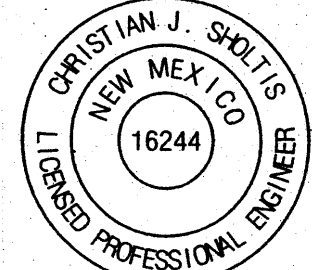


DRAINAGE CERTIFICATION
I, CHRISTIAN J. SHOLTS, NMPE 16244, OF THE FIRM BOHANNAN HUSTON, INC. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED JULY 31, 2003. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TIMOTHY ALDRICH, NMPS 7719, OF THE FIRM ALDRICH LAND SURVEYING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON JUNE 14, 2006, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR SIA/ FINANCIAL GUARANTY RELEASE.

EXCEPTIONS TO THE APPROVED PLAN ARE NOTED BELOW:
1) POSITIVE DRAINAGE ACROSS THE DRIVEWAYS FROM THE HIGH SIDE TO THE LOW SIDE OF ALL LOTS WILL BE REQUIRED AS PART OF HOME CONSTRUCTION.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Christian J. Sholts
CHRISTIAN J. SHOLTS, NMPE 16244
6-14-06
DATE



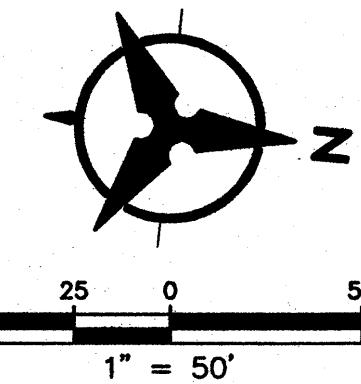
TEMPORARY RETENTION POND VOLUME - AS-BUILT

Elevation	Area ft ²	Avg Area ft ²	Increment Vol ft ³	Cum Vol ft ³	Cum Vol ac-ft
5073.9	0	0	0	0.0	0.00
5074	6371	3185.5	318.55	318.6	0.01
5075	7090	6730.5	6730.5	7049.1	0.16
5076	7800	7345	7345	14394.1	0.33
5077	8128	7864	7864	22258.1	0.51
5078	8686	8407	8407	30665.1	0.70
5079	9296	8991	8991	39656.1	0.91
5080	9888	9592	9592	49248.1	1.13
5081	10540	10214	10214	59462.1	1.37
5082	11204	10872	10872	70334.1	1.61
5083	11859	11531.5	11531.5	81865.6	1.86
5084.7	12351	12105	20578.5	102444.0	2.35

Required 100-year 24-hour volume = 2.2 ac-ft
ACTUAL = 2.35 AC-FT

LEGEND

5470	EXISTING CONTOUR
WALL DRAIN	
EXISTING ELEVATION	
SPOT ELEVATION	
CMU RETAINING WALL	
SWALE	
DIRECTION OF FLOW	
WATER BLOCK	
STORM DRAIN INLET	
UNIT BOUNDARY	



AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	CONTRACTOR	DATE	NO.	DATE		DESIGNED BY: NTL DRAWN BY: NTL CHECKED BY: RLH
INSPECTED BY	DATE	INSPECTED BY	DATE	BY	DATE		
APPROVED BY	DATE	APPROVED BY	DATE	REVISIONS	DATE		
COMMENTS	DATE	COMMENTS	DATE	REVISIONS	DATE		
MICRO-FILM INFORMATION		MICRO-FILM INFORMATION		MICRO-FILM INFORMATION		MICRO-FILM INFORMATION	
NO.	DATE	NO.	DATE	NO.	DATE	MICRO-FILM INFORMATION	

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

VISTA WEST SUBDIVISION
GRADING AND DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	COA #	Zone Map No.	Sheet 1 of 2

ROUGH GRADING (±0.5')
APPROVED FOR ROUGH GRADING DATE

BHI JOB NO. 030041

RECEIVED
JUN 14 2006
HYDROLOGY SECTION

TEMPORARY RETENTION POND VOLUME - AS-BUILT

Elevation	Area ft ²	Avg Area ft ²	Increment Vol ft ³	Cum Vol ft ³	Cum Vol ac-ft
5073.9	0	0	0	0.0	0.00
5074	6371	3185.5	318.55	318.6	0.01
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5077	8128	7864	7864	22258.1	0.51
5078	8686	8407	8407	30665.1	0.70
5079	9296	8991	8991	39656.1	0.91
5080	9888	9592	9592	49248.1	1.13
5081	10540	10214	10214	59462.1	1.37
5082	11204	10872	10872	70334.1	1.61
5083	11859	11531.5	11531.5	81865.6	1.88
5084.7	12351	12105	20576.5	102444.0	2.35

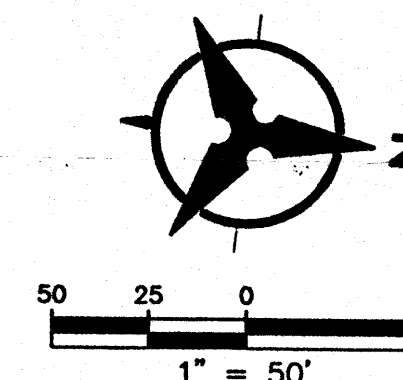
Required 100-year 24-hour volume = 2.2 ac-ft
 $V_{ACTUAL} = 2.35 \text{ AC-FT}$

GENERAL NOTES

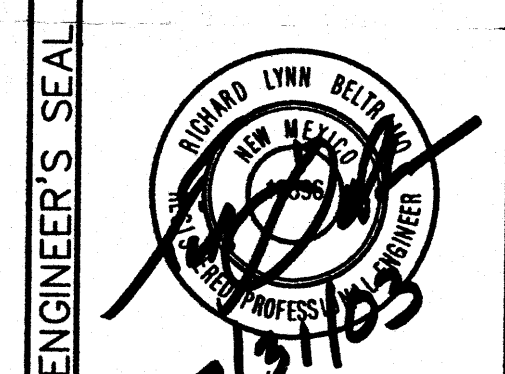
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT PREPARED BY VINYARD & ASSOC., DATED 05/05/03
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 2, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.
8. TRACT 'A' IS ENCUMBERED BY A TEMPORARY DETENTION POND AND PRIVATE DRAINAGE EASEMENT. SEE SHEET 2 FOR POND DETAIL.

LEGEND

54.70	EXISTING CONTOUR
→	WALL DRAIN
× 50.0	EXISTING ELEVATION
• 52.4	SPOT ELEVATION
—	CMU RETAINING WALL
—	SWALE
→	DIRECTION OF FLOW
—	WATER BLOCK
—	STORM DRAIN INLET
—	UNIT BOUNDARY



AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION	
CONTRACTOR	DATE	NO.	BY	NO.	BY
VINYARD & ASSOC.	05/05/03				
Geographic Position (NAD 1983)					
N.M. State Plane Coordinate (Central Zone)					
X = 362,077.14					
Y = 1,480,335.16					
ACQ = -007553"					
Ground to Grid Factor = 0.9998811					



REVISIONS	DESIGN	DATE	BY
1	DESIGN	07/31/03	NIL
2	DESIGN	07/31/03	NIL
3	DESIGN	07/31/03	NIL

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

VISTA WEST SUBDIVISION
GRADING AND DRAINAGE PLAN

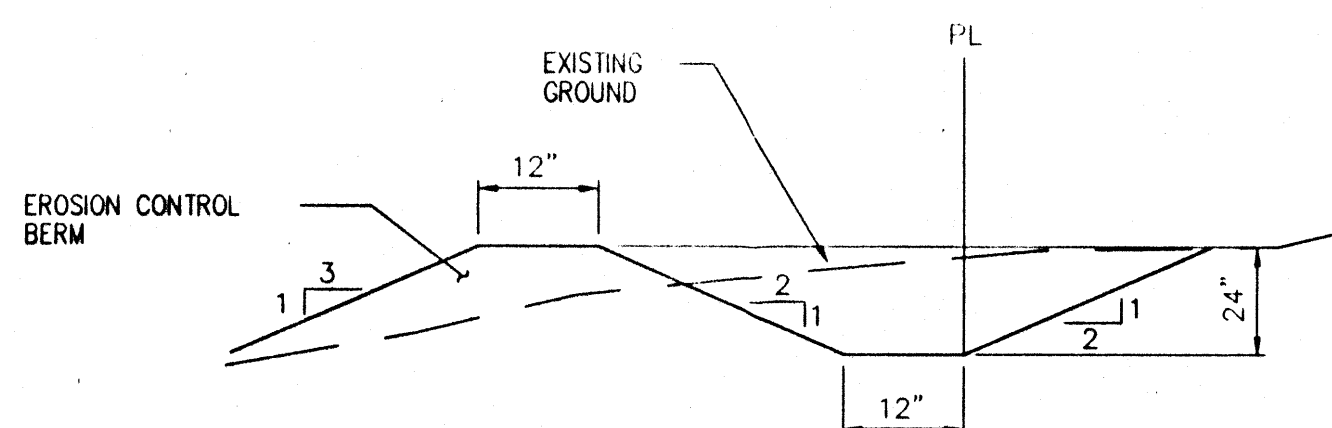
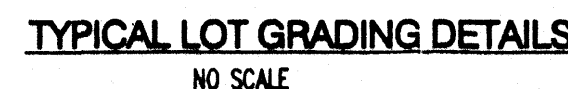
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	COA #	Zone Map No.	Sheet
		L-10	1 of 2

ROUGH GRADING (±0.5')
 APPROVED FOR ROUGH GRADING DATE

BHI JOB NO. 030041

JUN 14 2006
 HYDROLOGY SECTION

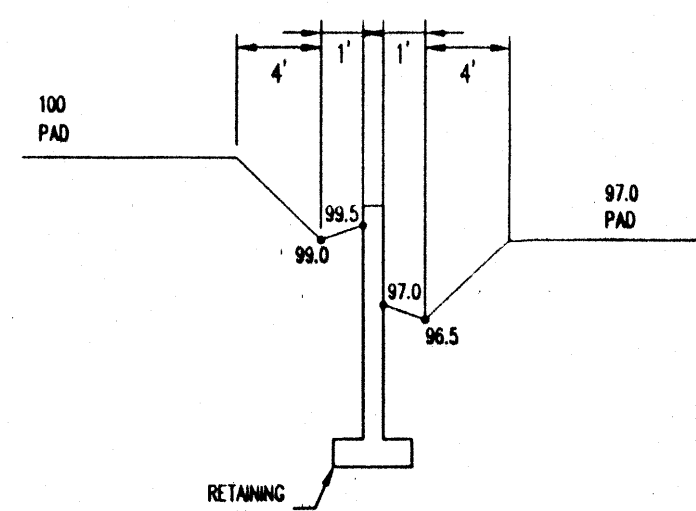
1. CONTRACTOR IS TO MASS GRADE ROADS TO 2' BEYOND FUTURE CURB. EXCESS FROM DRY UTILITY TRENCH IS TO BE USED TO BACK FILL BEHIND CURB.
2. FRONT YARD ARE TO BE GRADED AS SHOWN ON THIS DETAIL FOR FIN GRADING AND CERTIFICATION THIS DETAIL TO BE COORDINATED WITH.
3. HOME BUILDER TO BRING FRONT YARD TO ULTIMATE FRONT YARD GR. AFTER HOME CONSTRUCTION IS COMPLETED. SEE ULTIMATE FRONT YARD GRADING DETAIL ON THIS SHEET.



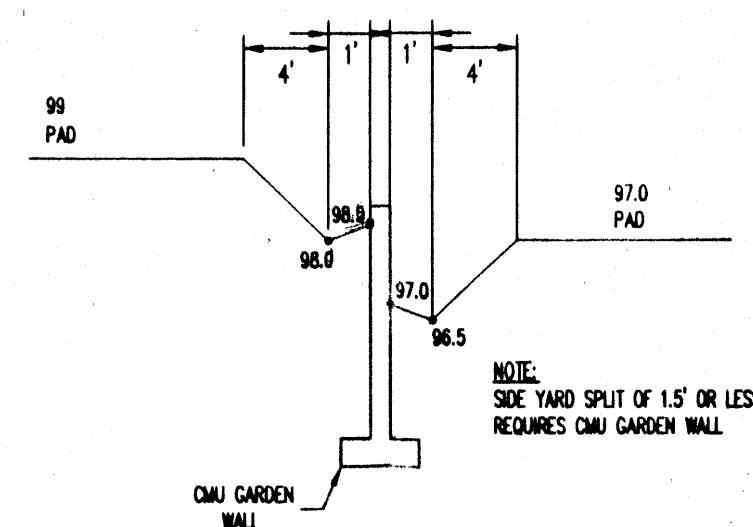
EROSION CONTROL BERM

1. TO PREVENT EROSION FROM THE SITE, DURING GRAZING & CONSTRUCTION OPERATIONS, A BERM OF THE ABOVE DIMENSIONS SHALL BE MAINTAINED ON THE WEST WEST BOUNDARY OF THE SITE.
2. WIND EROSION SHALL BE PREVENTED BY MAINTAINING AN ADEQUATELY MOISTENED SITE.
3. AFTER CONSTRUCTION ALL SURFACES WILL BE PAVED OR LANDSCAPED TO PREVENT EROSION.
4. CONTRACTOR MUST OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.

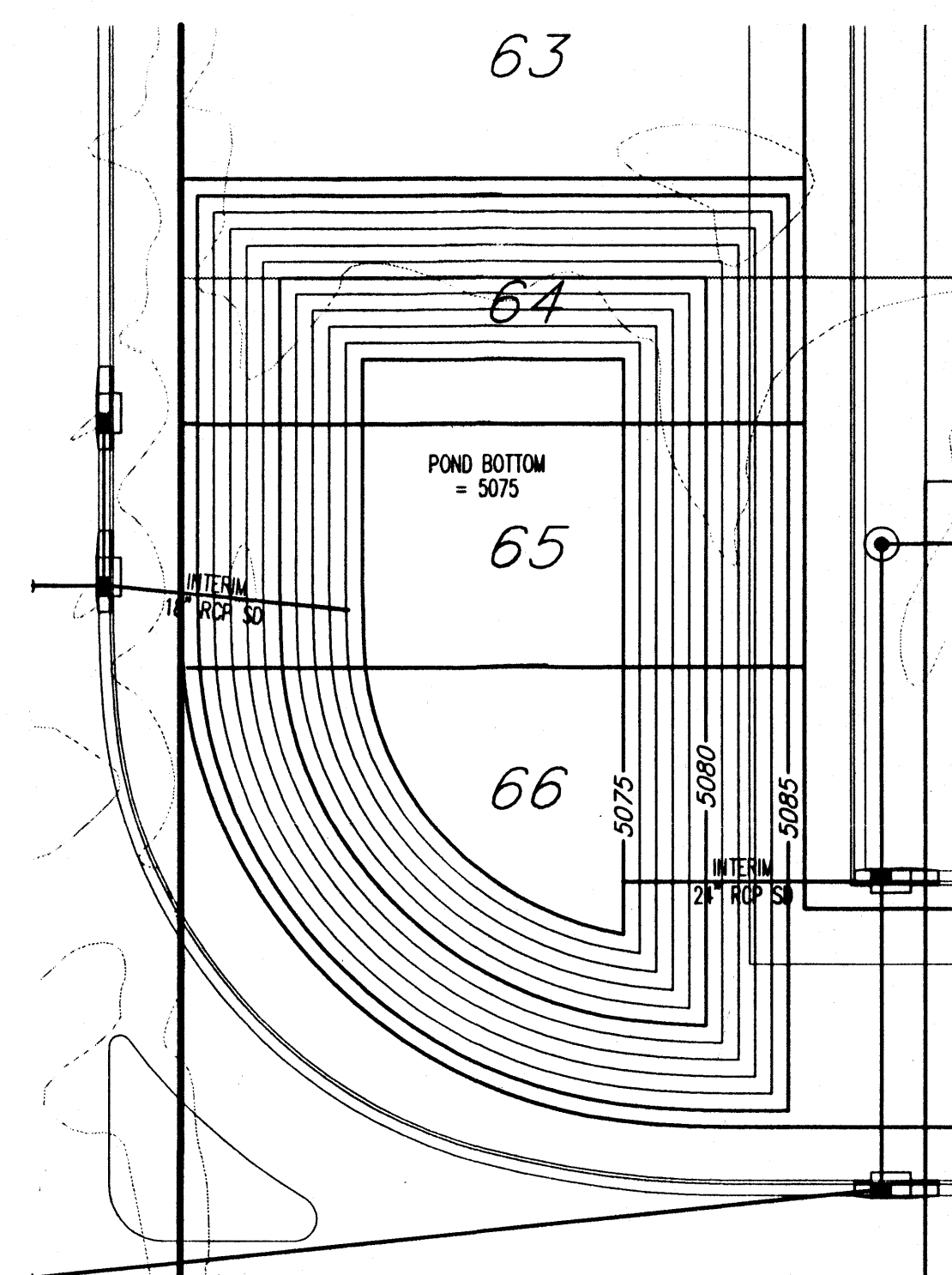
EROSION CONTROL PLAN
NO SCALE



SIDE YARD RETAINING WALL DETAIL
N.T.S.



SIDE YARD GARDEN WALL DETAIL
N.T.S.



TEMPORARY RETENTION POND DETAIL

TEMPORARY
RETENTION POND
Q = 49.0 cfs
Depth = 10 feet
Storage = 1.86 ac-ft
Free Board = 1.0'
Max Slope = 3:1

ROUGH GRADING	($\pm 0.5'$):
APPROVED FOR ROUGH GRADING	DATE

Bohannon ▲ Huston						Designed By: JSH	Drawn By: DTH
Court yard 7500 Jefferson St NE Albuquerque, NM 87106-4335						No.	Date
ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGIES							



CITY OF ALBUQUERQUE

PUBLIC WORKS DEPARTMENT

VISTA WEST SUBDIVISION

GRADING AND DRAINAGE

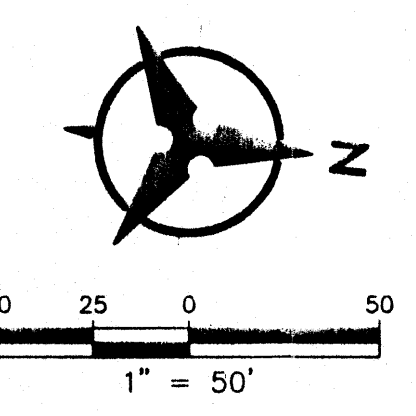
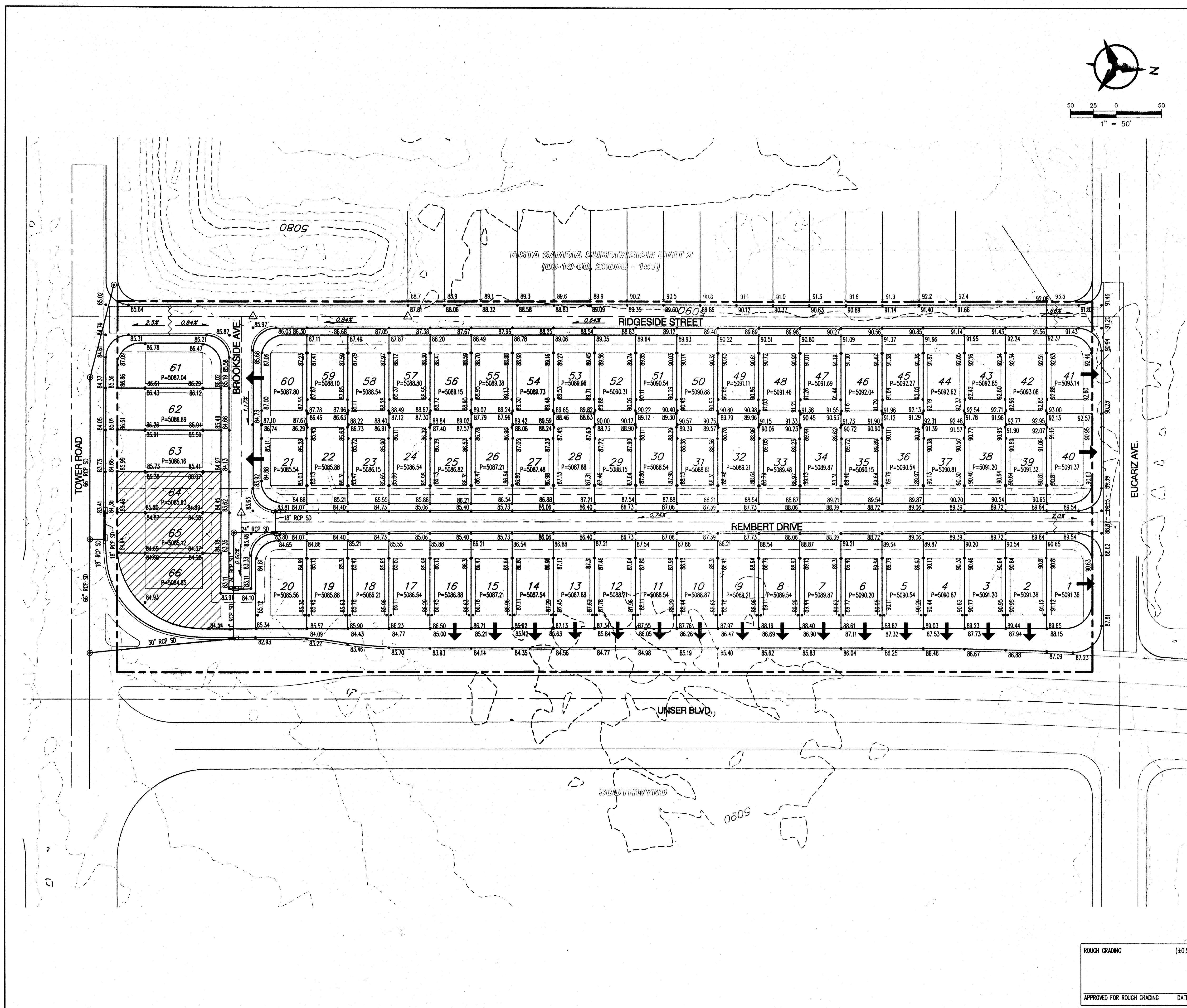
DETAILS

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
RECEIVED AUG 09 2002 HYDROLOGY SECTION				

City Project No. COA #
Zone Map No. L10
Sheet Of

2
2

[illegible]



- GENERAL NOTES**
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT PREPARED BY _____ DATED ____/____/____.
 3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET _____, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
 5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
 6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
 7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.
 8. LOTS 64-66 ARE ENCUMBERED BY A TEMPORARY PRIVATE POND. SEE SHEET 2 FOR POND DETAIL.

LEGEND

	EXISTING CONTOUR
	WALL DRAIN
	EXISTING ELEVATION
	SPOT ELEVATION
	CMU RETAINING WALL
	SWALE
	DIRECTION OF FLOW
	WATER BLOCK
	STORM DRAIN INLET
	UNIT BOUNDARY

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	CONTRACTOR	DATE	NO.	BY		REMARKS REVISIONS DESIGN
DESIGNED BY	DATE	DATE	DATE	DATE	DATE		
APPROVED BY	DATE	DATE	DATE	DATE	DATE		
MICRO-FILM INFORMATION		MICRO-FILM INFORMATION		MICRO-FILM INFORMATION		MICRO-FILM INFORMATION	
RECORDED BY	DATE	RECORDED BY	DATE	RECORDED BY	DATE	RECORDED BY	

No.	By	DATE
1	SJS	08/08/02
2	DTH	08/08/02
3	SJS	08/08/02

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CITY OF ALBUQUERQUE

PUBLIC WORKS DEPARTMENT

VISTA WEST SUBDIVISION

GRADING AND DRAINAGE PLAN

Design Review Committee

City Engineer Approved

August 8, 2002

HYDROLOGY SECTION

City Project No.

COA #

Zone Map No.

L-10

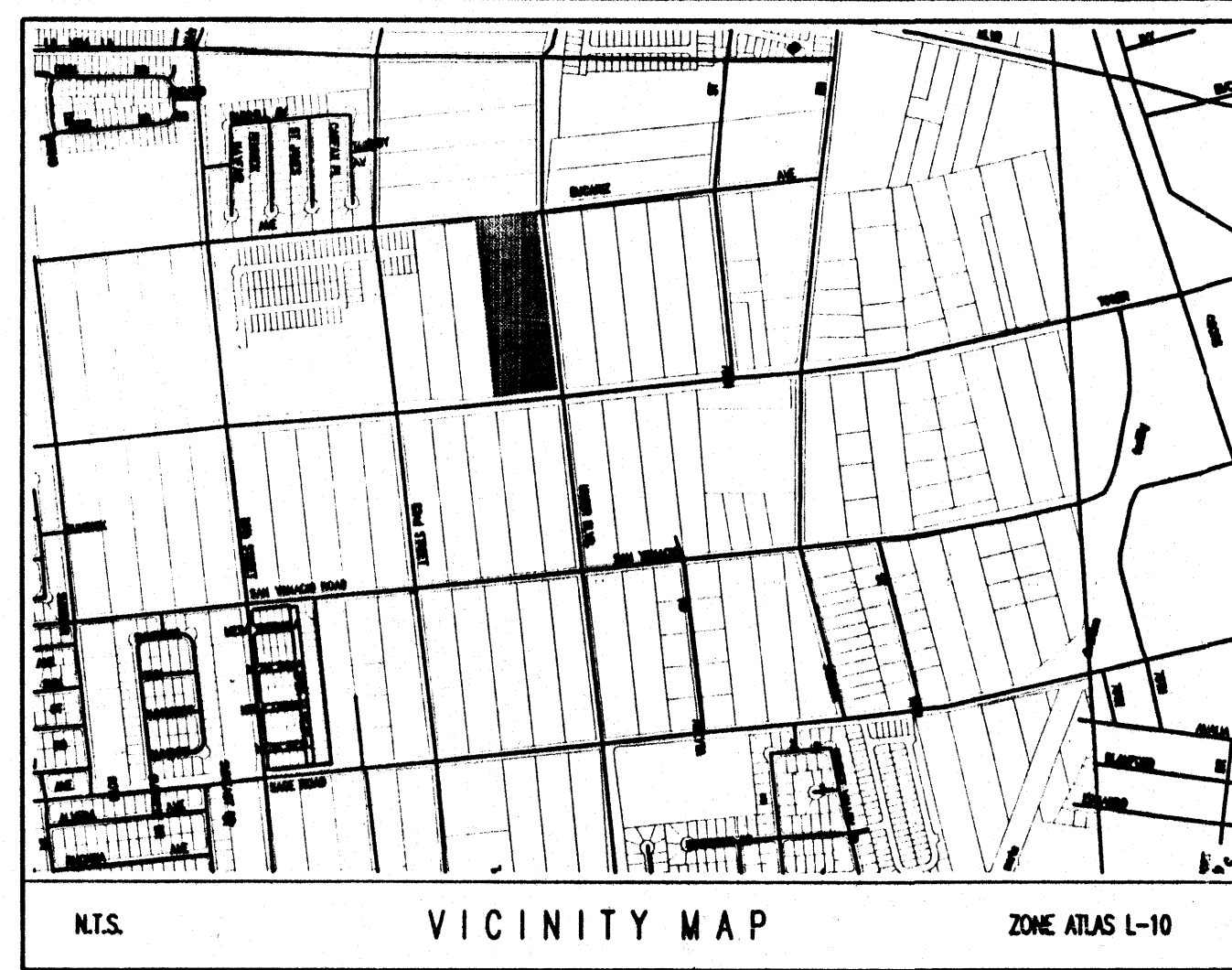
Sheet

1

Of

2

PRELIMINARY PLAT FOR
VISTA WEST SUBDIVISION
TRACTS 8&9
TOWN OF ATRISCO GRANT (UNIT 2)
ALBUQUERQUE, NEW MEXICO
AUGUST, 2002



SURVEY NOTES

1. ALL BOUNDARY CORNERS ARE MARKED AS SHOWN.
2. ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THUS (▲) WILL BE MARKED BY A FOUR (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION, DO NOT DISTURB, P.L.S. 6544"
3. THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
4. BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS.
5. DISTANCES SHALL BE GROUND DISTANCES.
6. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW THE USE OF CENTERLINE MONUMENTATION.
7. PROJECT BENCHMARK IS AN ACS 3 1/4" ALUMINUM CAP STAMPED "2-L10, 1989". STATION IS LOCATED IN THE SOUTHEAST QUADRANT OF THE COORS BLVD & BRIDGE BLVD INTERSECTION. CAP IS SET FLUSH IN THE TOP OF CURB IN THE NORTHWEST NOSE OF THE TRAFFIC ISLAND. ELEVATION = 5033.25 (NGVD 29).

APPROVED FOR MONUMENTATION AND STREET NAMES

J. B. B. 8/8/02
CITY SURVEYOR DATE

SITE DATA

ZONE ATLAS NO.	L-10-2
FEMA MAP NO.	35001C0328 D
ZONING	R-D 9 DU/AC
NO. OF EXISTING PARCELS	2
NO. OF LOTS CREATED	66
DENSITY	6.6 DU/AC

GENERAL NOTES

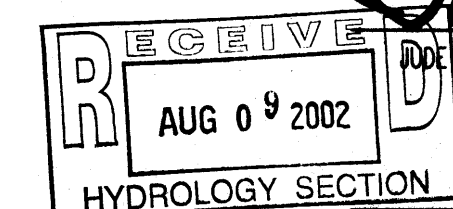
1. EXISTING ZONING: R-D 9 DU/AC
PROPOSED ZONING: NO CHANGE
PROPOSED DEVELOPMENT:
SINGLE FAMILY DETACHED RESIDENTIAL
2. PROPOSED NET ACREAGE 10 ACRES
NUMBER OF LOTS 66 D.U.
PROPOSED DENSITY 6.6 D.U./ACRE
3. MIN. LOT DIMENSIONS: 45'x85' MIN.
MINIMUM LOT AREA: 3825 SQ. FT.
4. ALL STREETS, UTILITIES, AND STORM DRAIN IMPROVEMENTS AREA TO BE PUBLIC, AND TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR MAINTENANCE.
5. LOT SETBACKS SHALL CONFORM TO R-D ZONING REQUIREMENTS
6. NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO EUCARIZ AVENUE, UNSER BLVD., OR TOWER ROAD.
7. ALL LOTS SHOWN WITH THE P1 DESIGNATION SHALL CONFORM TO INTERMITTENT PARKING DESIGN CRITERIA ITEM #1.

OWNER/DEVELOPER

JUDE BACA
3913 72ND STREET NW
ALBUQUERQUE, NEW MEXICO 87120
PHONE: (505) 831-2264

OWNER:

Jude Baca 08-08-02
JUDE BACA DATE



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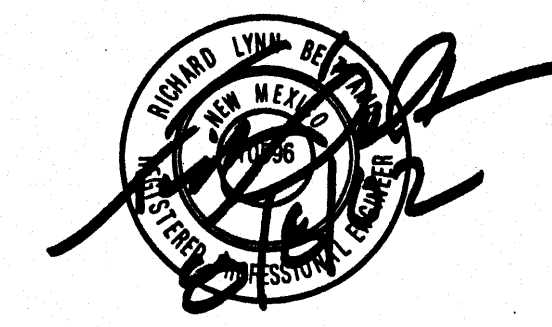
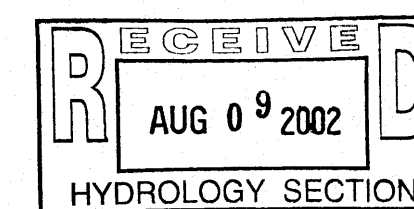
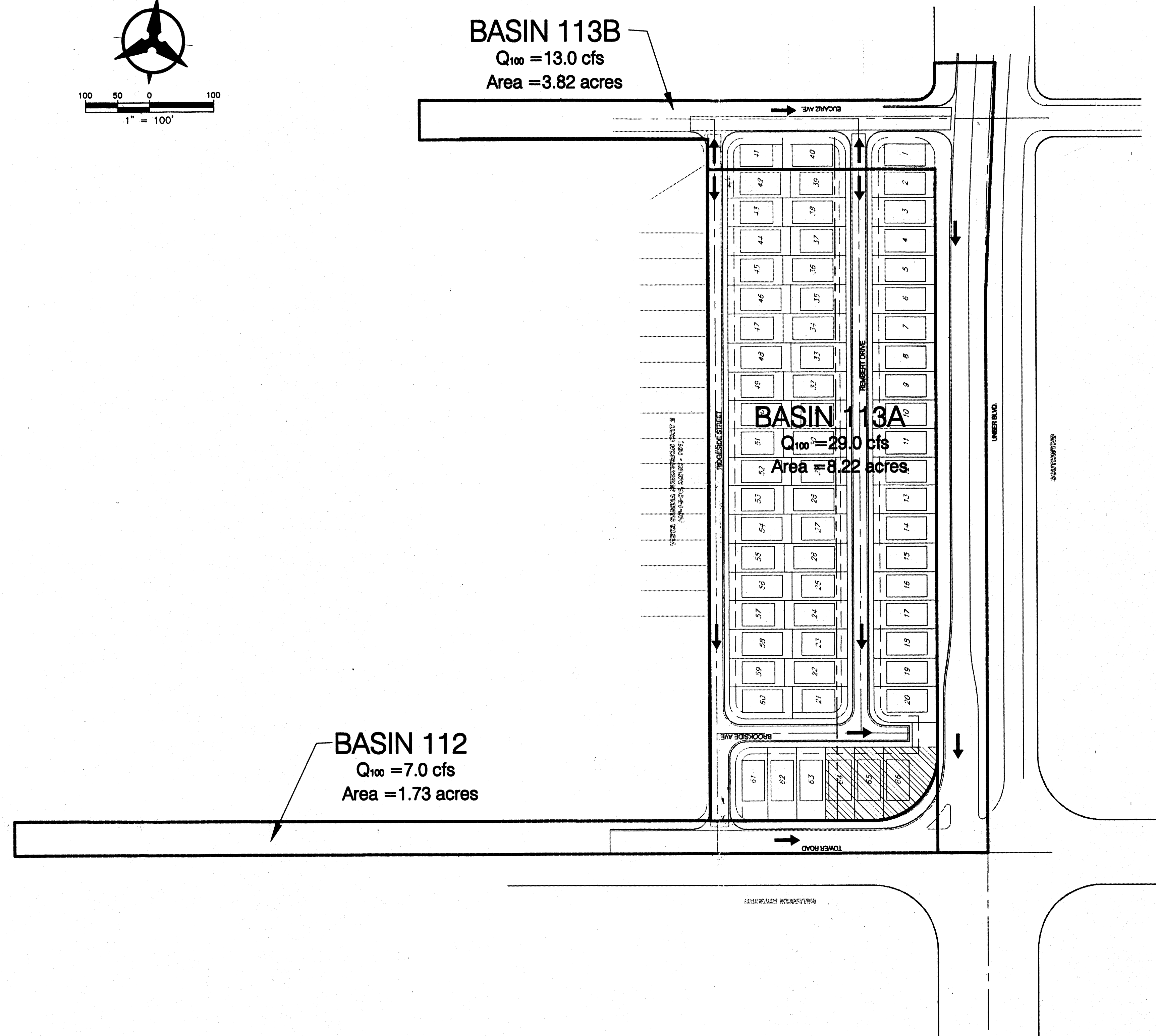
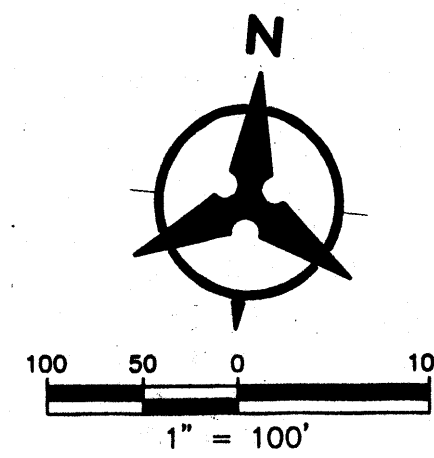
NGS Brass Tablet stamped "Radio 2 1979"
Geographic Position (NAD 1927)
N.M. State Plane Coordinates (Central Zone)
X = 360,609.79 Y = 1,479,147.45
ΔC = -00°16'03"

ACS 3 1/4" Aluminum Cap Stamped "2 - L10, 1989"
Geographic Position (NAD 1987)
N.M. State Plane Coordinates (Central Zone)
X = 362,077.14 Y = 1,480,535.16
ΔC = -00°15'53"
Ground to Grid Factor = 0.999811

BASIN MAP

VISTA WEST SUBDIVISION

AUGUST 2002



Bohannon & Huston

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