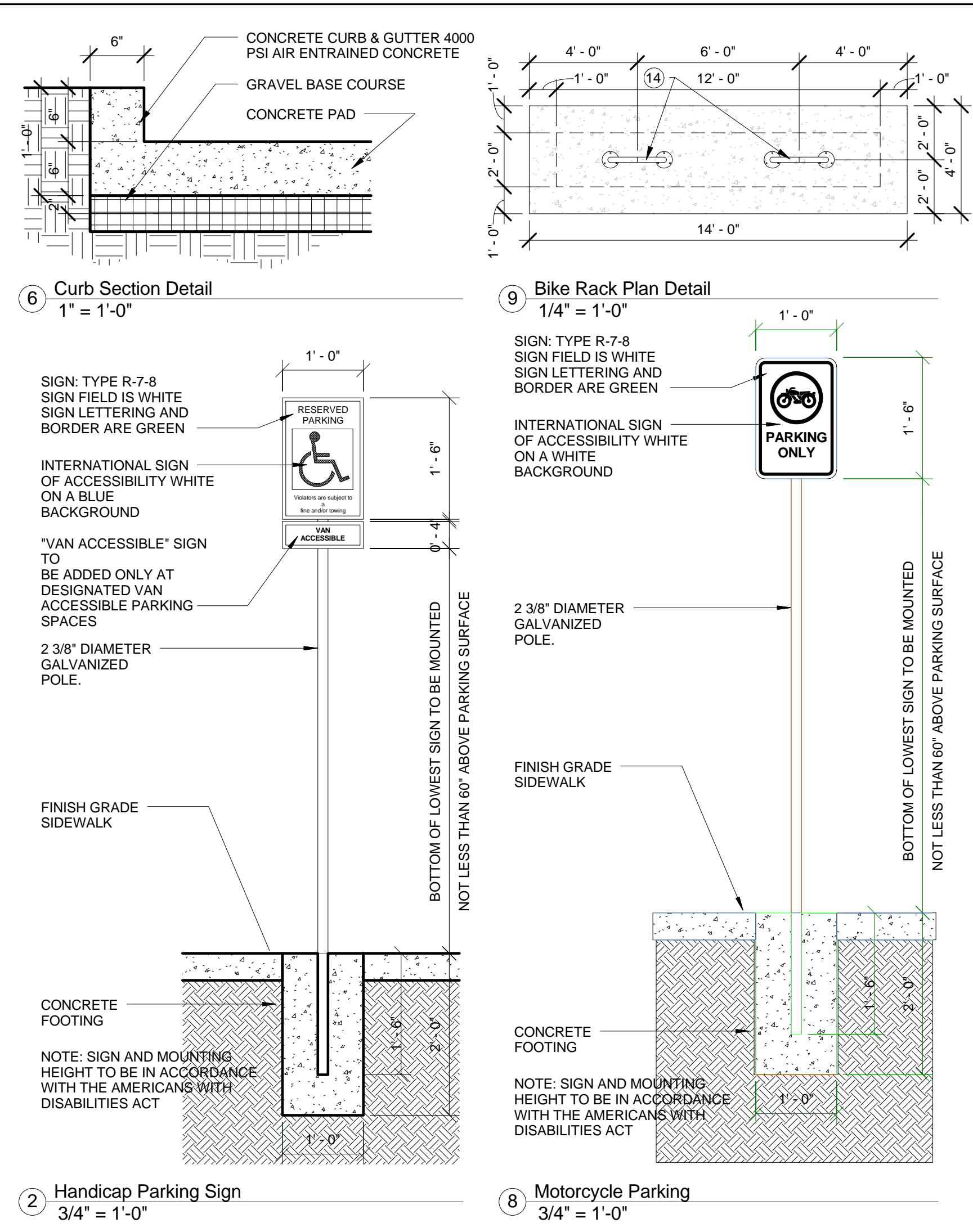


I, J. DAVID HICKMAN, A REGISTERED ARCHITECT IN THE STATE OF NEW MEXICO, OF THE FIRM JEEBS & ZUZU, LLC., HEREBY CERTIFY THAT THIS PROJECT, 7901 TIFFANY RD. SW, IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE TCL APPROVED PLAN DATED 4/11/2023. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON MARCH 20, 2024 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE ACTUAL SITE CONDITIONS IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATION OF OCCUPANCY.

  
\_\_\_\_\_  
J. David Hickman  
Architect

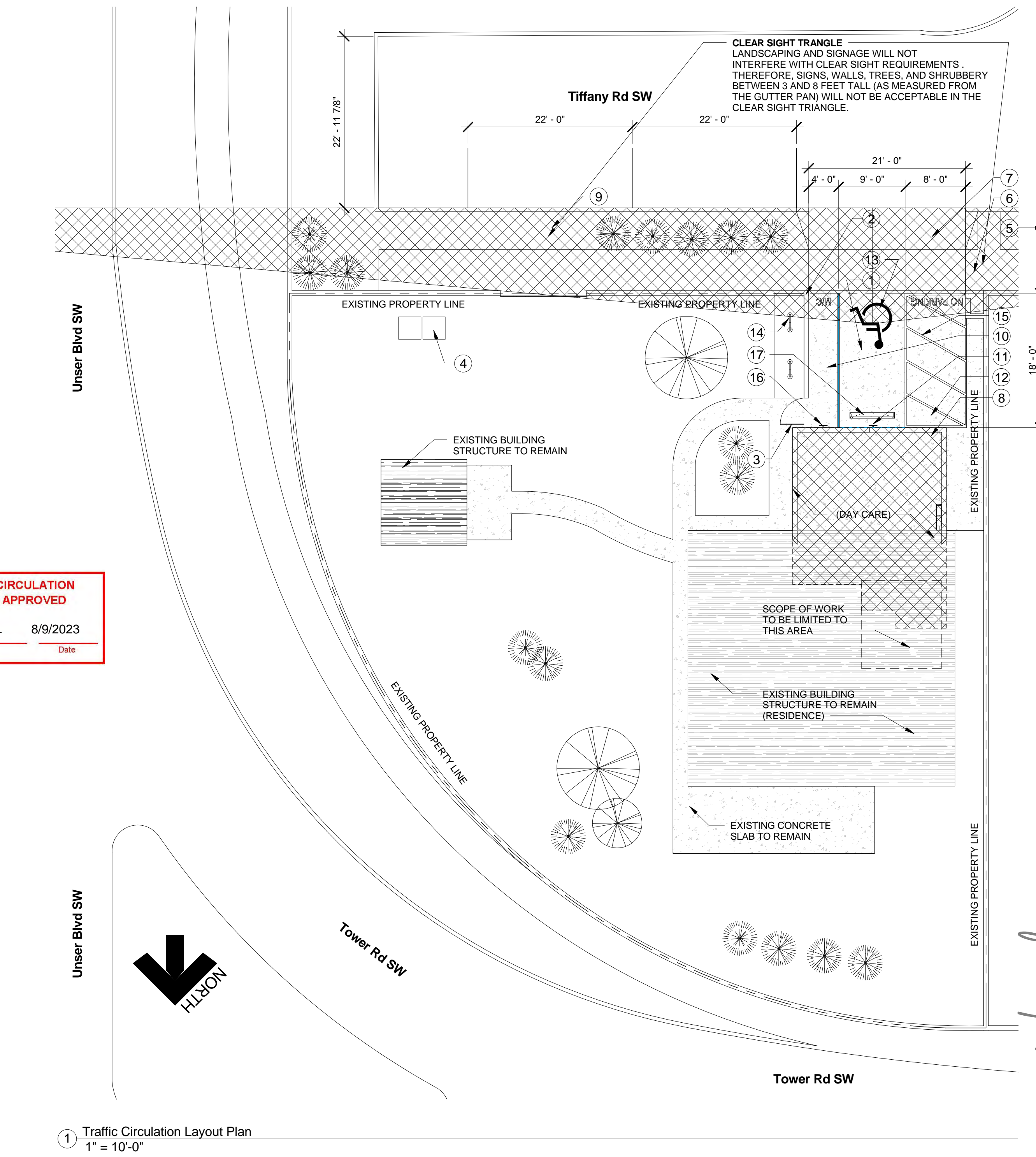
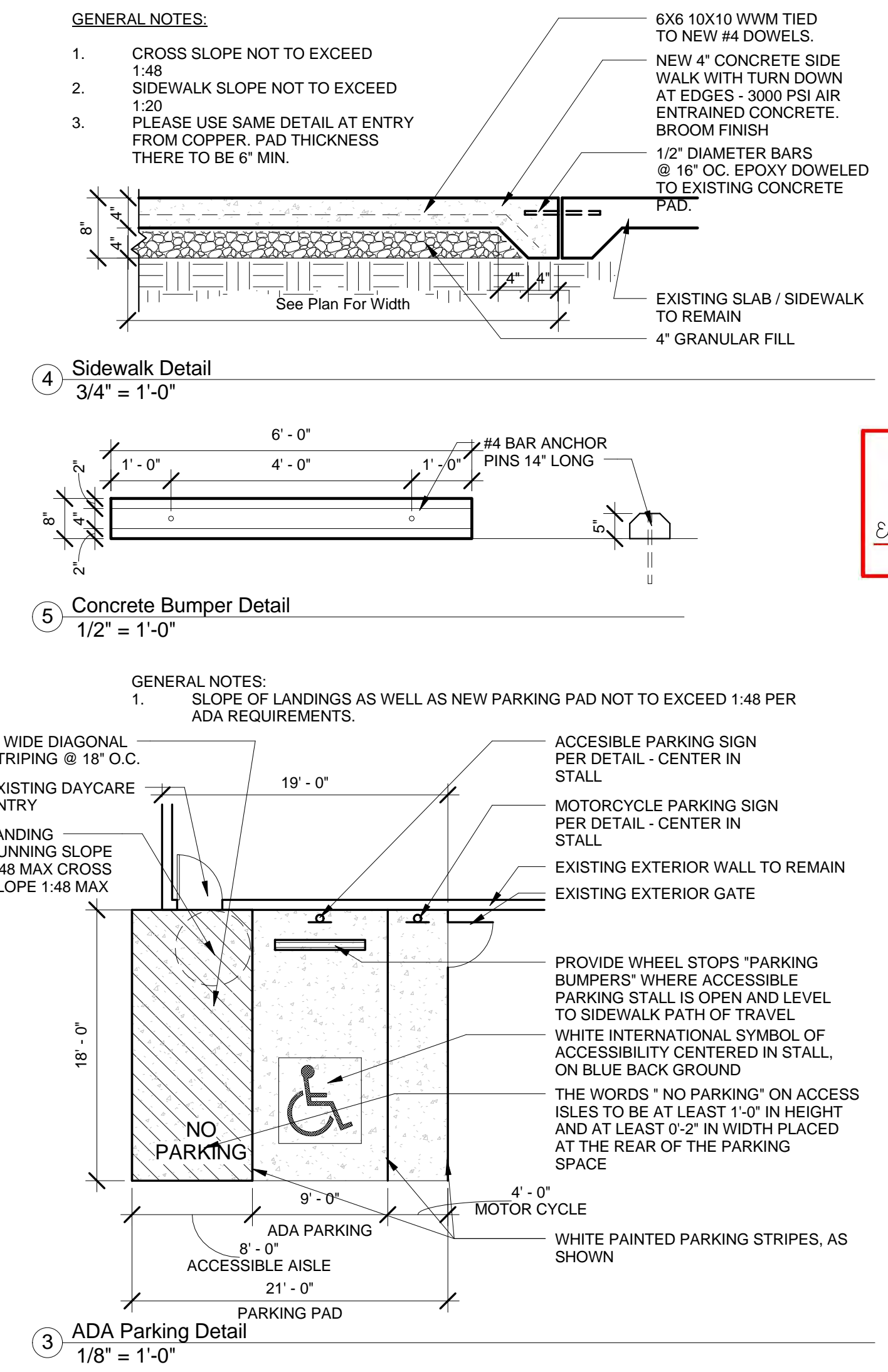
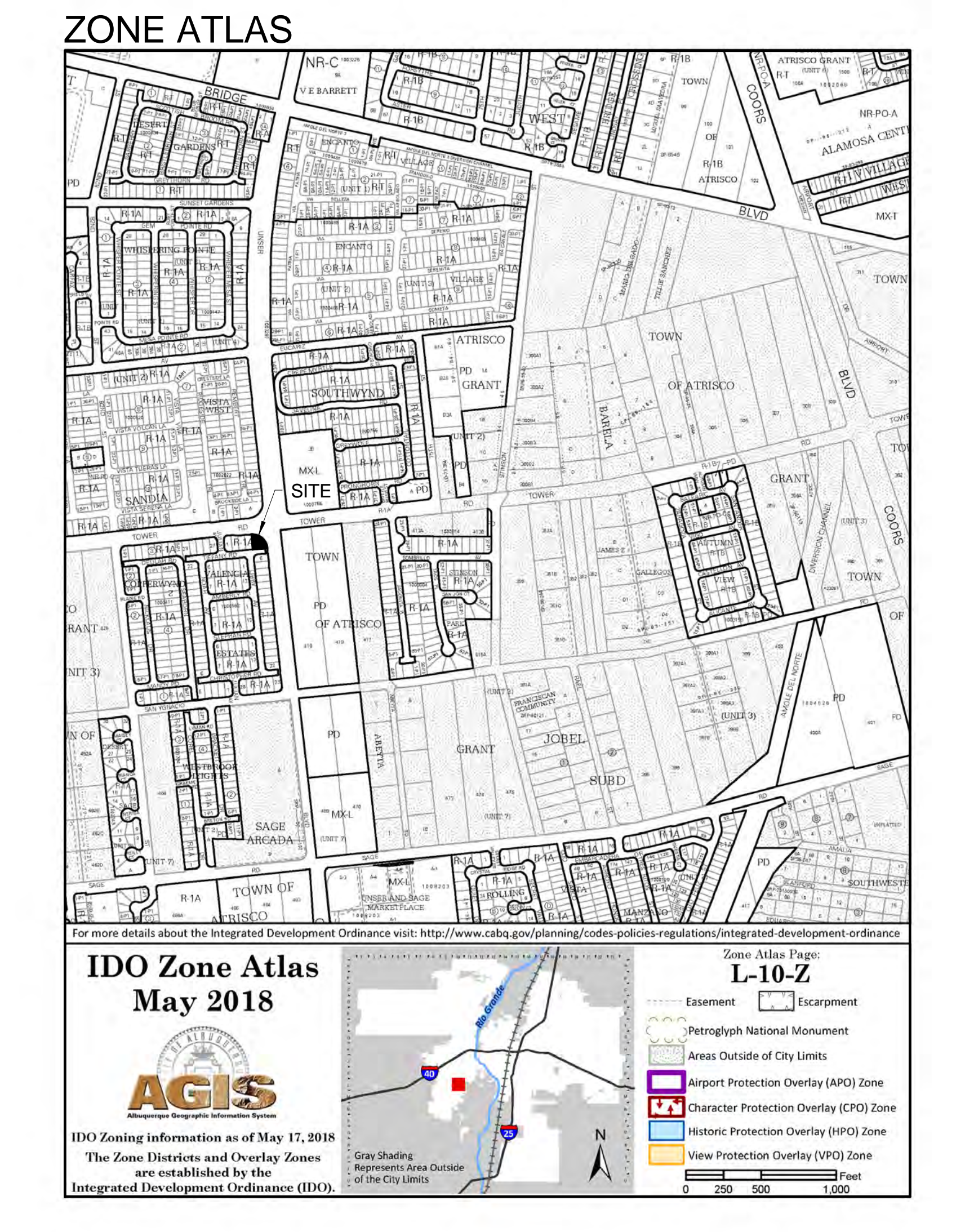


\_\_\_\_\_  
3-22-2024  
Date:



## DESIGN CRITERIA

A. ZONING DESIGN CRITERIA		PLUMBING FIXTURE COUNT:	
1. LEGAL DESCRIPTION.....	LOT 5 BLOCK 2 PLAT OF VALENCIA ESTATES SUBDIVISIONCONT .1760 AC	<b>CODE REQUIRED:</b>	
2. ZONING CLASSIFICATION.....	UPC: 101005612519431305 R - 1A	E OCCUPANCY: 11 OCCUPANTS	
3. PERMITTED AND ACTUAL USE.....	PRIVATE RESIDENCE	WATER CLOSET 1 PER 50 = 1 WATER CLOSET	
4. EXISTING OCCUPANCY.....	R-3	LAVATORIES 1 PER 50 = 1 LAVATORY	
5. FIRE PROTECTION.....	NON-SPRINKLED	PER IBC SECTION 2902.2 SEPARATE FACILITIES. EXCEPTION 2. SEPARATE FACILITIES SHALL NOT BE REQUIRED IN STRUCTURES OR TENANT SPACES WITH A TOTAL OCCUPANT LOAD, INCLUDING BOTH EMPLOYEES AND CUSTOMERS OF 15 OR FEWER.	
B. ARCHITECTURAL DESIGN CRITERIA		DRINKING FOUNTAIN:	
1. ACCESSORY OCCUPANCY GROUP.....	E	PER IBC SECTION 2902.6 SMALL OCCUPANCIES. DRINKING FOUNTAINS SHALL NOT BE REQUIRED FOR AN OCCUPANT LOAD OF 15 OR FEWER.	
2. CONSTRUCTION TYPE.....	5B	<b>PROVIDED:</b>	
3. FLOOR AREAS		WATER CLOSETS: = 1	
EXISTING RESIDENCE AREA.....	2,150 SF	LAVATORIES: = 1	
EXISTING DAYCARE AREA.....	384 SF	<b>PARKING CALCULATION:</b>	
REMODEL AREA.....	112 SF	1 SPACE REQ. PER 400 GROSS SF PER TABLE 5-5-1 OF IDO	
TOTAL DAYCARE AREA.....	496 SF	DAYCARE: 496 SF / 400 SF = 2 SPACES REQUIRED	
4. OCCUPANCY LOAD		ON STREET STANDARD SPACES PROVIDED = 1 SPACES	
DAY CARE 35 NET:	11 PEOPLE	NEW ADA PARKING SPACES PROVIDED = 1 SPACES	
384 SF / 35 NET	11 PEOPLE	= 2 SPACES PROVIDED	
TOTAL OCCUPANCY:	11 PEOPLE	MOTORCYCLE PARKING REQ. = 1 SPACE REQUIRED	
		MOTORCYCLE PARKING PROV. = 1 SPACE PROVIDED	
		BICYCLE PARKING PER IDO TABLE 5-5-5 = 3 SPACES REQUIRED	
		= 4 SPACES PROVIDED	



easy as pie

www.jeebsandzuzu.com

TRAFFIC CIRCULATION LAYOUT

Daycare Norma Perez

7901 TIFFANY RD. SW, Albuquerque NM 87121

sheet no:

TCL

JEEBS & ZUZU, LLC.

Architecture Construction Design-Build

5924 ANAHEIM AVENUE NE SUITE A ALBUQUERQUE, NM 87113 P: 505-797-1318

job no: Project Number

drawn: UM

checked: J&Z

date: April 11, 2023.

STATE OF NEW MEXICO

DAVID J. JEEBS

REGISTERED ARCHITECT

July 28, 2023