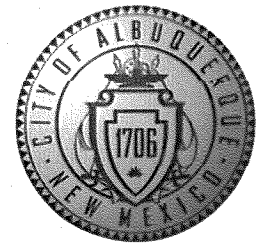


CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 23, 2022

Benny E. Martinez, PE
Canova Engineering, LLC
P.O. Box 344
Velarde, NM 87XXX

Re: Carrillo Shop
1001 Old Coors SW
Traffic Circulation Layout
Engineer's Stamp 06-13-22 (L11-D010)

Dear Mr. Martinez,

Based upon the information provided in your submittal received 09-16-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Identify all existing access easements and rights of way width dimensions, and provide the width for the existing sidewalk.
2. Identify the right of way width, medians, curb cuts, and street widths on Old Coors Dr.
3. Curb Return design need to be provided for both access driveways off Old Coors and Rio Vista Dr.
4. Clarify existing property lines and proposed property lines.
5. Access width for arterial, collector, and local streets are as follows:

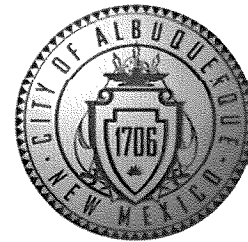
	Arterial& Collector	Local Streets
One-way Drive	20'-25'	12'-20'
Two-Lane Drive	22'-30'	22'-24'
Three-Lane Drive	24'-35'	22'-30'
Larger Vehicles	≤50'	≤30'

6. Old Coors classified as Minor Arterial, and Rio Vista classified as Local street.
7. ADA curb ramp at the corner of Old Coors Dr. and Rio Vista Dr. must be updated to current standards and have truncated domes installed.
8. Please provide Motorcycle sign details.
9. Show all drive aisle widths and radii. Some dimensions are not shown.
10. The minimum drive aisle dimensions are shown below

	Minimum Drive Aisle Width
Two Way Traffic	22'

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

Main Circulation Road	24'
Fire Lane	20'

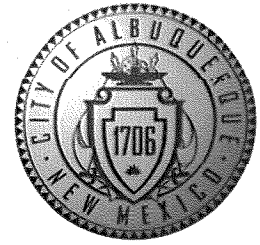
11. List radii for all curves shown; for passenger vehicles. Radius for delivery trucks, fire trucks, etc. is 25 ft. or larger.
12. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
13. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
14. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
15. Curbing should be installed to delineate landscape, parking, and pedestrian ways and identify points of access. Please call out detail and location of barrier curb.
16. Parking areas shall have barriers to prevent vehicles from extending over public sidewalk, public right-of-way, or abutting lots.
17. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
18. Provide a copy of Fire Marshall approval.
19. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
20. Please provide a sight distance exhibit
21. Show the clear sight triangle (on the site plan) and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
22. Please specify the City Standard Drawing Number when applicable.
23. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
24. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

4. The \$75 re-submittal fee.
for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

PO Box 1293 \ma via: email
C: CO Clerk, File

Albuquerque

NM 87103

www.cabq.gov

2015 INTERNATIONAL BUILDING CODE

CHAPTER 10. MEANS OF EGRESS

TYPE OF CONSTRUCTION : TYPE IIB

AREA = 1000 sf

GROUP F-1 FACTORY/INDUSTRIAL "NOT A MECHANICAL GARAGE PRIMARY USE FOR DETAILING AUTOMOBILES AND OTHER MOTOR VEHICLES"

SECTION 10.17 EXIT MAXIMUM TRAVEL DISTANCE SHALL BE 400 FEET OR LESS 45'-4" REQUIRED

OCCUPANT LOAD USE 100 GROSS FOR INDUSTRIAL TABLE 1004.1.2

GARAGE= 1000 SF/100 = 10 OCCUPANT LOAD USE 10

ALLOWABLE AREA = 15,500 sf TABLE 506.2.2, F-1, NO SPRINKLERS, TYPE IIB

EXITING REQUIREMENTS (1) EXIT PER TABLE 1006.2.1 F1 OCCUPANCY, LESS THAN 55 FEET

PLUMBING REQUIREMENTS 1 PER 100 UNISEX REQUIRED

EXISTING RESTROOM UNISEX 2 TOILET, 2 LAVATORY TABLE 2902.1

SPRINKLERS NOT REQUIRED GARAGE DOES NOT EXCEED THE 12,000 sf

1 DRINKING FOUNTAIN, 1 MOP SINK

HEIGHT AND NUMBER OF STORIES

F-1 ALLOWS FOR 2 STORIES, 1 REQUESTD ON THIS PROJECT.

LAND USE ZONE COMMERCIAL C-1

TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE F OCCUPANCY WITHOUT SPRINKLER 200 FEET

LAND USE ZONE COMMERCIAL C-1

IDO & IBC 1106.1

COA PARKING REQUIREMENTS, OFF STREET PARKING REGULATIONS, TABLE 5-1.1

INDUSTRIAL SHOP, F 100/1000 SF= 10 PARKING SPACES 10 REQUIRED

CONTRACTORS STORAGE, NONE REQUIRED

DESIGNATED DISABLED PARKING REQUIRED 1-25 1 REQUIRED (1 VAN PROVIDED-IBC 1106.5)

DESIGNATED MOTORCYCLE PARKING REQUIRED 1-25 1 REQUIRED (1 PROVIDED-IDO TABLE 5-5-4)

DESIGNATED BICYCLE PARKING REQUIRED 3 REQUIRED (3 PROVIDED-IDO TABLE 5-5-5)

TOTALS AND SIZES

PARKING PROVIDED = 4 PARKING (WIDTH 8'-0" MIN X LENGTH 18'-0" MIN)

VAN PARKING = 1 PARKING (WIDTH 8'-6" MIN LENGTH 18'-0" MIN) WITH A 8' ACCESSIBLE AISLE

ADA VAN PARKING AISLE = 1 AISLE (WIDTH 8'-0" MIN AISLE WITH "NO PARKING" TEXT)

MOTOR CYCLE PARKING + 1 PARKING 4' X 8'

BICYCLE PARKING = REQUIRED 3 USE 5 BICYCLE RACK 12 GAGE STEEL LENGTH 41" HT. 36" MOUNTING FLANGE

CHAPTER 11

1104.1.1, WITHIN SITE: AT LEAST ONE ACCESSIBLE ROUTE WITHIN THE SITE SHALL BE PROVIDED

FROM ACCESSIBLE PARKING, ACCESSIBLE PASSENGER LOADING ZONES AND PUBLIC STREETS

OR SIDEWALKS SIDEWALKS TO THE ACCESSIBLE BUILDING ENTRANCE SERVED.

1104.3, CONNECTED SPACES: AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED TO EACH

PORTION OF THE BUILDING, TO ACCESSIBLE BUILDING ENTRANCES CONNECTING ACCESSIBLE

PEDESTRIAN WALKWAYS AND TO PUBLIC WAY.

1104.3.1, EMPLOYEE WORKAREAS: COMMON USE CIRCULATION PATHS WITHIN EMPLOYEE WORK

AREAS SHALL BE ACCESSIBLE ROUTES.

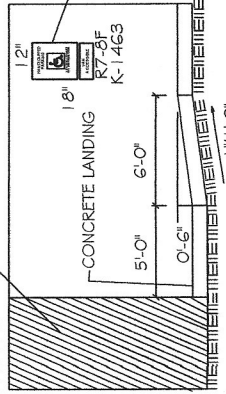
1109.2, TOILET FACILITIES: EACH TOILET ROOM SHALL BE ACCESSIBLE.

NOTE:

ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED

WITH SIDEWALK AND CURB & GUTTER

EXISTING ASPHALT



TYPICAL RAMP DETAIL

FIRE 1 NOTES:

ACCESS AND LOADING: AN APPROVED FIRE APPARATUS ACCESS ROADS SHALL HAVE AN ASPHALT, CONCRETE OR OTHER

APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.

KEY BOX: A KEY BOX(KNOX BOX) IS REQUIRED IF ACCESS TO THE BUILDING IS NECESSARY FOR LIFE SAFETY OR FIREFIGHTING

POURPOSES. ALL KEY BOXES SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE. THE KEY BOXES SHALL BE ILLUMINATED

SO AS TO BE IMMEDIATELY VISIBLE TO FIRE PERSONNEL UPON APPROACH. ONE KEY BOX SHALL BE LOCATED AT THE MAIN ENTRANCE.

TRANSPORTATION PLAN

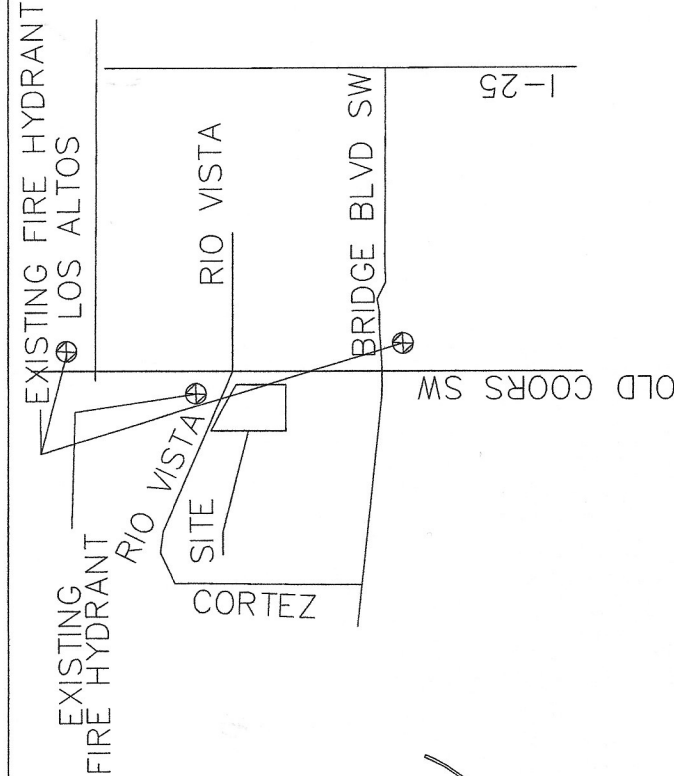
PROPOSED SITE PLAN / ADA PARKING

SITE LOCATION FOR GABINO AND MAGALY CARRILLO

1001 OLD COORS SW

TRACT A OF THE LAND DIVISION PLAT OF LOT 14 AND A PORTION OF LOT 13 AND A PORTION OF THE COMMERCIAL TRACT, BLOCK 5, LOS ALTOS SUBDIVISION, BERNALILLO COUNTY, NM AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE COUNTY CLERK OF BERNALILLO COUNTY, STATE OF NEW MEXICO RECORDED SEPTEMBER 14, 1982, IN PLAT BOOK C20 FOLIO 41

THIS PLAT IS NOT A BOUNDARY SURVEY



VICINITY MAP

GENERAL NOTES:
A. IF THIS IS NOT A 24"x36" IN SIZE THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.
B. GENERAL CONTRACTOR SHALL FIELD VERIFY MEASUREMENTS UPON AVAILABLE DRAWINGS

CHAPTER 11. ACCESSIBILITY
1104.1 WITHIN SITE AT LEAST ONE ACCESSIBLE ROUTE WITHIN THE SITE SHALL BE PROVIDED. FROM ACCESSIBLE PARKING, ACCESSIBLE PASSENGER LOADING ZONES AND PUBLIC STREETS OR SIDEWALKS TO THE ACCESSIBLE BUILDING ENTRANCE SERVED.
1104.3 CONNECTED SPACES-AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED TO EACH PORTION OF THE BUILDING, TO ACCESSIBLE ENTRANCES CONNECTING ACCESSIBLE PEDESTRIAN WALKWAYS AND TO THE PUBLIC WAY.
1104.3.1 EMPLOYEES WORK AREAS: "COMMON USE CIRCULATION USE PATHS WITHIN EMPLOYEE WORK AREAS SHALL BE ACCESSIBLE ROUTES."
1109.2 TOILETS FACILITIES: EACH TOILET ROOM SHALL BE ACCESSIBLE

BENNY E. MARTINEZ
ENGINEERING LLC
BENNY E. MARTINEZ PE 12543
P.O. BOX 344, VELARDE NEW MEXICO
5051927-7401
BENNY.E.MARTINEZ@GMAIL.COM

BENNY E. MARTINEZ
PROFESSIONAL ENGINEER
12543
CONTRACTOR
ARNOLDO CARRILLO
1001 OLD COORS SW
BERNALILLO COUNTY

Project	Sheet
Date	PROPOSED
6-13-22	TRANSPORTATION
Scale	PLAN

GABINO Carrillo

BP-2021-19993

Hydrology File L11D010
DRAFT

Chapter 23, Section 3.9.5 – Sight Distance

Figure 3.9.5-2 Intersection Sight Distance

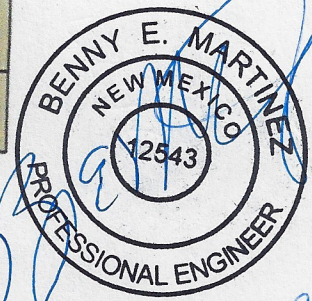
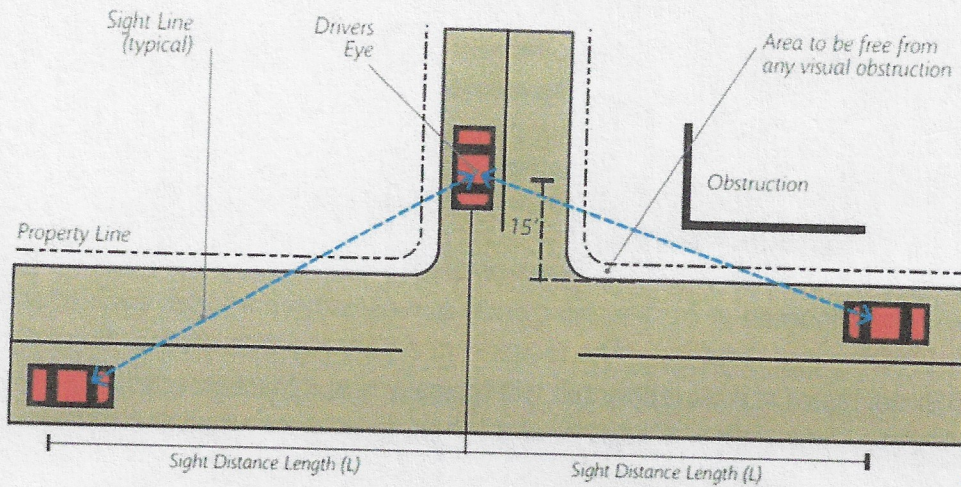


Table 3.9.5-2 Minimum Intersection Sight Distance

Speed Limit (mph)	Minimum Intersection Sight Distance (ft)					
	2 Lane Undivided		3 Lane Undivided or 2 Lane Divided w/ 12' Median		4 Lane Undivided	
	Left Turn	Right Turn	Left Turn	Right Turn	Left Turn	Right Turn
20	230	200	240	200	250	200
25	280	240	300	240	320	240
30	340	290	360	290	380	290
35	390	340	420	340	440	340
40	450	390	480	390	500	390
45	500	430	530	430	570	430
50	560	480	590	480	630	480

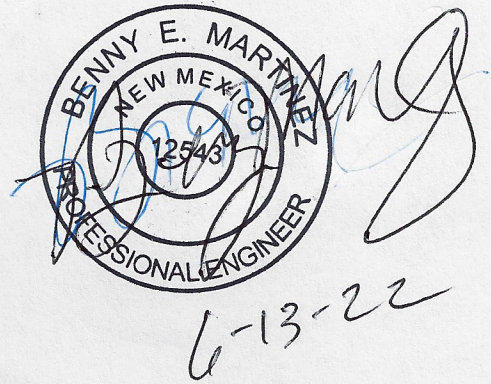
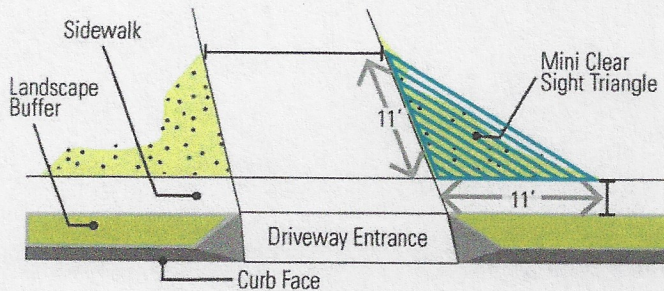
OLD COORS 40 MPH POSTED (4 LANE UNDIVIDED)
500' LTL 390 RTL

RIO VISTA 20 MPH NOT POSTED 250 LTL 200 RTL

3.9.5.4 Mini Clear Sight Triangle

Driveways need to maintain the mini sight triangle as shown in Figure 3.9.5-3. This triangle starts at the sidewalk and measures 11 feet on a side.

Figure 3.9.5-3 Mini Clear Sight Triangle



3.9.5.5 Visibility for Site Entrances and Driveways

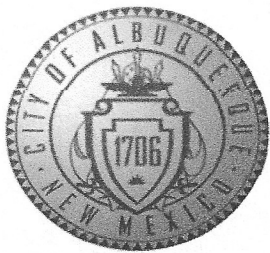
Site entrances and driveways shall be designed to preserve the clear sight triangle free of visual obstruction as described in section 3.9.5.3 and 3.9.5.4 above.

3.9.5.6 Sight Distance Note

The following note is required in all site plans: Landscaping, signage, walls, fences, trees, and shrubbery between three (3') and eight feet (8') tall (as measured from the gutter pan) are not allowed within the clear sight triangle.

3.9.5.7 Objects Permitted in the Clear Sight Triangle

Objects, that may be located in the sight triangle, include, but are not limited to, hydrants, utility poles, utility junction boxes, and traffic control devices provided these objects are located to minimize visual obstruction. Objects under eight inches (8") wide may be allowed.



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 07/2020)

Project Title: Carrillos Auto Sales

Building Permit #: BP-2021-19993 Hydrology File #:

Zone Atlas Page: DRB#: EPC#: Work Order#:

Legal Description:

Development Street Address: 1001 OLD COORS SW

Applicant: GABINO CARRILLO **Gabino Contact:**

Address:

Phone#: (505) 216-4930 Fax#:

E-mail: carrillomagly@ymail.com

Development Information

Build out/Implementation Year: 2022 Current/Proposed Zoning: commercial

Project Type: New: () Change of Use: () Same Use/Unchanged: (x) Same Use/Increased Activity: ()

Change of Zoning: ()

Proposed Use (mark all that apply): Residential: () Office: (x) Retail: () Mixed-Use: ()

Describe development and Uses: Carrillo Auto Sales has been in existence for over 20 years. The owner is requesting a permit to construct a shop that would allow him to detail vehicles prior to placing them on lot for sale. The location has two access points. One from Old Coors Road SW and the other from Rio Vista.

Days and Hours of Operation (if known): Monday thru Saturday. 9:00 am to 5:00 pm

Facility

Building Size (sq. ft.): 1000 SQ FT

Number of Residential Units: N/A

Number of Commercial Units: 1

Traffic Considerations

ITE Trip Generation Land Use Code

Expected Number of Daily Visitors/Patrons (if known):* 3 - 5

Expected Number of Employees (if known):* 1

Expected Number of Delivery Trucks/Buses per Day (if known):* _____ N/A

Trip Generations during PM/AM Peak Hour (if known):* _____ 5 PER DAY

Driveway(s) Located on: Street Name _____ 1001 OLD COORS RD SW

Adjacent Roadway(s) Posted Speed: Street Name _____ RIO VISTA DR. SW Posted Speed NONE

Street Name _____ Posted Speed _____

** If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required.)*

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: _____ PRIMARY COLLECTOR
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: _____
(urban center, employment center, activity center, etc.)

Jurisdiction of roadway (NMDOT, City, County): _____ CITY

Adjacent Roadway(s) Traffic Volume: _____ 1606 Volume-to-Capacity Ratio (v/c): _____
(if applicable)

Adjacent Transit Service(s): _____ NONE AVAILABLE Nearest Transit Stop(s): _____ N/A

Is site within 660 feet of Premium Transit?: _____ NO

Current/Proposed Bicycle Infrastructure: _____ PROPOSED
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: _____ EXSTING 4' SIDEWALK

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: See GIS map.

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No [X]

Thresholds Met? Yes [X] No [] Peak hour trips less than 100 vehicles per hour, mpg 8/19/2022

Mitigating Reasons for Not Requiring TIS: Previously Studied: []. EXISTING AUTO SALES

Notes:

M.P. P.E.

8/19/2022

TRAFFIC ENGINEER

DATE

.....

Submittal

The Scoping Form must be submitted as part of a Traffic Circulation Layout submittal, DRB application for site plan approval, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to plndrs@cabq.gov and to the City Traffic Engineer mgrush@cabq.gov. Call 924-3362 for information.

Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) (*check MRCOG Bikeways and Trails in the 2040 MTP map*)
4. Location of nearby multi-use trails, if applicable (*check MRCOG Bikeways and Trails in the 2040 MTP map*)
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify volume to capacity (v/c) ratio on this form.