

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 18, 2025

Adil Rizvi
Design and Development Group LLC
8650 Alameda NE Suite 107 E
Albuquerque, NM, 87113

**RE: Desert Sage Surge Pond
8200 Reilly Ct. SW
Grading and Drainage Plan
Engineer's Stamp Date: 03/30/2025
Hydrology File: L10D024A
Case # HYDR-2025-00187**

Dear Mr. Rizvi:

PO Box 1293

Albuquerque

Based upon the information provided in your submittal received 05/21/2025, the Conceptual Grading & Drainage Plans are approved for action by the Development Facilitation Team (DFT) on Site Plan for Building Permit and for action by the Development Hearing Officer (DHO) for platting action.

PRIOR TO BUILDING PERMIT:

NM 87103

1. Please submit a more detailed Grading & Drainage Plan to Hydrology for review and approval.

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E., CFM
Senior Engineer, Hydrology
Planning Department, Development Review Services

CALCULATIONS: TRACT A, DESERT SAGE : DECEMBER 07, 2024

BASED ON CITY OF ALBUQUERQUE DPM, ARTICLE 6-2 HYDROLOGY DATED JUNE 26, 2020

100-YEAR, 6-HOUR CALCULATIONS

AREA OF SITE: 18,010.37 SF = 0.413 ACRE

EXISTING CONDITION FLOWS:

TREATMENT	SQUARE FEET	ACRE	
A =	0.00	0.00	0.00%
B =	0.00	0.00	0.00%
C =	18,010.37	0.413	100.00%
D =	0.00	0.00	0.00%
TOTAL AREA =	18,010.37	0.413	100.00%

PROPOSED CONDITION FLOWS:

TREATMENT	SQUARE FEET	ACRE	
A =	0.00	0.00	0.00%
B =	3,602.07	0.083	20.00%
C =	7,204.15	0.165	40.00%
D =	7,204.15	0.165	40.00%
TOTAL AREA =	18,010.37	0.413	100.00%

EXCESS PRECIP:

PRECIP. ZONE: 1

E_A = 0.55 E_B = 0.73 E_C = 0.95 E_D = 2.24

ON-SITE WEIGHTED EXCESS PRECIPITATION (100-YEAR, 6-HOUR STORM)

WEIGHTED E = $\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$

EXISTING E = 0.95 IN.

PROPOSED E = 1.42 IN.

ON-SITE VOLUME OF RUNOFF: V₃₆₀ = E'A / 12

EXISTING V₃₆₀ = 0.03 AC-FT

PROPOSED V₃₆₀ = 0.05 AC-FT = 2,178.0 CF

PRECIP. ZONE: 1

Q_{PA} = 1.54 Q_{AB} = 2.16 Q_{PC} = 2.87 Q_{AD} = 4.12

ON-SITE PEAK DISCHARGE RATE: Q_p = Q_{PA}A_A + Q_{PB}A_B + Q_{PC}A_C + Q_{PD}A_D

EXISTING Q_p = 1.19 CFS

PROPOSED Q_p = 1.33 CFS

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WWORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR SHALL CLEAN UP THE EXISTING STREET INTERSECTIONS AND DRIVEWAYS DAILY, AS NECESSARY, TO REMOVE ANY EXCESS MUD, SILT OR ROCK TRACKED FROM THE EXCAVATED AREA.
- CONTRACTOR SHALL FOLLOW GOOD HOUSEKEEPING PRACTICES DURING THE CONSTRUCTION OF THE PROJECT, ALWAYS CLEANING UP DIRT AND LOOSE MATERIAL AS CONSTRUCTION PROGRESSES.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

GENERAL CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL COORDINATE HIS CONSTRUCTION SCHEDULE WITH THE OWNER AND ARCHITECT PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY ALL GOVERNING AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY NEW MEXICO ONE CALL, DAIL "811" OR (505) 260-1990) 48 HOURS PRIOR TO EXCAVATION NEAR ANY EXISTING UTILITIES.
- CONTRACTOR SHALL ADEQUATELY PROTECT EXISTING STRUCTURES, UTILITIES, TREES, SHRUBS AND OTHER PERMANENT OBJECTS.
- CONTRACTOR SHALL UNCOVER EXISTING AT ALL PROPOSED "POINTS OF CROSSING" TO DETERMINE IF CONFLICT EXISTS BEFORE COMMENCING ANY CONSTRUCTION. NOTIFY THE ENGINEER OF RECORD AT ONCE OF ANY CONFLICTS. THE CONTRACTOR SHALL NOT MAKE ANY FIELD MODIFICATIONS WITHOUT THE PRIOR APPROVAL OF THE ENGINEER OF RECORD. THIS APPROVAL MUST BE OBTAINED BEFORE RESUMING ANY CONSTRUCTION IN THE AFFECTED AREA.
- ALL CLEARING, GRUBBING, STRIPPING, EXCAVATION, FILL, COMPACTION, PAVEMENT AND SUBGRADE PREPARATION SHALL BE IN ACCORDANCE WITH GEOTECHNICAL REPORT.
- CONTRACTOR SHALL NOTIFY UTILITY COMPANIES TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY LINES. ALL EXISTING UTILITIES PRESENTED ON THESE DRAWINGS ARE SHOWN AT THE APPROXIMATE LOCATIONS BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL FIELD DETERMINE THE EXACT LOCATIONS PRIOR TO COMMENCING CONSTRUCTION. HE SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND MAINTAIN THESES UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER SUCH THAT TRUCKS AND OTHER VEHICLES DO NOT CREATE A DIRT NUISANCE OR SAFETY HAZARD IN ANY STREETS, PUBLIC OR PRIVATE. CLEAN UP OF STREETS SHALL BE DONE DAILY.
- PLACE BACKFILL AS PROMPTLY AND AS PRACTICAL AFTER COMPLETION OF EACH STORM STRUCTURE OR PORTION OF A STRUCTURE. DO NOT PLACE BACKFILL AGAINST CONCRETE WALLS OR STORM STRUCTURES OR SIMILAR STORM STRUCTURES UNTIL CONCRETE HAS CURED AT LEAST SEVEN (7) DAYS.
- NO EXCAVATIONS SHALL BE LEFT OPEN OVERNIGHT. ALL EXCAVATIONS WHICH CANNOT BE BACK FILLED OVERNIGHT FOR THE INSTALLATION OF MANHOLES AND OTHER UTILITIES SHALL BE COVERED WITH STEEL PLATES, WHEN IN PAVED AREAS, 3/4" PLYWOOD, WOOD PLANKING OR SOME OTHER MATERIAL APPROVED BY THE OWNER IN OTHER AREAS.
- EXISTING PAVEMENTS, CURBS, SIDEWALKS, DRIVEWAYS AND LANDSCAPING DAMAGED OR REMOVED DURING CONSTRUCTION BY THE CONTRACTOR SHALL BE REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THE SATISFACTION OF THE OWNING AUTHORITY. CONTRACTOR IS RESPONSIBLE FOR DEVELOPING, IMPLEMENTING AND ADHERING TO THE CONTRACTOR DEVELOPED EROSION PREVENTION PLAN. CONTRACTOR SHALL PREPARE ALL NOTICE OF INTENT FORMS FOR THE WORK AND OBTAIN THE NECESSARY CERTIFICATES AND SIGNATURES FROM THE OWNER, APPLICABLE SUBCONTRACTORS AND OTHERS AS REQUIRED.
- CONDITION OF THE FACILITIES, UPON COMPLETION OF JOB, SHALL BE AS GOOD OR BETTER THAN THE CONDITION PRIOR TO STARTING WORK. THE CONTRACTOR SHALL RESTORE ALL GRADES AND LANDSCAPING TO PRE CONSTRUCTION CONDITIONS AND REESTABLISH TURF AREAS DAMAGED BY THE CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL REMOVE ALL TRASH, EXCESS MATERIAL, DEBRIS, ETC. FROM THE SITE UPON COMPLETION OF THE PROJECT PRIOR TO INSPECTION AND APPROVAL BY THE APPROVING AGENCIES.
- CONTRACTOR IS RESPONSIBLE FOR HIS OWN HORIZONTAL AND VERTICAL CONTROL. REFERENCE POINTS AND CONSTRUCTION STAKING IS INCIDENTAL TO THE PROJECT.
- IRON RODS DISTURBED DURING CONSTRUCTION ARE TO BE REPLACED BY A REGISTERED PUBLIC LAND SURVEYOR AT NO SEPARATE PAY.

LEGEND

- GATE VALVE (G.V.)
- FIRE HYDRANT
- INLET
- MANHOLE
- UTILITY EASEMENT
- POLYVINYLCHLORIDE PIPE
- REINFORCED CONCRETE PIPE
- FIRE LINE DOUBLE CHECK
- EXIST. WATERLINE
- PROP. WATERLINE C-900 DR 18
- EXIST. SANITARY SEWER
- PROP. SANITARY SEWER SDR 26
- EXIST. GAS
- EXIST. STORM
- PROP. STORM
- PROPERTY LINE
- UTILITY EASEMENT
- CONCRETE SIDEWALK
- EXIST. SPOT ELEVATION
- PROPOSED FINISHED GRADE ELEVATION
- PROPOSED SWALE

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY
NOTICE TO CONTRACTOR
(SPECIAL ORDER 19 ~"SO-19")

- BUILD SIDEWALK CULVERT PER COA STD DWG 2236.
- CONTACT STORM MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
- ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
- CONTRACTOR MUST CONTACT STORM MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATION AND BARRIADON INSPECTIONS, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.

BENCHMARK:

ACS MONUMENT "24_L9"
NM STATE PLANE COORDINATES (CENTRAL ZONE)
PUBLISHED DATA IN NAD 1983
N = 1476602.813 FT.
E = 1496841.495 FT.
DELTA ALPHA = -0°16'32.09"
GROUND TO GRID FACTOR = 0.999683755
PUBLISHED DATA IN NAVD 1988
ELEVATION = 5096.672 FT.

FLOODPLAIN INFORMATION:

BY GRAPHIC PLOTTING ONLY, THE SUBJECT PROPERTY LIES WITHIN ZONE "X", AREAS DETERMINED TO BE INSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 35001C0336H DATED AUGUST 16, 2012.

LEGAL DESCRIPTION:

TRACT A, DESERT SAGE SUBDIVISION, CONTAINING 0.413 AC. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

EXISTING CONDITON:

THIS SITE WAS DEVELOPED AS A SURGE POND ON TRACT A WITH THE DEVELOPMENT OF DESERT SAGE SUBDIVISION, DATED 7/31/2003.

PROPOSED CONDITON:

WITH THE CONNECTION OF THE DOWNSTREAM PUBLIC STORM SEWER ON SAGE ROAD, THE SURGE POND IS NO LONGER NEEDED. THIS SITE WILL DEVELOP THE 0.413 AC INTO THREE SINGLE FAMILY LOTS. EACH LOT WILL HAVE FREE DISCHARGE RUNOFF TO REILLY COURT.

APP	REVISIONS	DATE

GRADING & DRAINAGE PLAN
FOR
DESERT SAGE SUBDIVISION
LOTS 1, 2, & 3
(SURGE POND)
ALBUQUERQUE, NM

DRAWN BY:	RCB
CHECKED BY:	RCB
DATE:	MARCH 30, 2025
JOB NO:	
DRAWING SCALE	
HORZ : 1" = 20'	
VERT :	
SHEET No:	1 OF 1